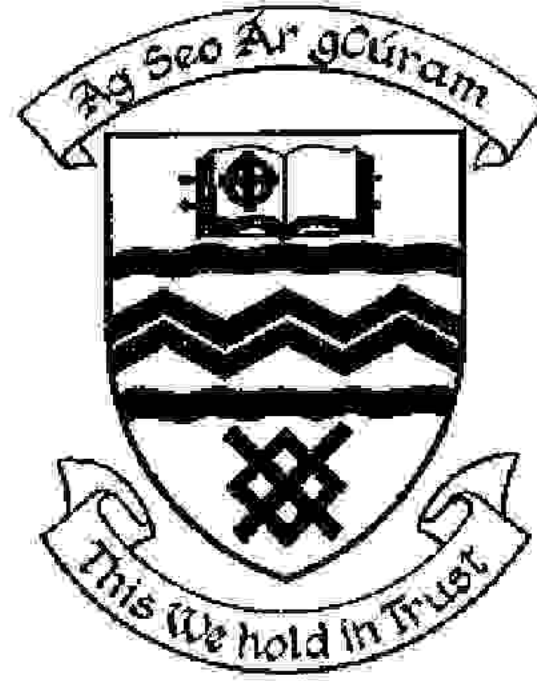


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0184	
1. Location	Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.		
2. Development	Internal alterations to provide sanitary accommodation and rear exit door.		
3. Date of Application	21/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Stephen Tierney & Associates, Address: 136 Lwr. Georges Street, Dun Laoghaire,		
5. Applicant	Name: The White Fathers, Address: 148 Wainsfort Road, Dublin 6W.		
6. Decision	O.C.M. No. 1117 Date 23/05/2000	Effect TX REQUEST TIME EXTENSION	
7. Grant	O.C.M. No. Date	Effect TX REQUEST TIME EXTENSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1117	Date of Decision 23/05/2000 <i>24</i>
Register Reference S00A/0184	Date 21/03/00

Applicant The White Fathers,
App. Type Permission
Development Internal alterations to provide sanitary accommodation and
 rear exit door.

Location Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 19/06/2000

Yours faithfully

[Signature] 24/05/00
.....
for SENIOR ADMINISTRATIVE OFFICER

Stephen Tierney & Associates,
136 Lwr. Georges Street,
Dun Laoghaire,
Co. Dublin.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0184	
1. Location	Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.		
2. Development	Internal alterations to provide sanitary accommodation and rear exit door.		
3. Date of Application	21/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Stephen Tierney & Associates, Address: 136 Lwr. Georges Street, Dun Laoghaire,		
5. Applicant	Name: The White Fathers, Address: 148 Waingfort Road, Dublin 6W.		
6. Decision	O.C.M. No. 1336 Date 19/06/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1772 Date 04/08/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
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14. Registrar Date Receipt No.	

REG. REF. : S00A/0184/C1

DATE : 21.12.2000

RE: Internal alterations to provide sanitary accommodation and rear exit door at Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W for The White Fathers. Compliance re. Condition No's. 3, 4, 5, 6, 11 and 21.

Dear Sir/Madam,

I refer to your submission received on 08.09.2000 to comply with Condition No's. 3, 4, 5, 6, 11 and 21 of Grant of Permission Order No. 1772, dated 04.08.2000, in connection with the above.

In this regard:-

In relation to Condition No. 3 it is considered that, the proposed temporary alarm system is not acceptable. However, in order to ensure works can continue a 24 hour security presence on site would be acceptable or a planning application for the insertion of a security alarm system should be lodged and prove acceptable. During construction work the applicant should ensure that the contractor and his/her employees are made fully aware of the value of the items to be retained in the property and that they are to be protected at all times.

In relation to Condition No. 4 it is considered that, the proposed instumescent paint/varnish system is acceptable. The applicant should ensure that the doors are removed safely so as not to cause damage to the doors or their surrounds/linings and numbered. Each door is to be returned to its original position using the same fittings. The stripping of doors is not to be carried out and the applicant is to ensure on completion of treatment that the doors close tightly in the reveals and that the door catches work effectively.

Condition No. 5 has been complied with.

In relation to Condition No. 6, it is considered acceptable to allow the applicant to further investigate this matter without holding up the issuing of other compliances. The applicant should note that the staircase must be resolved prior to the occupation of the property.

Condition No. 11 has been complied with.

Condition No. 21 has been complied with. The applicant should also store any associated shutters and internal linings.

Yours faithfully,



for Senior Administrative Officer

Stephen Tierney & Assoc.,
136 Lower Georges Street,
Dun Laoghaire,
Co. Dublin.

REG. REF. : S00A/325/C1

DATE : 18.12.2000


RE: To erect a two storey four bedroom detached dwelling at 33a Monalea Grove, Firhouse, Dublin 24 for John Quinn. Compliance re. Condition No. 14 and 4.

Dear Sir,

I refer to your submission received on 15.11.2000 to comply with Condition No. 14 and 4 of Grant of Permission Order No. 1940, dated 25.08.2000, in connection with the above.

In this regard I wish to inform you that the submission received is satisfactory.

Yours faithfully,



for Senior Administrative Officer

David M Walsh, Architect,
Roncalli,
Waynestown,
Dunboyne,
Co. Meath.

SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1009	Date of Decision 11/05/2000
Register Reference S00A/0184	Date 21/03/00

Applicant The White Fathers,
App. Type Permission
Development Internal alterations to provide sanitary accommodation and rear exit door.

Location Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 24/05/2000

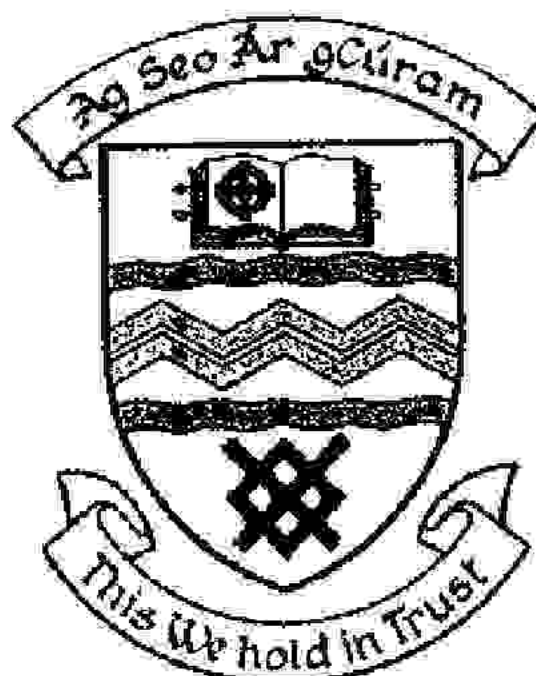
Yours faithfully

..... 11/05/00
for SENIOR ADMINISTRATIVE OFFICER

Stephen Tierney & Associates,
136 Lwr. Georges Street,
Dun Laoghaire,
Co. Dublin.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0184	
1. Location	Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.		
2. Development	Internal alterations to provide sanitary accommodation and rear exit door.		
3. Date of Application	21/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Stephen Tierney & Associates, Address: 136 Lwr. Georges Street, Dun Laoghaire,		
5. Applicant	Name: The White Fathers, Address: 148 Wainsfort Road, Dublin 6W.		
6. Decision	O.C.M. No. 1336 Date 19/06/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1772 Date 04/08/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
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10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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Stephen Tierney & Associates,
136 Lwr. Georges Street,
Dun Laoghaire,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1772	Date of Final Grant 04/08/2000
Decision Order Number 1336	Date of Decision 19/06/2000
Register Reference S00A/0184	Date 21/03/00

Applicant The White Fathers,

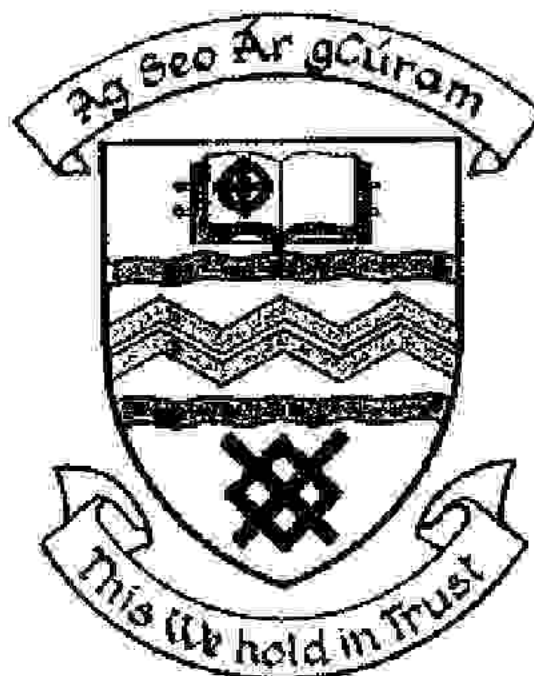
Development Internal alterations to provide sanitary accommodation and rear exit door.

Location Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.

Floor Area 0.00 Sq Metres
Time extension(s) up to and including 19/06/2000
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (21) Conditions.

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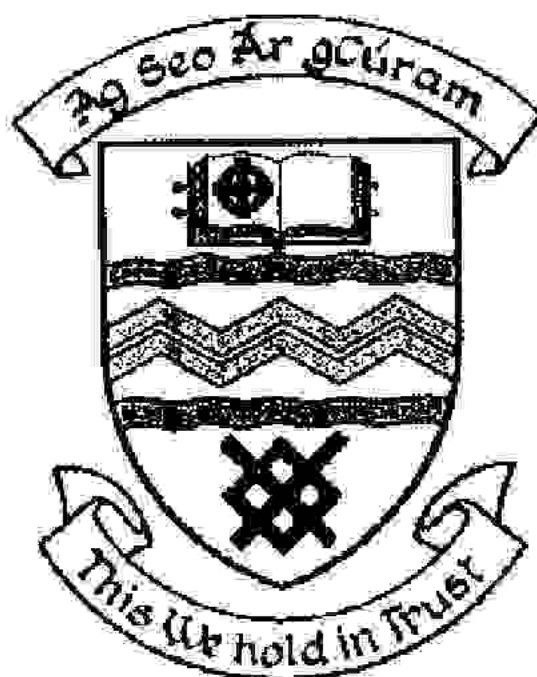
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information submitted on the 18/05/00, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 REASON:
 In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 The applicant shall submit details of what actions if any are proposed for the maintenance of the buildings during construction. These details to be submitted to the Planning Authority prior to commencement of development. (The Local Government Planning and Development Act, 1999 places a responsibility on owners of Protected Structures to safeguard their property).
 REASON:
 In the interest of the proper planning and development of the area.
- 4 The applicant shall submit details to the Planning Authority of the method proposed to upgrade the existing panelled doors to satisfy fire safety requirements, prior to commencement of development.
 REASON:
 In the interest of the proper planning and development of the area.
- 5 It is pointed out to the applicant that the installation of so many new bathrooms at first and second floors may create problems with drainage. The applicant shall give careful consideration in addressing the ductwork and vertical pipework in order to ensure that these new services do not directly impact on the main reception rooms below. The sectional drawings provided by the applicant do not indicate the suspended ceiling required to conceal sewerage below first floor rooms (drain in suspended ceiling under) or its effect on the decorative treatment of the ground floor reception hall. It is recognised that there is an existing

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lift shaft in the entrance hall; notwithstanding this, the proposal should be modified to direct pipe-work through subsidiary spaces and avoid interference with the entrance space, which has run plaster cornices. The applicant shall submit revised drawings to the Planning Authority for agreement prior to commencement of development with a report from a recognised architectural/recorder to show that they have taken the above into consideration.

REASON:

In the interest of the proper planning and development of the area.

- 6 The applicant shall submit details to the Planning Authority of the specification of works to strengthen the handrail of the existing stairs. These details to be submitted prior to commencement of works.

REASON:

In the interest of the proper planning and development of the area.

- 7 Where existing doorways are to be blocked up, their doors, frames and architrave's should be utilised elsewhere in the building where new openings are being formed.

REASON:

In the interest of the proper planning and development of the area.

- 8 The existing slated roof shall be retained and repaired where necessary.

REASON:

In the interest of the proper planning and development of the area.

- 9 All timber sash windows on the exterior elevations shall be repaired and reinstated and not replaced. The existing timber sash window with raised and fielded panels to the basement boiler room shall be retained in the building and the minimum repairs necessary undertaken to make it weatherproof.

REASON:

In the interest of the proper planning and development of the area.

- 10 The following window shutters and linings on the First Floor shall be retained in the following rooms (as numbered in the conservation report) Bedroom 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8.

REASON:

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In the interest of the proper planning and development of the area.

- 11 The bathroom on the first floor on the south-west corner adjoining the secondary stairs shall be maintained and the section of built in press. The applicant shall revise the drawings accordingly and submit them to the Planning Authority for written agreement prior to commencement of development. This room forms part of the original layout of the building.

REASON:

In the interest of the proper planning and development of the area.

- 12 The applicant shall retain the sash window in bedroom 2.1. on the second floor.

REASON:

In the interest of the proper planning and development of the area.

- 13 The following window shutters and linings on the Second Floor shall be retained in the following rooms (as numbered in the conservation report) Bedrooms 2.2, 2.3, 2.4, 2.5, 2.6, 2.8, 2.9 and the Oratory.

REASON:

In the interest of the proper planning and development of the area.

- 14 The following items in the Ground Floor Entrance Hall shall be retained, the fanlight window, door linings and shutters to the main entrance door and the door linings and door joinery from the hall to the adjoining drawing room and dining room, and cornicing.

REASON:

In the interest of the proper planning and development of the area.

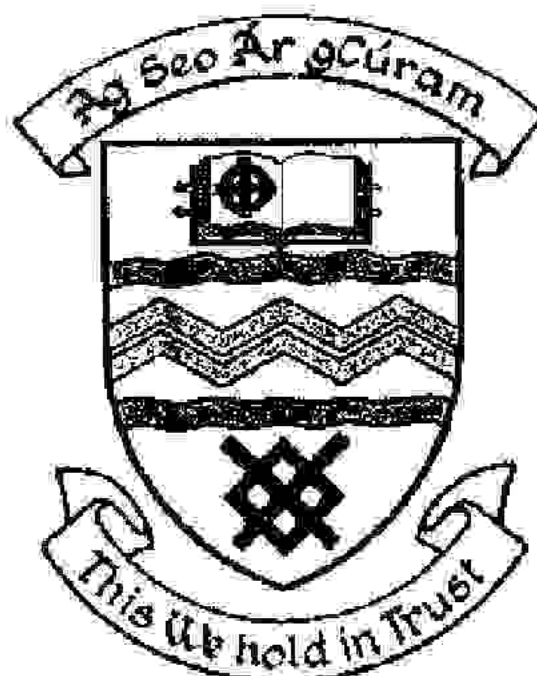
- 15 The following items in the Ground Floor Drawing Room shall be retained; chimney piece, plasterwork and cornicing, door linings and doors to the entrance hall and to the dining room, window linings and shutters, panels under the window sills.

REASON:

In the interest of the proper planning and development of the area.

- 16 The following items in the Ground Floor Sitting room shall be retained; window shutters, windows and the existing door linings and doors.

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REASON:

In the interest of the proper planning and development of the area.

- 17 The following items in the Ground Floor Laundry shall be retained; windows and doors.

REASON:

In the interest of the proper planning and development of the area.

- 18 The following items in the Ground Floor Dining Room shall be retained; windows on front elevation, window linings, shutters, door linings, doors, cornice, chimney piece.

REASON:

In the interest of the proper planning and development of the area.

- 19 The following items in the Ground Floor Kitchen 2 shall be retained; sash window.

REASON:

In the interest of the proper planning and development of the area.

- 20 The following items in the Ground Floor Rear Hall and Main staircase shall be retained; balustrading and baulsters, cornicing, semi circular window, shutters and linings. On the protected staircase, the existing dado rail set into the plaster surface of the enclosing wall and the surviving landing to the second floor shall be retained. The plasterwork 'batwing' centrepiece to the primary open wall staircase shall be retained.

REASON:

In the interest of the proper planning and development of the area.

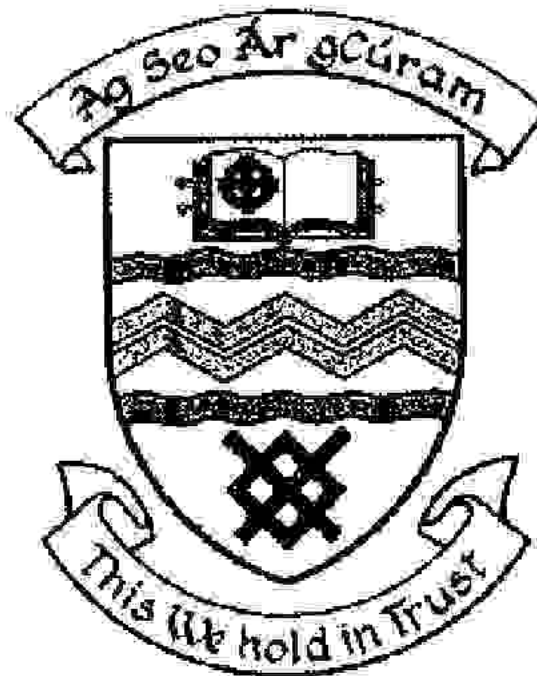
- 21 The applicant shall omit the new door on the west elevation drawing unless this is required for fire safety reasons. The applicant shall retain the window on the ground floor elevation and to submit revised drawings to the Planning Authority for written agreement prior to commencement of development showing compliance with this requirement.

REASON:

In the interest of the proper planning and development of the area.

NOTE: The applicant is advised to consider reinstating the timber up and down sliding sash windows in the house in order to restore the character of the structure.

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Such a reinstatement should be based on photographic evidence of the former appearance of the building, designed to approved details.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....08/08/00
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0184	
1. Location	Cypress Grove House, Cypress Lawn, Templeogue, Dublin 6W.		
2. Development	Internal alterations to provide sanitary accommodation and rear exit door.		
3. Date of Application	21/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Stephen Tierney & Associates, Address: 136 Lwr. Georges Street, Dun Laoghaire,		
5. Applicant	Name: The White Fathers, Address: 148 Wainsfort Road, Dublin 6W.		
6. Decision	O.C.M. No. 1336 Date 19/06/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
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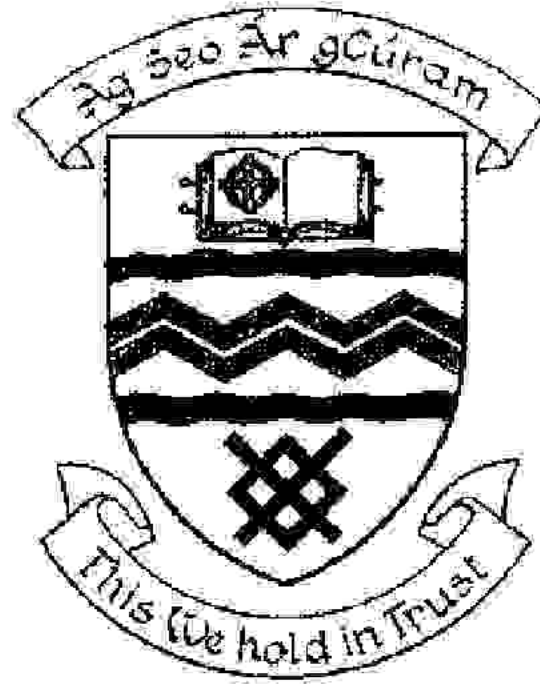
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Decision Order Number 1336	Date of Decision 19/06/2000
Register Reference S00A/0184	Date: 21/03/00

..... 19/06/00
for SENIOR ADMINISTRATIVE OFFICER

Page 1 of 6

SOUTH DUBLIN COUNTY COUNCIL
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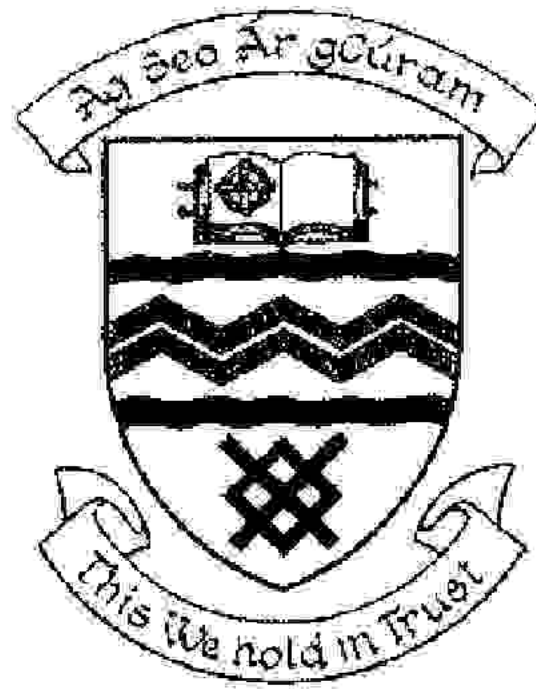
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REG REF. S00A/0184

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information submitted on the 18/05/00, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 The applicant shall submit details of what actions if any are proposed for the maintenance of the buildings during construction. These details to be submitted to the Planning Authority prior to commencement of development. (The Local Government Planning and Development Act, 1999 places a responsibility on owners of Protected Structures to safeguard their property).
REASON:
In the interest of the proper planning and development of the area.
- 4 The applicant shall submit details to the Planning Authority of the method proposed to upgrade the existing panelled doors to satisfy fire safety requirements, prior to commencement of development.
REASON:
In the interest of the proper planning and development of the area.
- 5 It is pointed out to the applicant that the installation of so many new bathrooms at first and second floors may create problems with drainage. The applicant shall give careful consideration in addressing the ductwork and vertical

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REG. REF. S00A/0184

pipework in order to ensure that these new services do not directly impact on the main reception rooms below. The sectional drawings provided by the applicant do not indicate the suspended ceiling required to conceal sewerage below first floor rooms (drain in suspended ceiling under) or its effect on the decorative treatment of the ground floor reception hall. It is recognised that there is an existing lift shaft in the entrance hall; notwithstanding this, the proposal should be modified to direct pipe-work through subsidiary spaces and avoid interference with the entrance space, which has run plaster cornices. The applicant shall submit revised drawings to the Planning Authority for agreement prior to commencement of development with a report from a recognised architectural/recorder to show that they have taken the above into consideration.

REASON:

In the interest of the proper planning and development of the area.

- 6 The applicant shall submit details to the Planning Authority of the specification of works to strengthen the handrail of the existing stairs. These details to be submitted prior to commencement of works.

REASON:

In the interest of the proper planning and development of the area.

- 7 Where existing doorways are to be blocked up, their doors, frames and architrave's should be utilised elsewhere in the building where new openings are being formed.

REASON:

In the interest of the proper planning and development of the area.

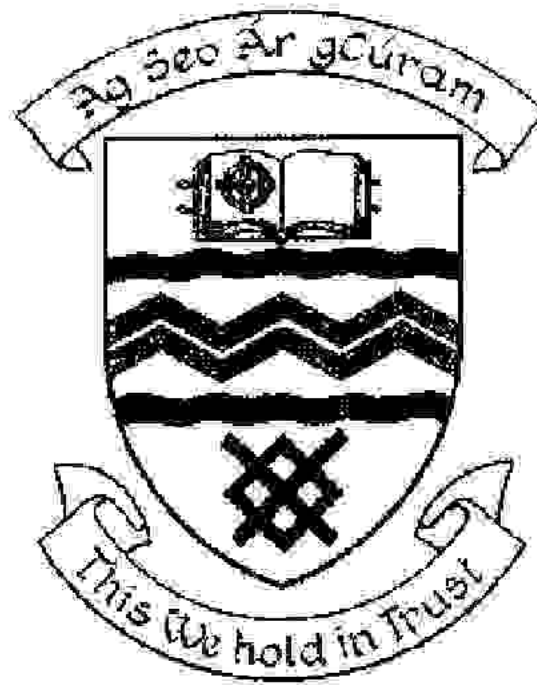
- 8 The existing slated roof shall be retained and repaired where necessary.

REASON:

In the interest of the proper planning and development of the area.

- 9 All timber sash windows on the exterior elevations shall be repaired and reinstated and not replaced. The existing timber sash window with raised and fielded panels to the

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REG REF. S00A/0184

basement boiler room shall be retained in the building and the minimum repairs necessary undertaken to make it weatherproof.

REASON:

In the interest of the proper planning and development of the area.

- 10 The following window shutters and linings on the First Floor shall be retained in the following rooms (as numbered in the conservation report) Bedroom 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8.

REASON:

In the interest of the proper planning and development of the area.

- 11 The bathroom on the first floor on the south-west corner adjoining the secondary stairs shall be maintained and the section of built in press. The applicant shall revise the drawings accordingly and submit them to the Planning Authority for written agreement prior to commencement of development. This room forms part of the original layout of the building.

REASON:

In the interest of the proper planning and development of the area.

- 12 The applicant shall retain the sash window in bedroom 2.1. on the second floor.

REASON:

In the interest of the proper planning and development of the area.

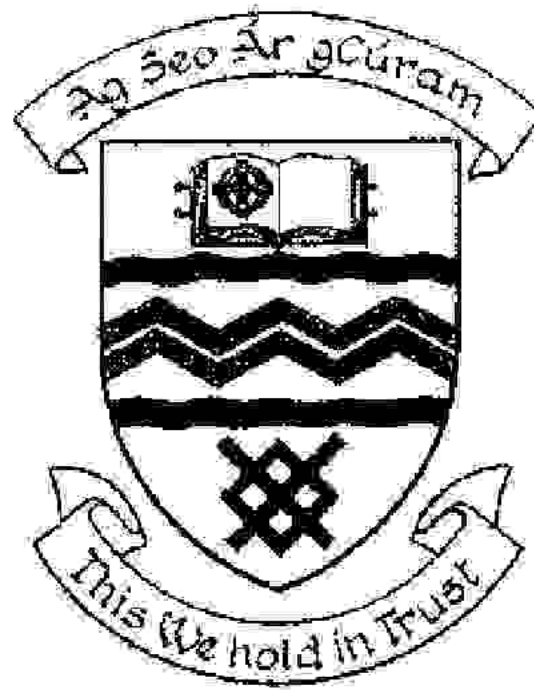
- 13 The following window shutters and linings on the Second Floor shall be retained in the following rooms (as numbered in the conservation report) Bedrooms 2.2, 2.3, 2.4, 2.5, 2.6, 2.8, 2.9 and the Oratory.

REASON:

In the interest of the proper planning and development of the area.

- 14 The following items in the Ground Floor Entrance Hall shall be retained, the fanlight window, door linings and shutters to the main entrance door and the door linings and door

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joinery from the hall to the adjoining drawing room and dining room, and cornicing.

REASON:

In the interest of the proper planning and development of the area.

- 15 The following items in the Ground Floor Drawing Room shall be retained; chimney piece, plasterwork and cornicing, door linings and doors to the entrance hall and to the dining room, window linings and shutters, panels under the window cills.

REASON:

In the interest of the proper planning and development of the area.

- 16 The following items in the Ground Floor Sitting room shall be retained; window shutters, windows and the existing door linings and doors.

REASON:

In the interest of the proper planning and development of the area.

- 17 The following items in the Ground Floor Laundry shall be retained; windows and doors.

REASON:

In the interest of the proper planning and development of the area.

- 18 The following items in the Ground Floor Dining Room shall be retained; windows on front elevation, window linings, shutters, door linings, doors, cornice, chimney piece.

REASON:

In the interest of the proper planning and development of the area.

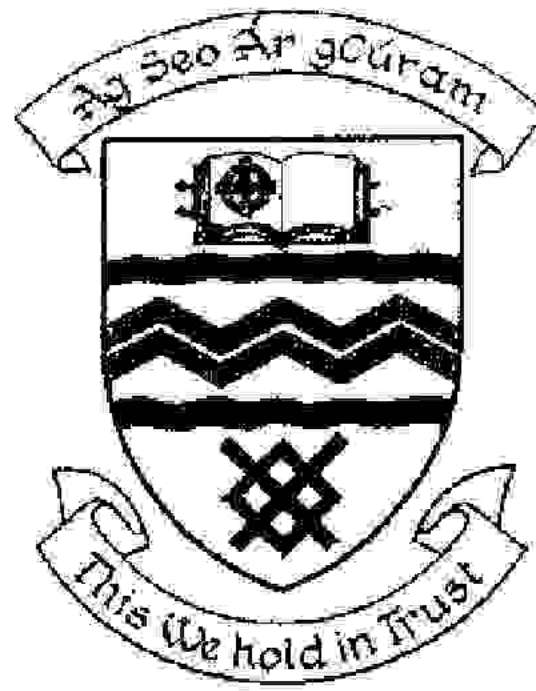
- 19 The following items in the Ground Floor Kitchen 2 shall be retained; sash window.

REASON:

In the interest of the proper planning and development of the area.

- 20 The following items in the Ground Floor Rear Hall and Main staircase shall be retained; balustrading and baulsters,

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cornicing, semi circular window, shutters and linings. On the protected staircase, the existing dado rail set into the plaster surface of the enclosing wall and the surviving landing to the second floor shall be retained. The plasterwork 'batwing' centrepiece to the primary open wall staircase shall be retained.

REASON:

In the interest of the proper planning and development of the area.

- 21 The applicant shall omit the new door on the west elevation drawing unless this is required for fire safety reasons. The applicant shall retain the window on the ground floor elevation and to submit revised drawings to the Planning Authority for written agreement prior to commencement of development showing compliance with this requirement.

REASON:

In the interest of the proper planning and development of the area.

NOTE: The applicant is advised to consider reinstating the timber up and down sliding sash windows in the house in order to restore the character of the structure. Such a reinstatement should be based on photographic evidence of the former appearance of the building, designed to approved details.