

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0948	
1. Location	Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale, Dublin 22.		
2. Development	New office business centre development at Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale on site of 3.48 hectares bounded by N4 Lucan Road, Western Parkway, Coldcut Road, Greenford Housing Estate, Quarryvale Park, to include 4 no. office buildings of gross floor area 17,194.7 sq.m. 1 no. amenity building containing creche, gym, shop, juice bar of gross floor area 1916 sq.m. 2 no. sub-stations gross floor area 68 sq.m. Associated car parks, bus stops, bus shelters, set down areas for taxis, access roads, service areas, roof mounted plant areas, landscaping and associated works.		
3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/03/2000 2.	1. 25/04/2000 2.
4. Submitted by	Name: Project Architects, Address: Flemming Court, Flemming's Place,		
5. Applicant	Name: Barkhill Ltd., Address: C/O O'Callaghan Properties, 21-23 Lavitts Quay, Cork.		
6. Decision	O.C.M. No. 1477 Date 06/07/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14.	 Registrar	 Date	 Receipt No.

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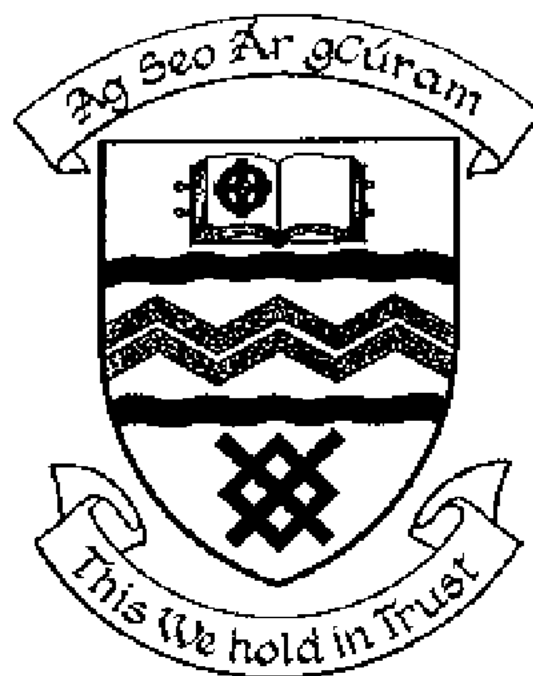
Decision Order Number 1477	Date of Decision 06/07/2000
Register Reference S99A/0948	Date: 23/12/99

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..... *MY* 06/07/00
for SENIOR ADMINISTRATIVE OFFICER

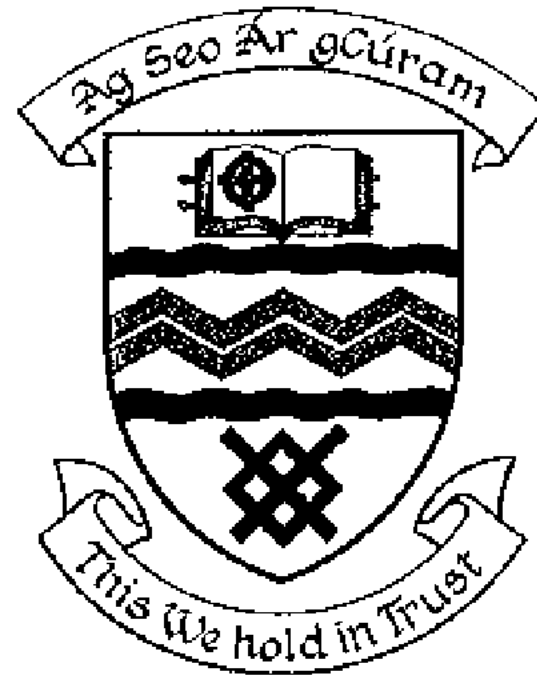
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 25/04/00, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The layout of the scheme and the level of car parking provision shall accord with the revised site layout, Drawing No. J039/A1/001.
REASON:
In the interest of clarity.
- 3 The developer shall implement a Commuter Strategy Plan in accordance with the submitted details, unless otherwise specified below. The Plan shall be characterised by the following:
 - it shall be the subject of regular reviews, the details of which are to be submitted to the Planning Authority. The first review to be submitted within two years of completion of the development;
 - a shuttle bus service shall be developed. Details

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of the fare structure (if any) shall be agreed with the Planning Authority before occupation of any units;

- the routing, frequency and capacity of the shuttle bus service shall form an element of the review of the Plan;
- the review of the Commuter Strategy Plan shall address the decommissioning of car parking spaces, incorporating a specific time-frame;
- a journey to work plan shall be drawn up. It shall be an integral element of the Commuter Strategy Plan and shall be drawn up received in tandem with the Commuter Strategy Plan.

REASON:

To reduce the dependence of the development on private vehicular transport in the interest of sustainable development.

- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard, there shall be full and complete separation of foul and surface water systems.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 5 Before development commences, the applicant shall submit and agree details of surface water connections.

REASON:

In the interest of the proper planning and development of the area.

- 6 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the

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proposed development it is considered reasonable that the Council should recoup the cost.

- 7 Full details of proposed external finishes, including samples of the wall and roof finishes, shall be submitted for agreement by the Planning Authority before development commences.
REASON:
In the interest of visual amenity.
- 8 Full details of the proposed landscaping scheme for the site to be submitted and agreed with the Planning Authority before development commences.
REASON:
In the interest of visual amenity.
- 9 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 11 That no advertising sign or structure be erected except those which are exempted development, without prior approval of the Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 12 That prior to commencement of development revised proposals to provide for a reduced set back on units C and D from the adjacent Spine Road, including a revised car parking layout at that location, shall be submitted for the written agreement of the Planning Authority. This shall also

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provide for the relocation or suitable treatment of the
utility structure adjacent to the Spine Road and Unit C.

REASON:

In the interest of the proper planning and development of
the area.

- 13 That the arrangements made with regard to the payment of
financial contributions and lodgement of security in respect
of the overall development, as required by Condition No's.
6, 7, 8, 9, 10 and 11 of Register Reference 93A/1161 (An
Bord Pleanála Order No. PL.06S.093483) be strictly adhered
to in respect of this development.

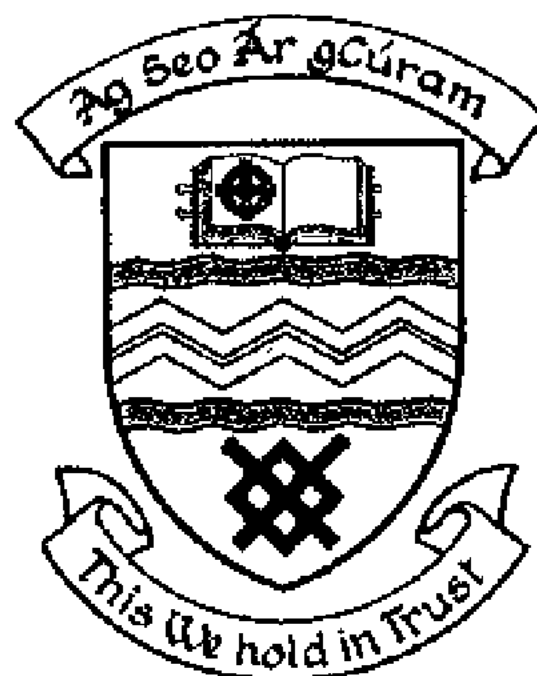
REASON:

It is considered reasonable that the developer should
contribute towards the cost of providing services and to
ensure that a ready sanction may be available to the Council
to induce the provision of services and prevent disamenity
in the development.

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1. Location	Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale, Dublin 22.		
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3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/03/2000 2.	1. 25/04/2000 2.
4. Submitted by	Name: Project Architects, Address: Flemming Court, Flemming's Place,		
5. Applicant	Name: Barkhill Ltd., Address: C/O O'Callaghan Properties, 21-23 Lavitts Quay, Cork.		
6. Decision	O.C.M. No. 1477 Date 06/07/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1843 Date 16/08/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
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Project Architects,
Flemming Court,
Flemming's Place,
Dublin 4.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1843	Date of Final Grant 16/08/2000
Decision Order Number 1477	Date of Decision 06/07/2000
Register Reference S99A/0948	Date 25/04/00

Applicant Barkhill Ltd.,

Development New office business centre development at Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale on site of 3.48 hectares bounded by N4 Lucan Road, Western Parkway, Coldcut Road, Greenford Housing Estate, Quarryvale Park, to include 4 no. office buildings of gross floor area 17,194.7 sq.m. 1 no. amenity building containing creche, gym, shop, juice bar of gross floor area 1916 sq.m. 2 no. sub-stations gross floor area 68 sq.m. Associated car parks, bus stops, bus shelters, set down areas for taxis, access roads, service areas, roof mounted plant areas, landscaping and associated works.

Location Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale, Dublin 22.

Floor Area 19178.70 **Sq Metres**
Time extension(s) up to and including 07/07/2000
Additional Information Requested/Received 08/03/2000 /25/04/2000

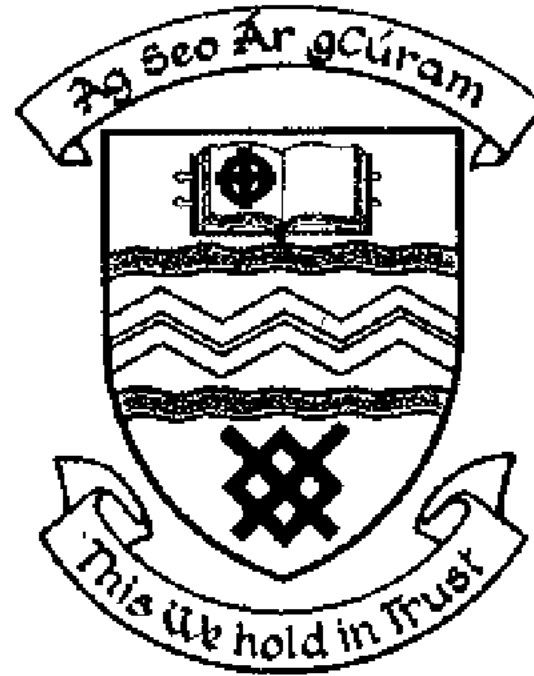
A Permission has been granted for the development described above,

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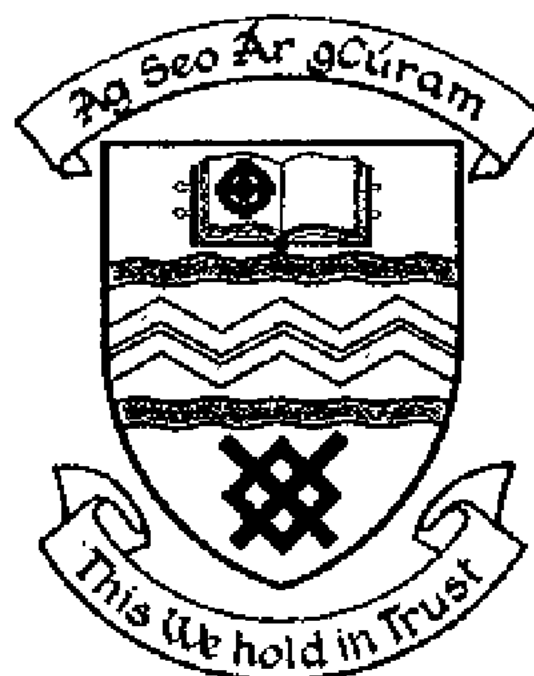


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subject to the following (13) Conditions.

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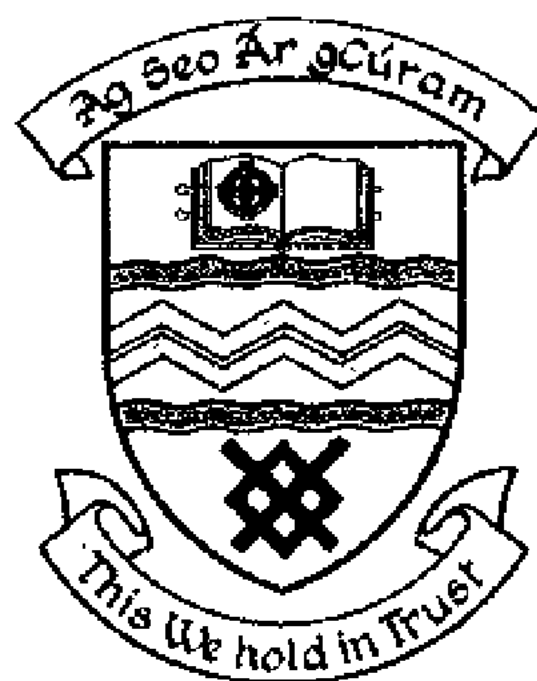
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 25/04/00, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The layout of the scheme and the level of car parking provision shall accord with the revised site layout, Drawing No. J039/A1/001.
 REASON:
 In the interest of clarity.
- 3 The developer shall implement a Commuter Strategy Plan in accordance with the submitted details, unless otherwise specified below. The Plan shall be characterised by the following:
 - it shall be the subject of regular reviews, the details of which are to be submitted to the Planning Authority. The first review to be submitted within two years of completion of the development;
 - a shuttle bus service shall be developed. Details of the fare structure (if any) shall be agreed with the Planning Authority before occupation of any units;
 - the routing, frequency and capacity of the shuttle bus service shall form an element of the review of the Plan;
 - the review of the Commuter Strategy Plan shall address the decommissioning of car parking spaces, incorporating a specific time-frame;
 - a journey to work plan shall be drawn up. It shall be an integral element of the Commuter Strategy Plan and shall be drawn up received in tandem with the Commuter Strategy Plan.
 REASON:
 To reduce the dependence of the development on private vehicular transport in the interest of sustainable development.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In this regard, there

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shall be full and complete separation of foul and surface water systems.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 5 Before development commences, the applicant shall submit and agree details of surface water connections.

REASON:

In the interest of the proper planning and development of the area.

- 6 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 7 Full details of proposed external finishes, including samples of the wall and roof finishes, shall be submitted for agreement by the Planning Authority before development commences.

REASON:

In the interest of visual amenity.

- 8 Full details of the proposed landscaping scheme for the site to be submitted and agreed with the Planning Authority before development commences.

REASON:

In the interest of visual amenity.

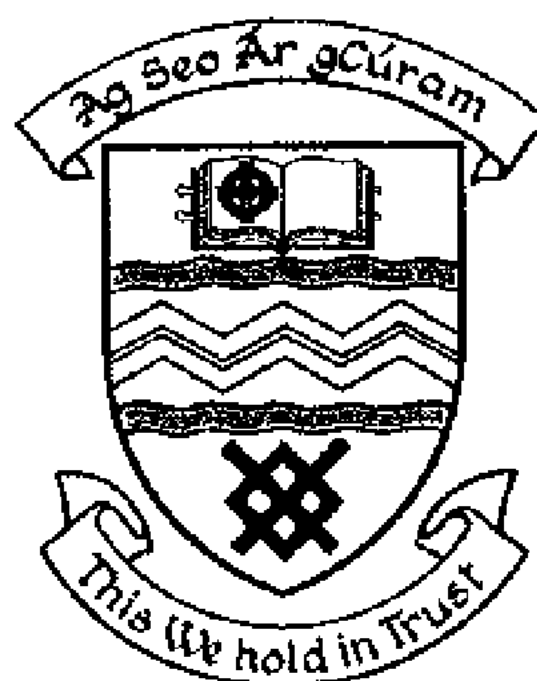
- 9 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

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REASON:

In the interest of amenity.

- 11 That no advertising sign or structure be erected except those which are exempted development, without prior approval of the Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 12 That prior to commencement of development revised proposals to provide for a reduced set back on units C and D from the adjacent Spine Road, including a revised car parking layout at that location, shall be submitted for the written agreement of the Planning Authority. This shall also provide for the relocation or suitable treatment of the utility structure adjacent to the Spine Road and Unit C.

REASON:

In the interest of the proper planning and development of the area.

- 13 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No's. 6, 7, 8, 9, 10 and 11 of Register Reference 93A/1161 (An Bord Pleanála Order No. PL.06S.093483) be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

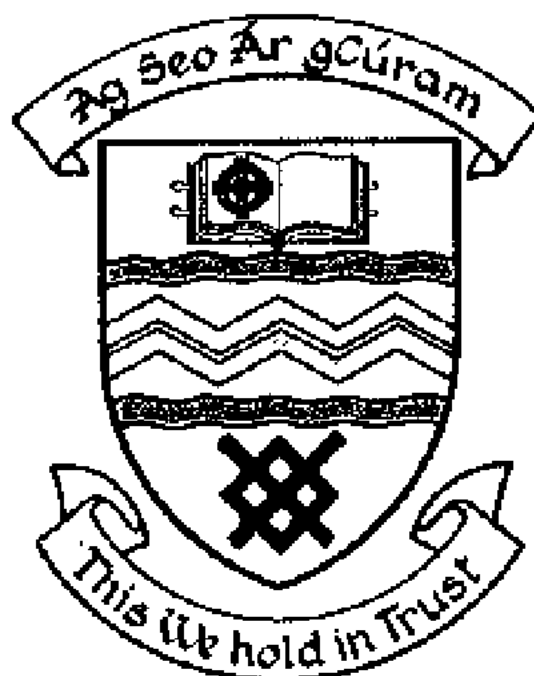
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced

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Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....16/08/00
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S99A/0948	
1. Location	Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale, Dublin 22.		
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3. Date of Application	23/12/99	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/03/2000 2.	1. 25/04/2000 2.
4. Submitted by	Name: Project Architects, Address: Flemming Court, Flemming's Place,		
5. Applicant	Name: Barkhill Ltd., Address: C/O O'Callaghan Properties, 21-23 Lavitts Quay, Cork.		
6. Decision	O.C.M. No. 1342 Date 20/06/2000	Effect TX REQUEST TIME EXTENSION	
7. Grant	O.C.M. No. Date	Effect TX REQUEST TIME EXTENSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14.	 Registrar	 Date	 Receipt No.

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Decision Order Number 1342	Date of Decision 20/06/2000
Register Reference S99A/0948	Date 23/12/99

Location Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale,
Dublin 22.

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 07/07/2000

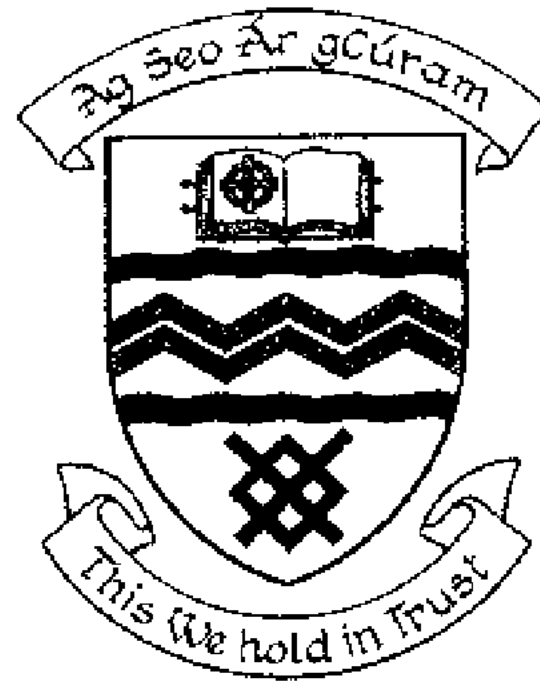
..... 20/06/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Flemming Court,

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Flemming's Place,
Dublin 4.

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4. Submitted by	Name: Project Architects, Address: Flemming Court, Flemming's Place,	
5. Applicant	Name: Barkhill Ltd., Address: C/O O'Callaghan Properties, 21-23 Lavitts Quay, Cork.	
6. Decision	O.C.M. No. 0477 Date 08/03/2000	Effect FI REQUEST ADDITIONAL INFORMATION
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0477	Date of Decision 08/03/2000
Register Reference S99A/0948	Date: 23/12/99

Applicant
Development

Barkhill Ltd.,
New office business centre development at Lucan/Clondalkin
Town Centre, Liffey Valley, Quarryvale on site of 3.48
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floor area 68 sq.m. Associated car parks, bus stops, bus
shelters, set down areas for taxis, access roads, service
areas, roof mounted plant areas, landscaping and associated
works.

Location

Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale,
Dublin 22.

App. Type

Permission

Dear Sir/Madam,

With reference to your planning application, received on 23/12/99 in connection with
the above, I wish to inform you that before the application can be considered under
the Local Government (Planning & Development) Acts 1963-1993, the following
ADDITIONAL INFORMATION must be submitted in quadruplicate:

- 1 The applicant is requested to re-submit the Transportation
Impact Assessment (TIA) taking on board the following:-
 - The assessment should fully incorporate the capacity
of public transport to serve the development, both
current and future.
 - The assessment of the junction capacity and the
marginal impact of the development should be based
on demand flows rather than actual traffic volumes
on the network.

Project Architects,
Flemming Court,
Flemming's Place,
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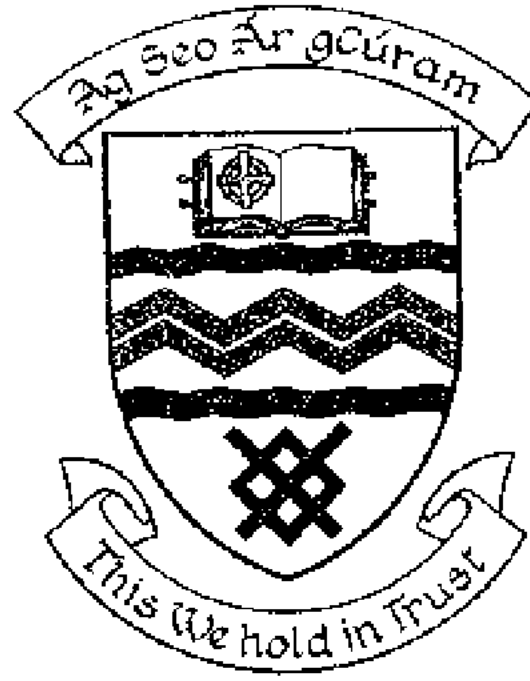
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- The assessment should be based on a cordoning of the DTO model. The assigned peak hour flows on those points of the road network which cross the cordon should be validated by observed counts in the base year assessment.
- In addition to assessing the impact during the pm peak, the am peak hour should also be fully assessed. In this regard, the applicant should note that the DTO's analysis of the TRICS database suggest that departure patterns are more staggered than arrival patterns, suggesting a higher trip rate during the am peak. The marginal impact of the proposed development in relation to traffic flows should relate to both the am and pm peak hours.

NOTE: The implications and the significance of any changes in the Traffic Section of the EIS for the Air Quality and Noise Sections of the EIS should be fully assessed.

- 2 In relation to trip generation rates expected, the applicant is requested to provide the following information:
 - Full relevant details on the similar developments which have been used from the Dublin area in calculating the trip rates (referred to in para 5.9.3.22 of EIS).
 - Detail precisely each step taken in the use of TRICS, i.e. the land use categories, the types of locations chosen, the scale of sites surveyed and all other parameters including the quality of public transport provision.
- 3 According to para 5.9.3.26 of the EIS, the assigned traffic flows from the development are shown in Illustration 5.8.2.5. This illustration does not appear to have been included in the EIS. The applicant is requested to remedy this.
- 4 In relation to Table 5.9.3.4 of the EIS, the applicant is requested to include the absolute figures for distribution of new trips, in addition to the percentage figures.

SOUTH DUBLIN COUNTY COUNCIL
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- 5 The proposed Commuter Strategy Plan is not considered adequate. The applicant is requested to:
- Make an absolute commitment to decommissioning car parking in accordance with the recommended number of spaces arising from a revised TIA or as otherwise agreed with the Planning Authority.
 - Provide full details of the proposed shuttle bus services, including funding, capacity, frequency and routing. The applicant's commitment to providing such a service to be detailed.
 - Provide details of proposals in relation to monitoring the Commuter Strategy Plan.
- 6 Full details of the proposed cycle facilities to be submitted, including the number of covered and uncovered parking spaces, showering and locker facilities.
- 7
- The applicant is requested to revise the planting specification to include sizes of the proposed planting material.
 - The applicant is also requested to indicate proposals to increase the quantity of trees along the site boundary.
- 8 The applicant is requested to submit proposals for the routing of the 525mm surface water sewer which currently terminates in Quarryvale Park to the Cursis Stream surface water system.
- 9 The applicant is requested to submit a proposed watermain layout indicating the following:-
- proposed point of connection to the existing mains.
 - proposed main sizes, valve and hydrant layout - to be in accordance with Part B of the 1997 Building Regulations. The applicant shall note that it is a requirement of the Environmental Services Department that no part of the building to be more than 46m from a hydrant.
- 10 The applicant is requested to submit any proposals he may have for amending the proposed layout of the office blocks

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to provide a more defined streetscape fronting Spine Road A
of the Town Centre.

- 11 The applicant is requested to submit proposals, if any,
which would reduce the separation of the office blocks along
the northern side of the site from the N4 Road.

Signed on behalf of South Dublin County Council

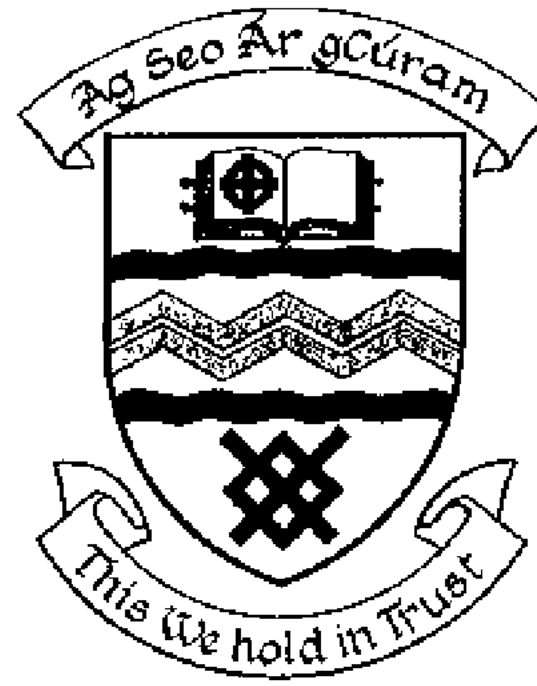
LA
.....
for Senior Administrative Officer

08/03/00

SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0308	Date of Decision 17/02/2000 <i>LM</i>
Register Reference S99A/0948	Date 23/12/99

Applicant Barkhill Ltd.,
App. Type Permission
Development New office business centre development at Lucan/Clondalkin
Town Centre, Liffey Valley, Quarryvale on site of 3.48
hectares bounded by N4 Lucan Road, Western Parkway, Coldcut
Road, Greenford Housing Estate, Quarryvale Park, to include
4 no. office buildings of gross floor area 17,194.7 sq.m. 1
no. amenity building containing creche, gym, shop, juice bar
of gross floor area 1916 sq.m. 2 no. sub-stations gross
floor area 68 sq.m. Associated car parks, bus stops, bus
shelters, set down areas for taxis, access roads, service
areas, roof mounted plant areas, landscaping and associated
works.

Location Lucan/Clondalkin Town Centre, Liffey Valley, Quarryvale,
Dublin 22.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 08/03/2000

Yours faithfully

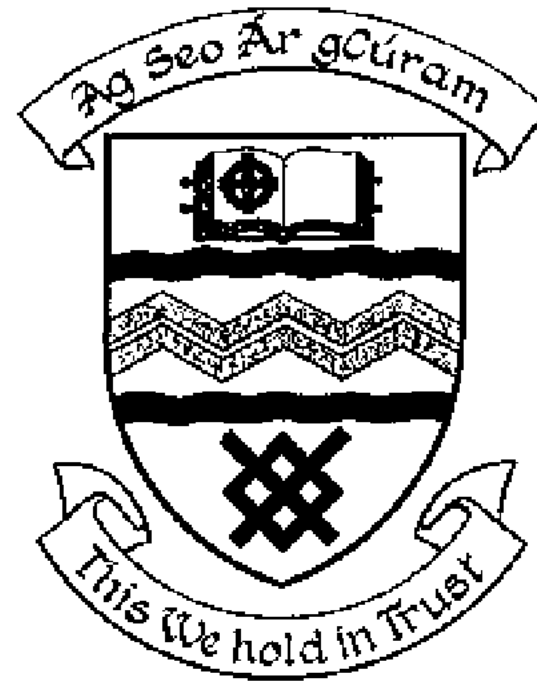
LM
..... 17/02/00
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
Flemming Court,

SOUTH DUBLIN COUNTY COUNCIL
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