

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0365	
1. Location	Garters Lane, Saggart, Co. Dublin.		
2. Development	Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0528 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.		
3. Date of Application	29/05/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/06/2000 2.	1. 12/06/2000 2.
4. Submitted by	Name: McGrane & Partners, Address: Paradigm House, Dundrum Office Park,		
5. Applicant	Name: Melbury Developments Ltd., Address: 20-21 Sullivans Quay, Cork.		
6. Decision	O.C.M. No. 1574 Date 19/07/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
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**PLANNING
DEPARTMENT**
P.O. Box 4122,
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Dublin 24.

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 1574	Date of Decision 19/07/2000
Register Reference S00A/0365	Date: 29/05/00

Applicant Melbury Developments Ltd.,

Development Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0928 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.

Location Garters Lane, Saggart, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 08/06/2000 /12/06/2000

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did

McGrane & Partners,
Paradigm House,
Dundrum Office Park,
Dundrum,
Dublin 14.

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REG REF. S00A/0365

by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (31) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 19/07/00
for SENIOR ADMINISTRATIVE OFFICER

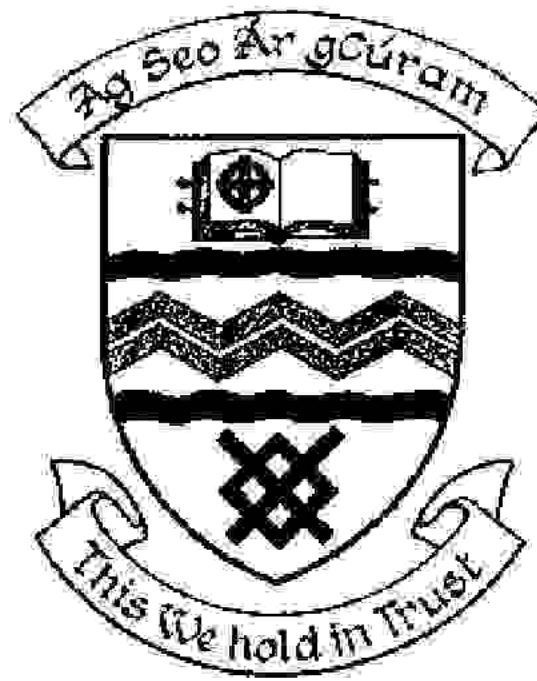
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information received on 12/06/00 and 16/06/00, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

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REASON:

In the interest of amenity.

- 4 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 5 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

in the interest of the proper planning and development of the area.

- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 7 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

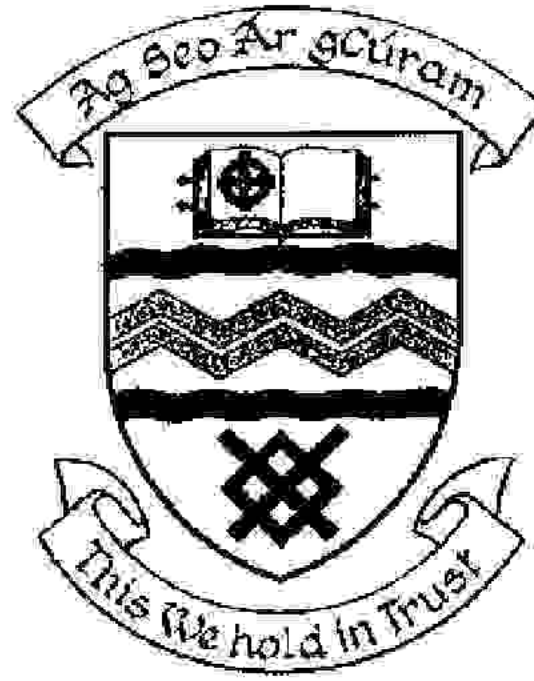
To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 8 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, sewers, watermains or drains, forming part of the development, until

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taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 9 That public lighting and car park lighting is provided in accordance with a scheme to be approved by the County Council and before any of the apartments are first occupied.

REASON:

In the interest of the proper planning and development of the area.

- 10 That no part of the development shall exceed 15 metres in height above ground level.

REASON:

To meet the requirements of the Department of Defence.

- 11 That an acceptable street naming and apartment naming/ numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 12 Prior to commencement of works on site the applicant shall agree with the Parks and Landscape Services Department a detailed landscaping plan with full works specification to include a survey of any existing trees with proposals for surgery to and retention of existing trees where appropriate and details of the proposed means of protecting the trees to be retained during construction, grading, topsoiling, seeding, paths, drainage, boundary treatment and shrub and tree planting.

REASON:

In the interest of the proper planning and development of the area.

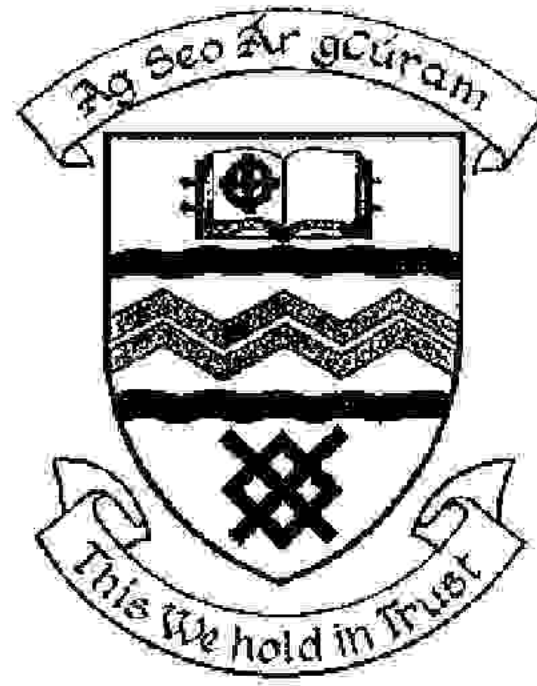
- 13 The proposed landscaping/planting and the proposed heritage centre shall all be provided before any of the apartments are first occupied.

REASON:

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In the interest of the proper planning and development of the area.

- 14 The details of the 3 metre wide cobblelock path along the Garter Lane frontage shown on the site layout plan drawing number 9912 PD01C is not satisfactory to the Roads Department. Therefore revised details of this shall be agreed with the Roads Department and submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 15 No construction or site preparation work shall be carried out on the site until all archaeological requirements of the Planning Authority have been complied with.

REASON:

To facilitate the Planning authority in the archaeological appraisal of the site which is located within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment) Act 1994.

- 16 The applicant shall have an archaeological assessment of the site of all proposed site development works carried out as soon as possible and before construction work commences. The assessment shall be prepared by a qualified Archaeologist and shall address the following issues:

- a) The archaeological and historical background of the site.
- b) The nature, extent and location of archaeological material on the site.
- c) The impact of the proposed development on such archaeological material including the impact of the development on the archaeological amenity of adjacent monuments.

The assessment shall be carried out on the basis of desk based study and on the basis of trial trenches excavated on site by the Archaeologist. The trial trenches shall be hand excavated in order to establish the depth of archaeological stratigraphy.

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Where archaeological material is shown to be present, a detailed Impact Statement shall be prepared by the Archaeologist which will include specific information on the location, form, size and level (corrected to Ordnance Datum) of all foundation structures, ground beams, floor slabs, trenches for services, drains etc. No subsurface work shall be undertaken in the absence of the Archaeologist without his/her express consent.

REASON:

To facilitate the Planning Authority in the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment Act) 1994.

- 17 A written report containing the results of the archaeological assessment shall be forwarded to the Planning Authority and to the Heritage Service with full and final details of all proposed development works.

REASON:

To facilitate the Planning Authority in the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment Act) 1994.

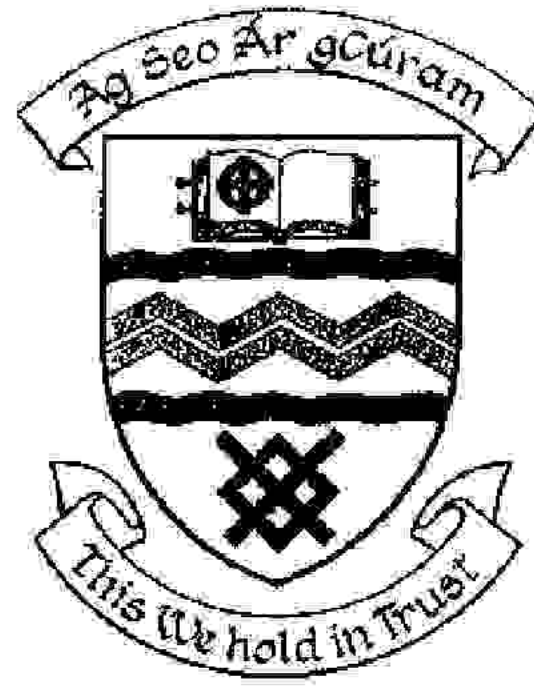
- 18 Before any work commences, the applicant shall agree in writing and comply with all requirements of Duchas the Heritage Service in relation to proposed foundation structures and further archaeological requirements (including if necessary preservation in situ, excavation or monitoring). No construction or development related works should take place on site until written approval has been issued by The Heritage Service with reference to the archaeological report.

REASON:

In the interest of the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment) Act 1994.

- 19 That the car parking areas indicated on the submitted plans shall be surfaced and marked out before any of the apartments are first occupied.

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REASON:

In the interest of road safety.

- 20 Details and samples of all external facing and roofing materials shall be submitted to and agreed by the Planning Authority before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 21 Full details of the height, materials and finishes of all boundary treatments, including the height of the proposed piers, shall be submitted to and agreed with the Planning Authority before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 22 That details of the Management Agreement for the maintenance and control of the site be submitted to and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

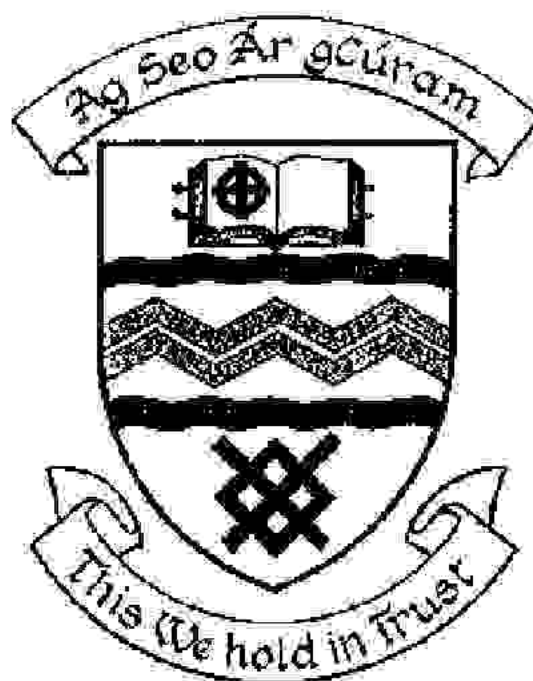
- 23 The applicant shall comply with the following requirements of the Environmental Services Department:-

- (i) No apartment shall be occupied until the Manager of the Sanitary Authority has confirmed in writing that the existing receiving foul sewers on Brookfield Road are upgraded in order to accommodate increased flows.
- (ii) No apartment shall be occupied until the wastewater collection system and pumping station on the adjoining lands (ref. permission S99A/0205) are in place and connected to the public sewer of adequate capacity.
- (iii) The applicant shall ensure full and complete separation of foul and surface water systems. All drainage pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve

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- these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (iv) The surface water discharges from the site shall be attenuated by way of oversized surface water pipes (900mm diameter) and fitted with a hydrobrake flow control or similar such that the maximum surface water discharge from the site shall not exceed 15.84 l/s.
- (v) Prior to commencement of works the applicant shall submit for the approval of the Area Engineer, Deansrath (tel. (01) 4570784) a detailed watermain layout. The layout shall indicate watermain size, valve, meter and hydrant layout, and the proposed point of connection to existing watermain. (Layout to be in accordance with Part B of 1997 Building Regulation).
- (vi) Prior to the development of the site the applicant shall pay a sum of money to be agreed with the Council for the maintenance and operation by the Council of the proposed foul sewage pumping plant. The sum shall be determined on the basis of the Council's maintenance of the pumping plant for a period of 12 years.

REASON:

in the interests of public health and the proper planning and development of the area.

- 24 Bin storage facilities shall be provided in accordance with details agreed under permission Reg. Ref. S99A/0928 and driers in kitchen or utility rooms shall be a requirement of each lease as agreed under that permission.

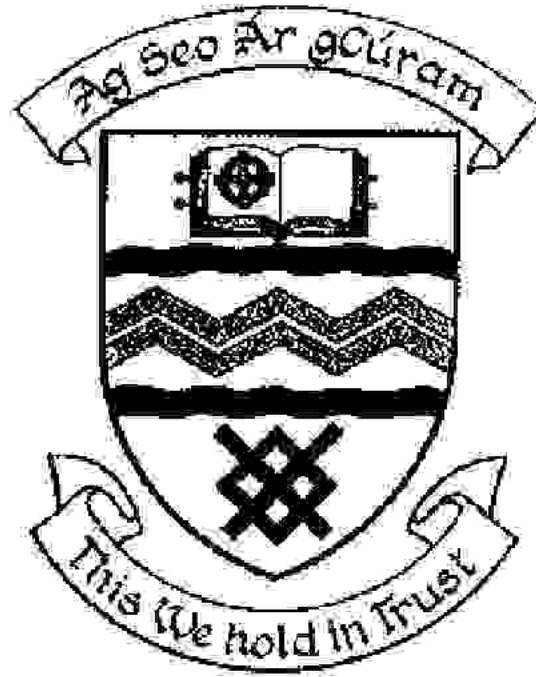
REASON:

In the interest of the proper planning and development of the area.

- 25 The applicant shall pay a sum of money for the maintenance and operation by the Council of the proposed foul sewage pumping plant. The sum to be determined on the basis of the Council's maintenance of the pumping plant for a period of operation of twelve years. The amount and method of such payment to be agreed with the County Council prior to the commencement of development.

REASON:

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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 26 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £126,000 (one hundred and twenty six thousand pounds) EUR 159,987 (one hundred and fifty nine thousand nine hundred and eighty seven euros) or lodgement with the Council of a cash sum of £84,000 (eighty four thousand pounds) EUR 106,658 (one hundred and six thousand six hundred and fifty eight euros)

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- 27 That a financial contribution in the sum of £63,000 (sixty three thousand pounds) EUR 79,993 (seventy nine thousand nine hundred and ninety three euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

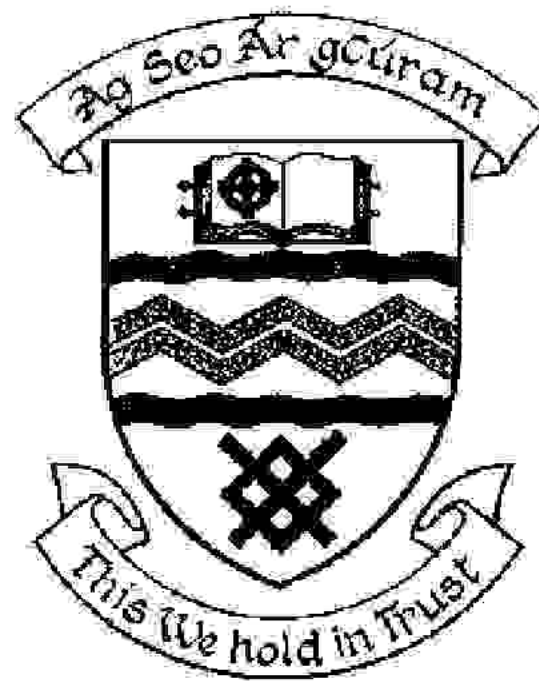
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 28 That a financial contribution in the sum of £176,400 (one hundred and seventy six thousand four hundred pounds) EUR 223,981 (two hundred and twenty three thousand nine hundred and eighty one euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 29 That a financial contribution in the sum of £177,000 (one hundred and seventy seven thousand pounds) EUR 224,743 (two hundred and twenty four thousand seven hundred and forty three euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 30 That a financial contribution in the sum of £30,414 (thirty thousand four hundred and fourteen pounds) EUR 38,617 (thirty eight thousand six hundred and seventeen euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 31 That a financial contribution in the sum of £83 (eighty three pounds) EUR 105 (one hundred and five euros) PER DWELLING be paid by the proposer to South Dublin County Council towards the cost of upgrading of existing public sewers on Brookfield Road to which it is proposed to discharge and which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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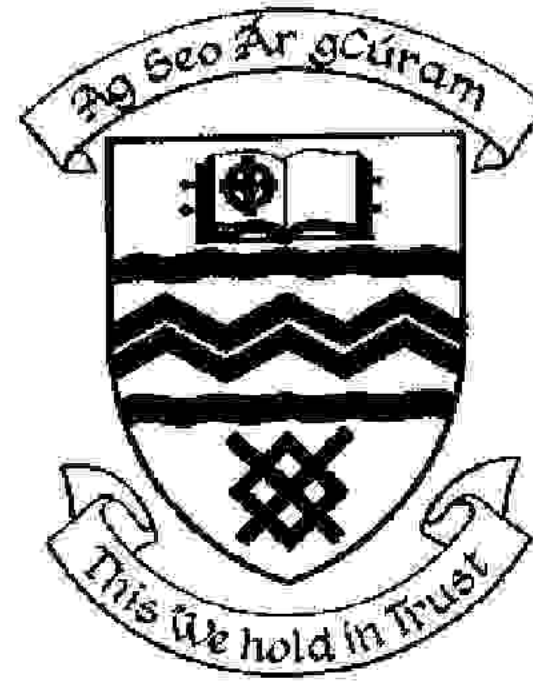
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reasonable that the developer should contribute towards the
cost of the works.

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1. Location	Garters Lane, Saggart, Co. Dublin.		
2. Development	Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0928 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.		
3. Date of Application	29/05/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/06/2000 2.	1. 2.
4. Submitted by	Name: McGrane & Partners, Address: Paradigm House, Dundrum Office Park,		
5. Applicant	Name: Melbury Developments Ltd., Address: 20-21 Sullivans Quay, Cork.		
6. Decision	O.C.M. No. 1237 Date 08/06/2000	Effect AR REQUEST REVISED PUBLIC NOTICE	
7. Grant	O.C.M. No. Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
8. Appeal Lodged			
9. Appeal Decision			
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14. Registrar Date Receipt No.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 1237	Date of Order 08/06/2000
Register Reference S00A/0365	Date 29/05/00

Applicant Melbury Developments Ltd.,

Development Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0928 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.

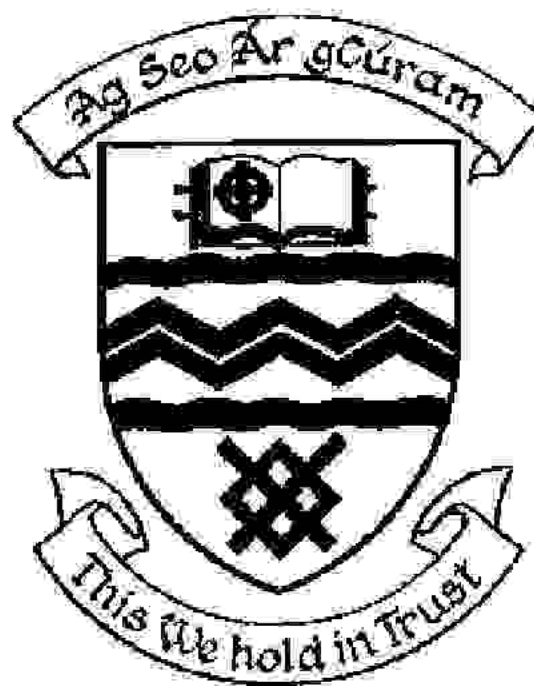
Location Garters Lane, Saggart, Co. Dublin.

Dear Sir/Madam,

An inspection carried out on 06/06/00 has shown that the site notice erected in respect of your planning application does not comply with the requirements of the Local Government (Planning and Development) Regulations, 1994 as it is illegible from the public roadway. Before this application can be considered, you must erect a new notice on the site or structure, and submit the following to this Department:

McGrane & Partners,
Paradigm House,
Dundrum Office Park,
Dundrum,
Dublin 14.

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- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority".
4. Must state:
 - (a) Applicant's name
 - (b) whether application is for Permission, Outline Permission, or Approval.
 - (c) nature and extent of development including number of dwellings (if any)
 - (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

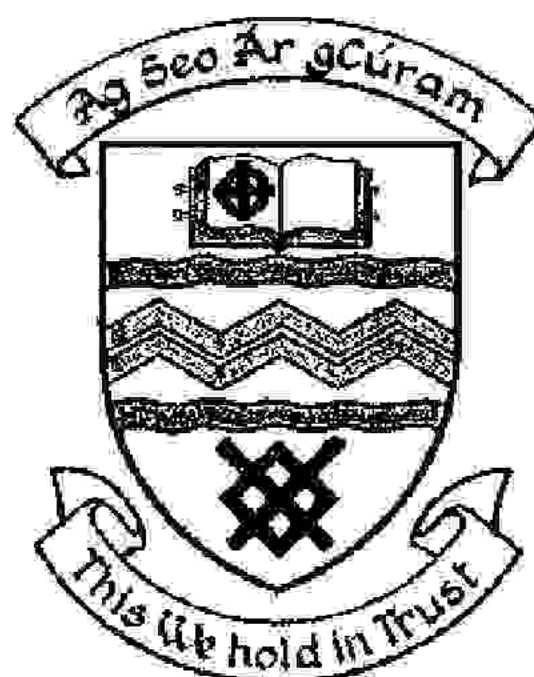
Yours faithfully,

MA
..... 08/06/00
for Senior Administrative Officer.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0365	
1. Location	Garters Lane, Saggart, Co. Dublin.		
2. Development	Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0928 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.		
3. Date of Application	29/05/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 08/06/2000 2.	1. 12/06/2000 2.
4. Submitted by	Name: McGrane & Partners, Address: Paradigm House, Dundrum Office Park,		
5. Applicant	Name: Melbury Developments Ltd., Address: 20-21 Sullivans Quay, Cork.		
6. Decision	O.C.M. No. 1574 Date 19/07/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1985 Date 31/08/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

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McGrane & Partners,
Paradigm House,
Dundrum Office Park,
Dundrum,
Dublin 14.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 1985	Date of Final Grant 31/08/2000
Decision Order Number 1574	Date of Decision 19/07/2000
Register Reference S00A/0365	Date 12/06/00

Applicant Melbury Developments Ltd.,

Development Construction of an apartment development consisting of 3 blocks, 2 linked and 1 free standing block fronting Garters Lane, Saggart to be 2 storey with development in roof space to provide some development at second floor in roof in blocks overlooking golf course furthest from road being 3 storey with some development at third floor in roof space. Blocks comprise 53 no. 2-bed, 22 no. 3-bed and 9 no. 4-bed apartments along with ancillary site development works with entrance roads and entrance to site. This application is for an identical development to that approved under planning ref. S99A/0928 but seeks to amend condition no. 24(i), (ii), (iii), to be changed from "No development shall commence" to "No apartment shall be occupied until such time as that a satisfactory waste disposal system is on the site". Permission is also sought to erect a small heritage centre for Saggart Resident's Association on the same site.

Location Garters Lane, Saggart, Co. Dublin.

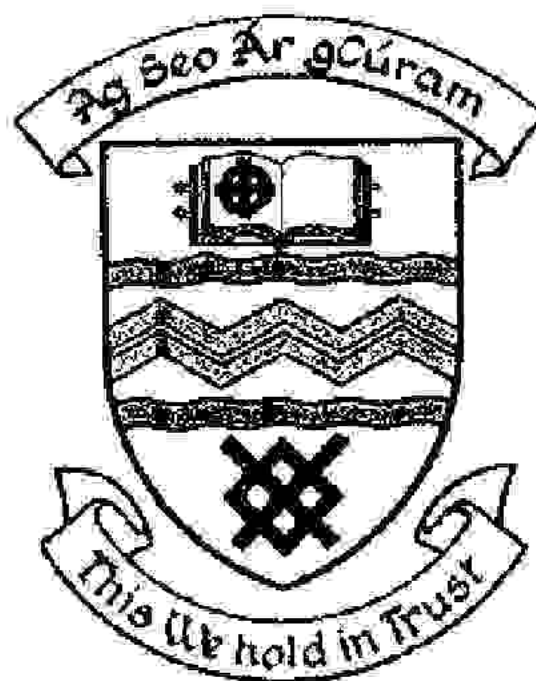
Floor Area 38.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 08/06/2000 /12/06/2000

REG REF. S00A/0365

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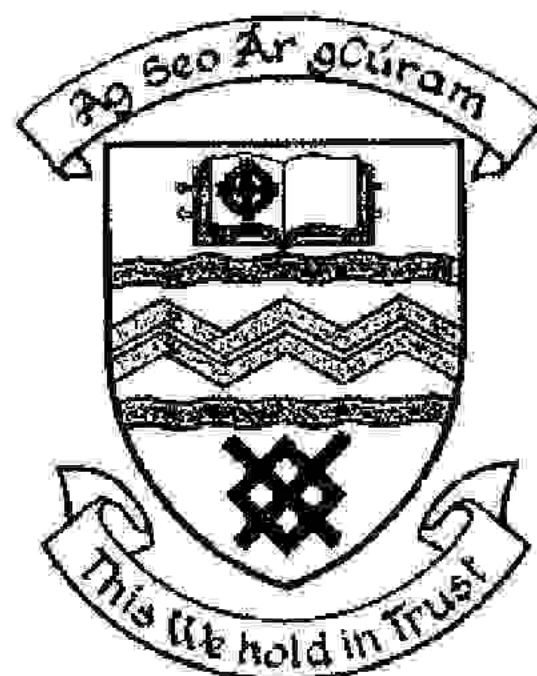
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A Permission has been granted for the development described above,
subject to the following (31) Conditions.

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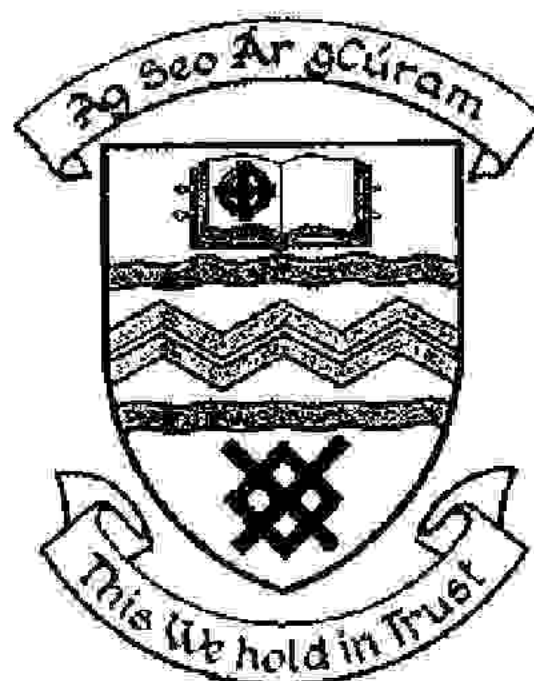
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information received on 12/06/00 and 16/06/00, save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
 REASON:
 To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
 REASON:
 In the interest of amenity.
- 4 That no apartment be occupied until all the services have been connected thereto and are operational.
 REASON:
 In the interest of the proper planning and development of the area.
- 5 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
 REASON:
 in the interest of the proper planning and development of the area.
- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 REASON:
 In order to comply with the Sanitary Services Acts, 1878-1964.

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- 7 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 8 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, sewers, watermain or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 9 That public lighting and car park lighting is provided in accordance with a scheme to be approved by the County Council and before any of the apartments are first occupied.

REASON:

In the interest of the proper planning and development of the area.

- 10 That no part of the development shall exceed 15 metres in height above ground level.

REASON:

To meet the requirements of the Department of Defence.

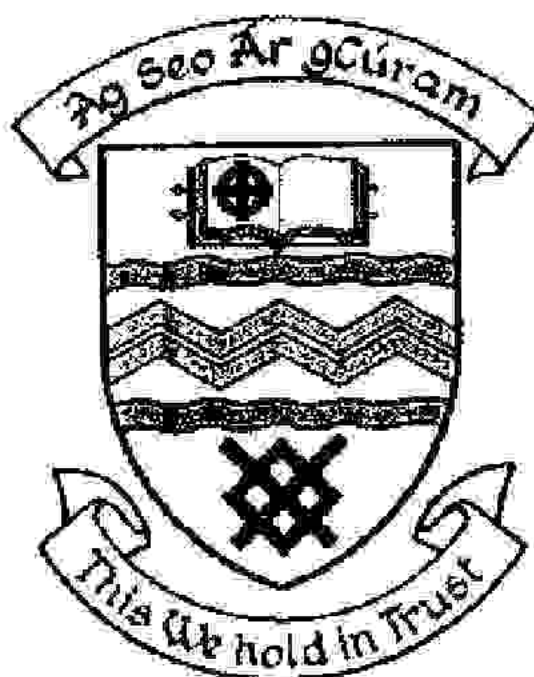
- 11 That an acceptable street naming and apartment naming/ numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 12 Prior to commencement of works on site the applicant shall agree with the Parks and Landscape Services Department a detailed landscaping plan with full works specification to include a survey of any existing trees with proposals for surgery to and retention of existing trees where appropriate and details of the proposed means of protecting the trees to be retained during construction, grading, topsoiling,

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seeding, paths, drainage, boundary treatment and shrub and tree planting.

REASON:

In the interest of the proper planning and development of the area.

- 13 The proposed landscaping/planting and the proposed heritage centre shall all be provided before any of the apartments are first occupied.

REASON:

In the interest of the proper planning and development of the area.

- 14 The details of the 3 metre wide cobblelock path along the Garter Lane frontage shown on the site layout plan drawing number 9912 PD01C is not satisfactory to the Roads Department. Therefore revised details of this shall be agreed with the Roads Department and submitted to the Planning Authority for agreement before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 15 No construction or site preparation work shall be carried out on the site until all archaeological requirements of the Planning Authority have been complied with.

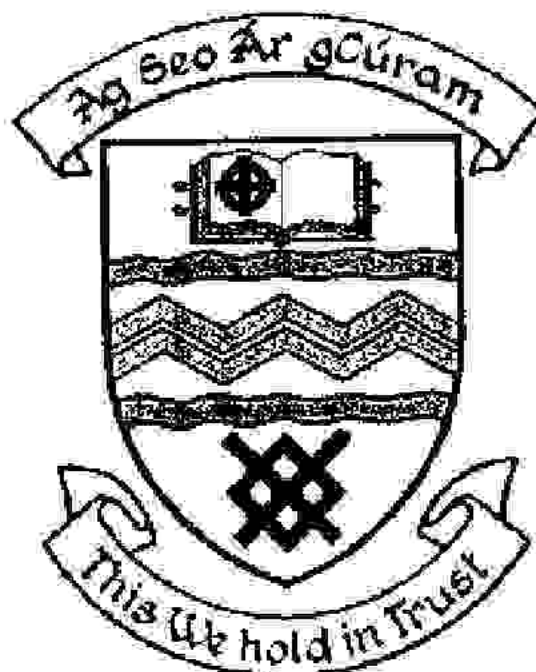
REASON:

To facilitate the Planning authority in the archaeological appraisal of the site which is located within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment) Act 1994.

- 16 The applicant shall have an archaeological assessment of the site of all proposed site development works carried out as soon as possible and before construction work commences. The assessment shall be prepared by a qualified Archaeologist and shall address the following issues:

- a) The archaeological and historical background of the site.
- b) The nature, extent and location of archaeological material on the site.
- c) The impact of the proposed development on such archaeological material including the impact of the development on the archaeological amenity of adjacent monuments.

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The assessment shall be carried out on the basis of desk based study and on the basis of trial trenches excavated on site by the Archaeologist. The trial trenches shall be hand excavated in order to establish the depth of archaeological stratigraphy.

Where archaeological material is shown to be present, a detailed Impact Statement shall be prepared by the Archaeologist which will include specific information on the location, form, size and level (corrected to Ordnance Datum) of all foundation structures, ground beams, floor slabs, trenches for services, drains etc. No subsurface work shall be undertaken in the absence of the Archaeologist without his/her express consent.

REASON:

To facilitate the Planning Authority in the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment Act) 1994.

- 17 A written report containing the results of the archaeological assessment shall be forwarded to the Planning Authority and to the Heritage Service with full and final details of all proposed development works.

REASON:

To facilitate the Planning Authority in the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment Act) 1994.

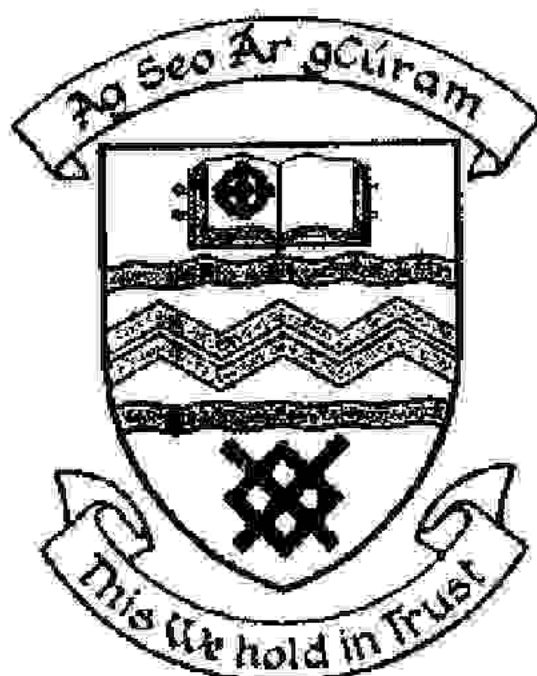
- 18 Before any work commences, the applicant shall agree in writing and comply with all requirements of Duchas the Heritage Service in relation to proposed foundation structures and further archaeological requirements (including if necessary preservation in situ, excavation or monitoring). No construction or development related works should take place on site until written approval has been issued by The Heritage Service with reference to the archaeological report.

REASON:

In the interest of the archaeological appraisal of the site which is within the boundary of a Recorded Monument and Place protected under Section 12, National Monuments (Amendment) Act 1994.

- 19 That the car parking areas indicated on the submitted plans shall be surfaced and marked out before any of the apartments are first occupied.

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REASON:

In the interest of road safety.

- 20 Details and samples of all external facing and roofing materials shall be submitted to and agreed by the Planning Authority before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 21 Full details of the height, materials and finishes of all boundary treatments, including the height of the proposed piers, shall be submitted to and agreed with the Planning Authority before development commences.

REASON:

In the interest of the proper planning and development of the area.

- 22 That details of the Management Agreement for the maintenance and control of the site be submitted to and agreed with the Planning Authority prior to the commencement of development.

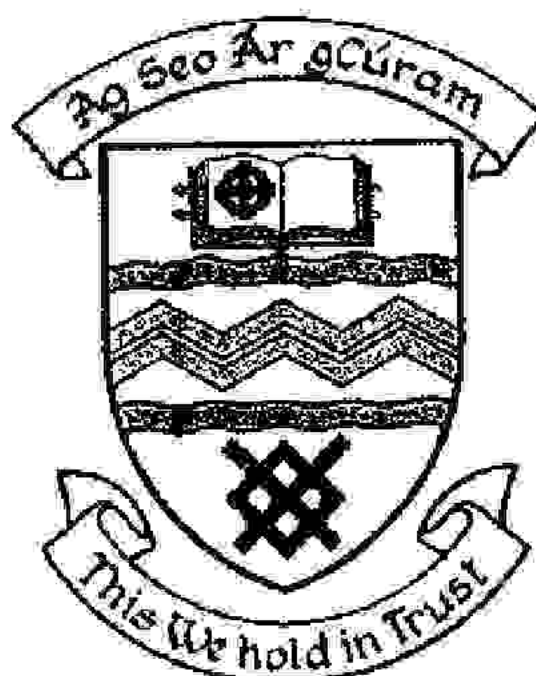
REASON:

In the interest of the proper planning and development of the area.

- 23 The applicant shall comply with the following requirements of the Environmental Services Department:-

- (i) No apartment shall be occupied until the Manager of the Sanitary Authority has confirmed in writing that the existing receiving foul sewers on Brookfield Road are upgraded in order to accommodate increased flows.
- (ii) No apartment shall be occupied until the wastewater collection system and pumping station on the adjoining lands (ref. permission S99A/0205) are in place and connected to the public sewer of adequate capacity.
- (iii) The applicant shall ensure full and complete separation of foul and surface water systems. All drainage pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (iv) The surface water discharges from the site shall be attenuated by way of oversized surface water pipes (900mm diameter) and fitted with a hydrobrake flow control or similar such that the maximum surface

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water discharge from the site shall not exceed 15.84 l/s.

- (v) Prior to commencement of works the applicant shall submit for the approval of the Area Engineer, Deansrath (tel. (01) 4570784) a detailed watermain layout. The layout shall indicate watermain size, valve, meter and hydrant layout, and the proposed point of connection to existing watermain. (Layout to be in accordance with Part B of 1997 Building Regulation).
- (vi) Prior to the development of the site the applicant shall pay a sum of money to be agreed with the Council for the maintenance and operation by the Council of the proposed foul sewage pumping plant. The sum shall be determined on the basis of the Council's maintenance of the pumping plant for a period of 12 years.

REASON:

in the interests of public health and the proper planning and development of the area.

- 24 Bin storage facilities shall be provided in accordance with details agreed under permission Reg. Ref. S99A/0928 and driers in kitchen or utility rooms shall be a requirement of each lease as agreed under that permission.

REASON:

In the interest of the proper planning and development of the area.

- 25 The applicant shall pay a sum of money for the maintenance and operation by the Council of the proposed foul sewage pumping plant. The sum to be determined on the basis of the Council's maintenance of the pumping plant for a period of operation of twelve years. The amount and method of such payment to be agreed with the County Council prior to the commencement of development.

REASON:

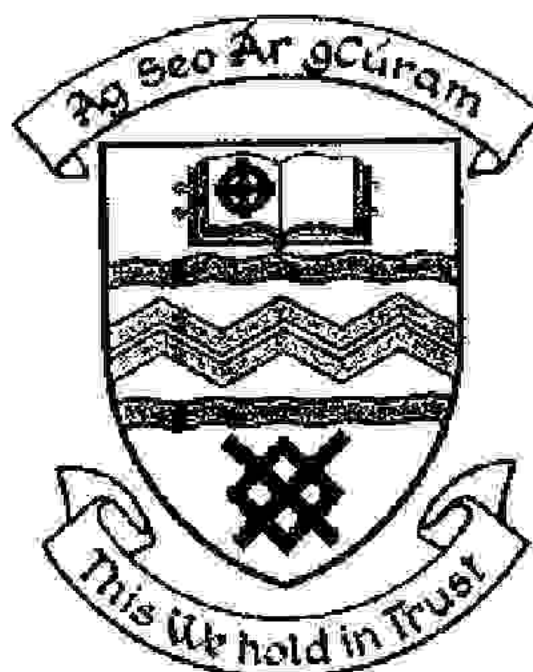
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 26 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £126,000 (one hundred and twenty six thousand pounds) EUR 159,987 (one hundred and fifty nine thousand

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nine hundred and eighty seven euros) or lodgement with the Council of a cash sum of £84,000 (eighty four thousand pounds) EUR 106,658 (one hundred and six thousand six hundred and fifty eight euros)

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- 27 That a financial contribution in the sum of £63,000 (sixty three thousand pounds) EUR 79,993 (seventy nine thousand nine hundred and ninety three euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 28 That a financial contribution in the sum of £176,400 (one hundred and seventy six thousand four hundred pounds) EUR 223,981 (two hundred and twenty three thousand nine hundred and eighty one euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 29 That a financial contribution in the sum of £177,000 (one hundred and seventy seven thousand pounds) EUR 224,743 (two hundred and twenty four thousand seven hundred and forty three euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

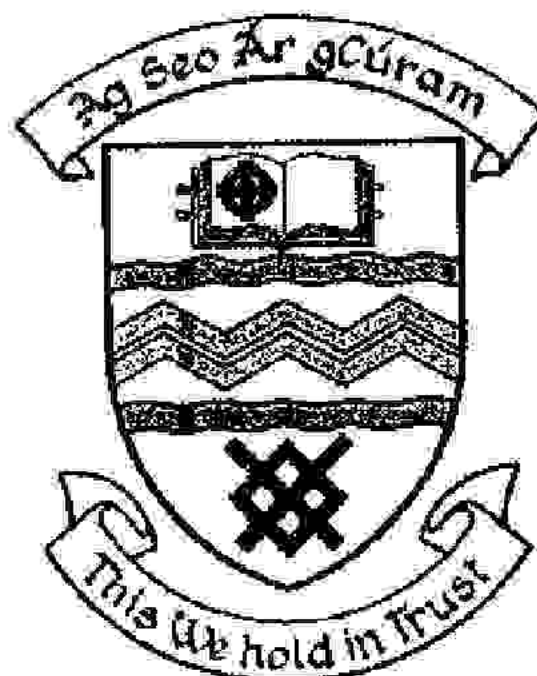
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or

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that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 30 That a financial contribution in the sum of £30,414 (thirty thousand four hundred and fourteen pounds) EUR 38,617 (thirty eight thousand six hundred and seventeen euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 31 That a financial contribution in the sum of £83 (eighty three pounds) EUR 105 (one hundred and five euros) PER DWELLING be paid by the proposer to South Dublin County Council towards the cost of upgrading of existing public sewers on Brookfield Road to which it is proposed to discharge and which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

Dora Kane
.....01/09/00
for SENIOR ADMINISTRATIVE OFFICER