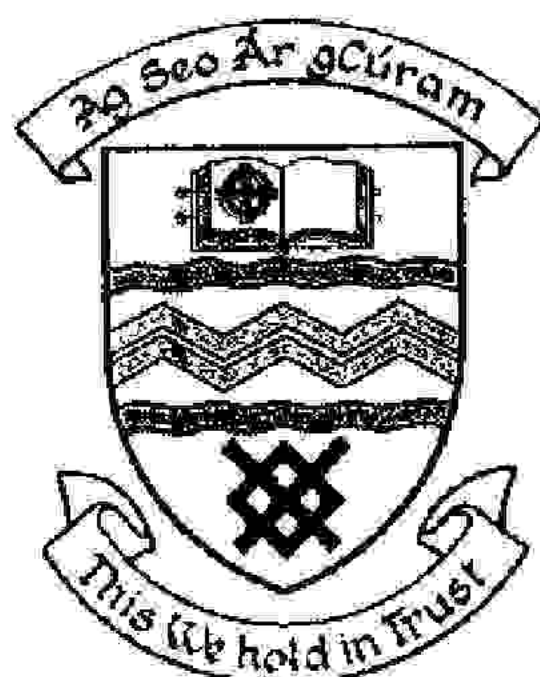


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0187	
1. Location	Rear of No.5 Ballynakelly Cottages, Newcastle, Co. Dublin.		
2. Development	Construct a bungalow and install a biocycle sewage treatment unit.		
3. Date of Application	22/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Finlay Bors. (builders) Ltd., Address: Church Road, Tullamore,		
5. Applicant	Name: Mr. Hugh & Mrs. Ruth Drumm, Address: 16 The Downings, Prosperous, Co. Kildare.		
6. Decision	O.C.M. No. 1070 Date 18/05/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1419 Date 29/06/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar		Date	Receipt No.

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Dublin 24

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Finlay Bors. (builders) Ltd.,
Church Road,
Tullamore,
Co. Offaly.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1419	Date of Final Grant 29/06/2000
Decision Order Number 1070	Date of Decision 18/05/2000
Register Reference S00A/0187	Date 22/03/00

Applicant Mr. Hugh & Mrs. Ruth Drumm,

Development Construct a bungalow and install a biocycle sewage treatment unit.

Location Rear of No.5 Ballynakelly Cottages, Newcastle, Co. Dublin.

Floor Area 92.93 Sq Metres

Time extension(s) up to and including

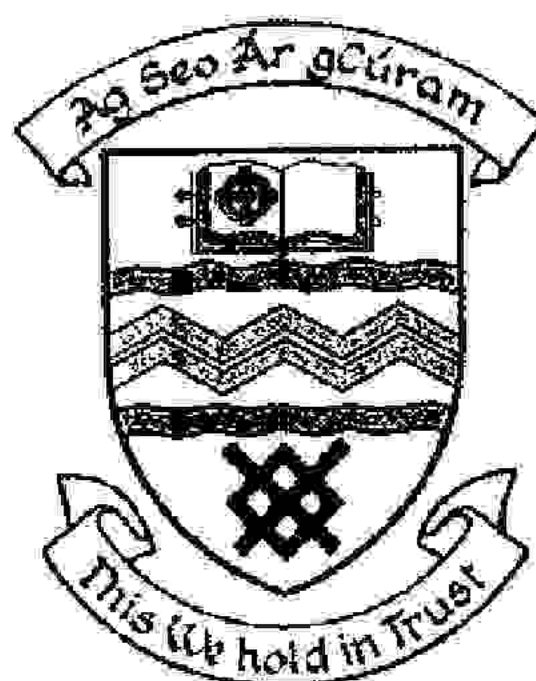
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (17) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 (a) The wastewater treatment plant and percolation area shall satisfy the requirements of BS6297:1983 and the relevant manufacturers Agreement Certificate.
 (b) The applicant shall construct a percolation by the importation of a better quality topsoil beneath the washed stone layer in the percolation trenches, to ensure a percolation value of between 30 and 60 sec/mm.

REASON:

In the interest of public health.

- 3 That the proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

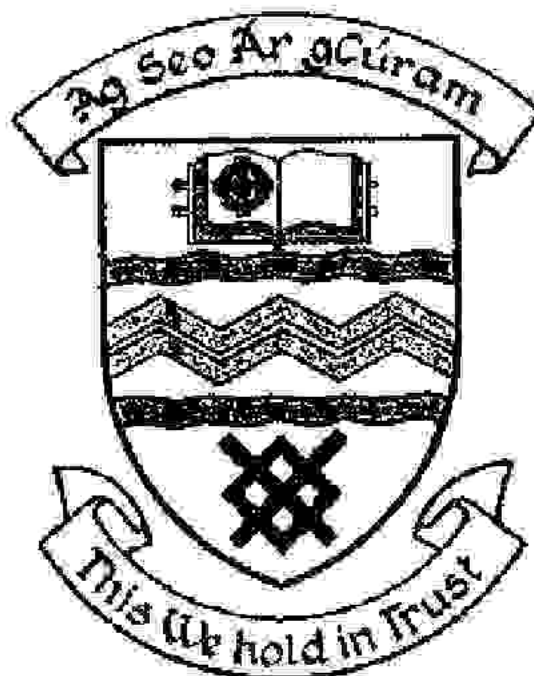
In the interest of amenity.

- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

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- 7 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 8 The footpath and kerb to be dished and the new driveway constructed to the satisfaction of the County Council.

REASON:

In the interest of the proper planning and development of the area.

- 9 The removal/relocation of the tree to facilitate the access shall be carried out by the County Council at the applicant's expense.

REASON:

In the interest of the proper planning and development of the area.

- 10 The proposed finishes shall be to the satisfaction of the Planning Authority.

REASON:

In the interest of visual amenity.

- 11 That when the proposed public sewerage system at Newcastle becomes operational the proposed dwellinghouse shall be connected thereto and the proposed domestic waste treatment systems shall be removed from the site at the applicants expense.

REASON:

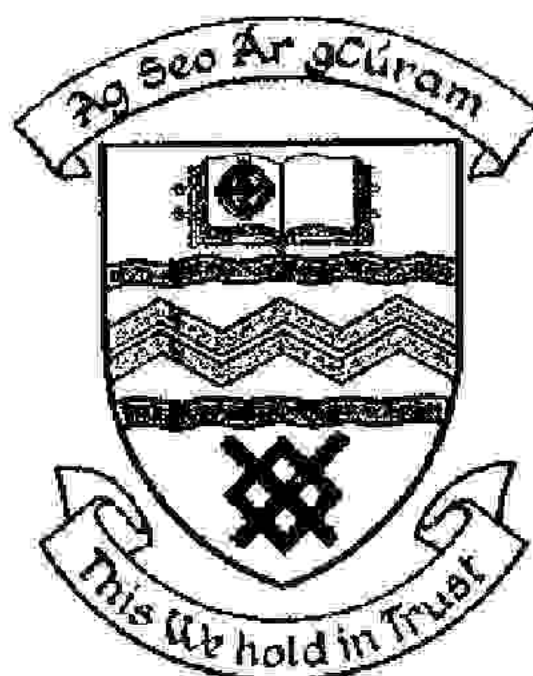
In the interest of public health.

- 12 That a financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 In the event of a connection to the public foul sewer, a further financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

REASON:

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 15 In the event of a connection to the public sewer, a financial contribution in the sum of £326 (three hundred and twenty six pounds) EUR 413 (four hundred and thirteen euros) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

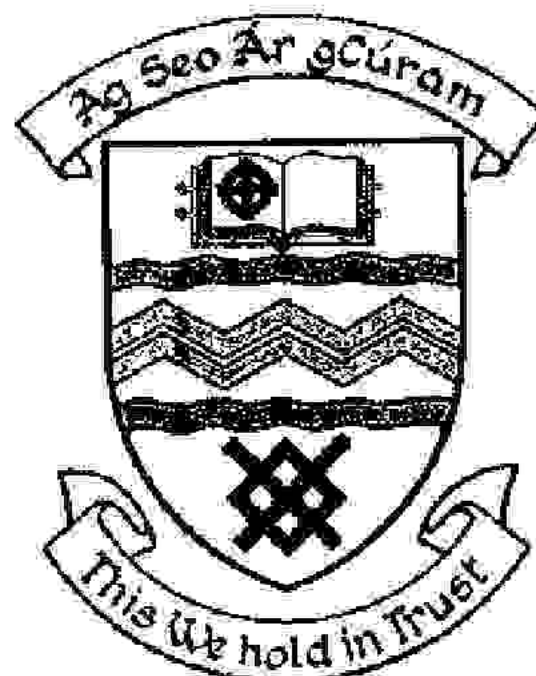
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply

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Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 17 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,269 (one thousand two hundred and sixty nine euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

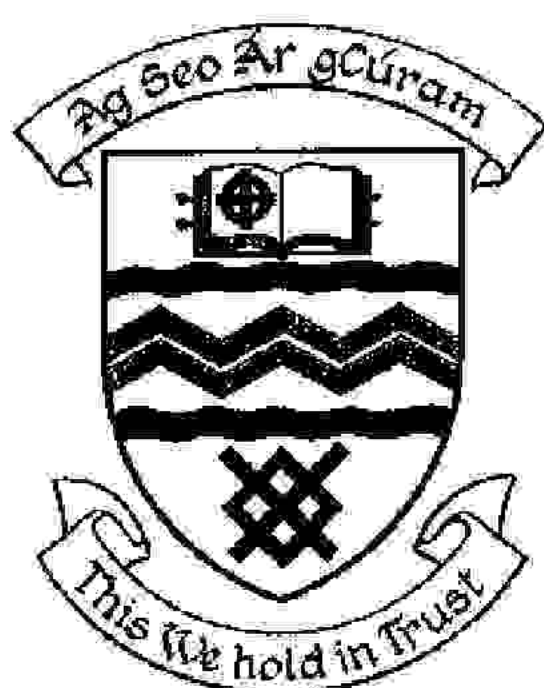
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....30/06/00
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0187	
1. Location	Rear of No.5 Ballynakelly Cottages, Newcastle, Co. Dublin.		
2. Development	Construct a bungalow and install a biocycle sewage treatment unit.		
3. Date of Application	22/03/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Finlay Bors. (builders) Ltd., Address: Church Road, Tullamore,		
5. Applicant	Name: Mr. Hugh & Mrs. Ruth Drumm, Address: 16 The Downings, Prosperous, Co. Kildare.		
6. Decision	O.C.M. No. 1070 Date 18/05/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	Date	Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1070	Date of Decision 18/05/2000
Register Reference S00A/0187	Date: 22/03/00

Applicant Mr. Hugh & Mrs. Ruth Drumm,
Development Construct a bungalow and install a biocycle sewage treatment unit.
Location Rear of No.5 Ballynakelly Cottages, Newcastle, Co. Dublin.
Floor Area Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received /
Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (17) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 18/05/00
for SENIOR ADMINISTRATIVE OFFICER

Finlay Bors. (builders) Ltd.,
Church Road,
Tullamore,
Co. Offaly.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 (a) The wastewater treatment plant and percolation area shall satisfy the requirements of BS6297:1983 and the relevant manufacturers Agreement Certificate.
(b) The applicant shall construct a percolation by the importation of a better quality topsoil beneath the washed stone layer in the percolation trenches, to ensure a percolation value of between 30 and 60 sec/mm.

REASON:

In the interest of public health.

- 3 That the proposed house be used as a single dwelling unit.

REASON:

To prevent unauthorised development.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

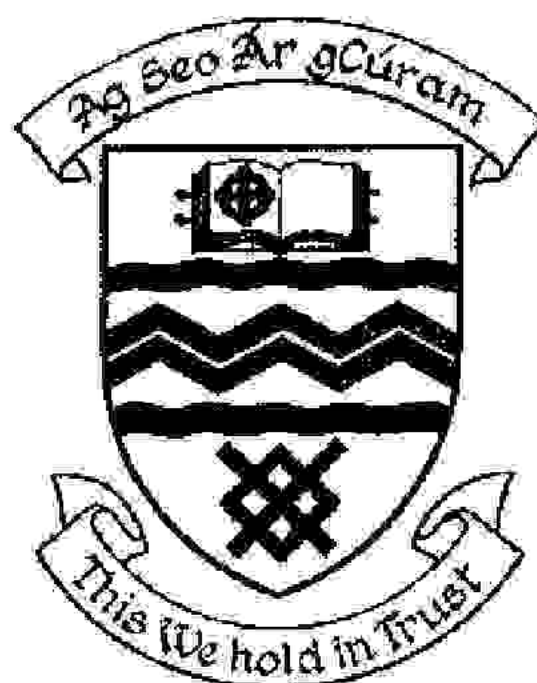
In the interest of amenity.

- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the

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requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 7 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 8 The footpath and kerb to be dished and the new driveway constructed to the satisfaction of the County Council.

REASON:

In the interest of the proper planning and development of the area.

- 9 The removal/relocation of the tree to facilitate the access shall be carried out by the County Council at the applicant's expense.

REASON:

In the interest of the proper planning and development of the area.

- 10 The proposed finishes shall be to the satisfaction of the Planning Authority.

REASON:

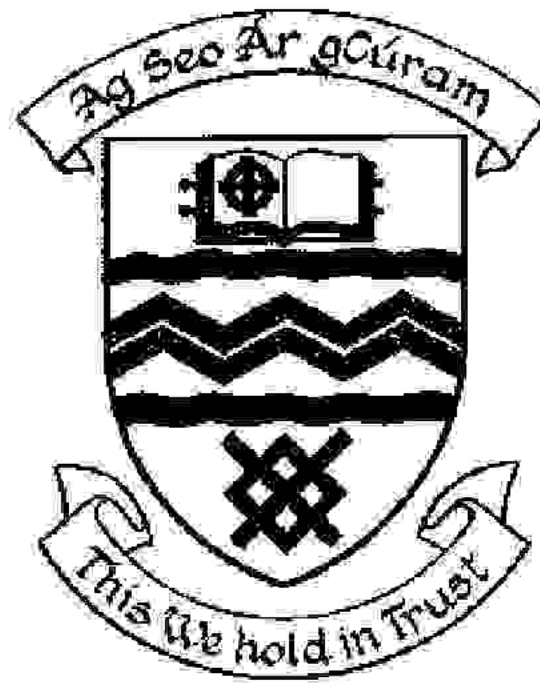
In the interest of visual amenity.

- 11 That when the proposed public sewerage system at Newcastle becomes operational the proposed dwellinghouse shall be connected thereto and the proposed domestic waste treatment systems shall be removed from the site at the applicants expense.

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REASON:

In the interest of public health.

- 12 That a financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

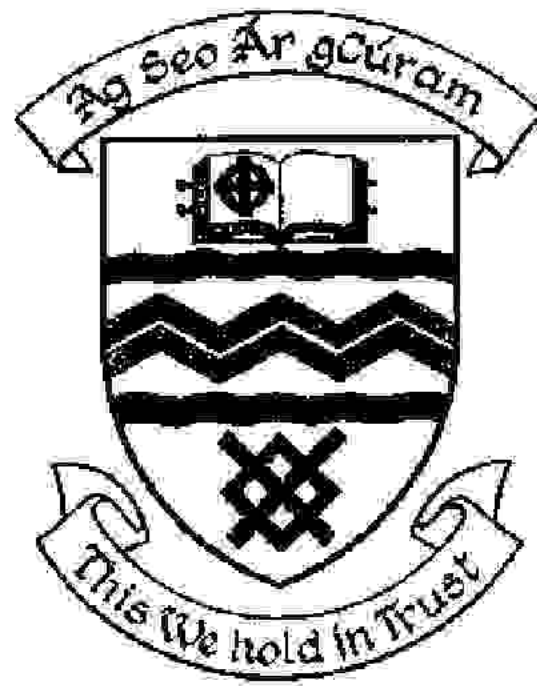
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 In the event of a connection to the public foul sewer, a further financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

REASON:

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

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- 15 In the event of a connection to the public sewer, a financial contribution in the sum of £326 (three hundred and twenty six pounds) EUR 413 (four hundred and thirteen euros) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 17 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,269 (one thousand two hundred and sixty nine euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.