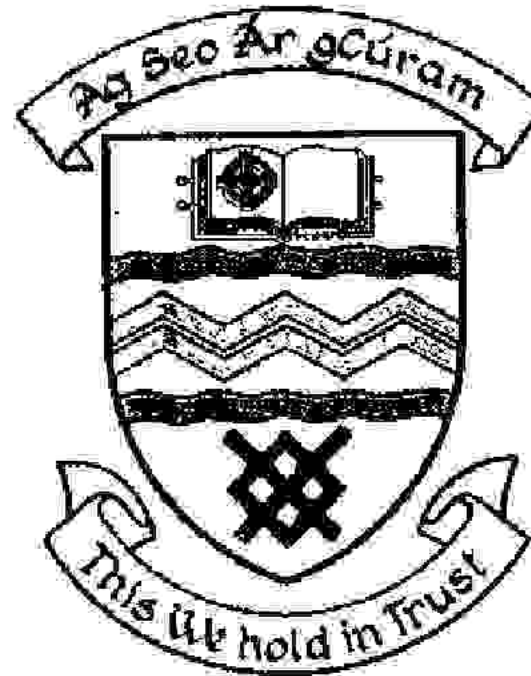


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0489	
1. Location	Killinarden House, Killinarden, Tallaght, Dublin 24.		
2. Development	Partial first floor extension to existing licenced premises with general internal alterations and minor ammendments to existing shop front.		
3. Date of Application	11/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Frank Ennis & Associates, Address: 63 Rock Road, Blackrock,		
5. Applicant	Name: Westmarch Ltd., Address: Killinarden House, Killinarden, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 2053a Date 07/09/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2354 Date 20/10/2000	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
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Baile Átha Cliath 24

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Dublin 24

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Fax: 01-414 9104

Frank Ennis & Associates,
63 Rock Road,
Blackrock,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 2354	Date of Final Grant 20/10/2000
Decision Order Number 2053a	Date of Decision 07/09/2000
Register Reference S00A/0489	Date 11/07/00

Applicant Westmarch Ltd.,

Development Partial first floor extension to existing licenced premises with general internal alterations and minor ammendments to existing shop front.

Location Killinarden House, Killinarden, Tallaght, Dublin 24.

Floor Area 178.00 Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (7) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

In this regard:-

- (i) Any food preparation, serving and consumption associated with the proposed kitchens at ground and first floor levels shall be strictly ancillary to the licensed premises use of the premises.
- (ii) Details of the type of uses for the proposed meeting room at first floor level shall be submitted to and agreed with the Planning Authority prior to the commencement of development.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

In this regard details of proposed drainage up to and including connection to public sewers shall be submitted to and agreed with the Sanitary Authority prior to the commencement of development. Details are to indicate complete separation of foul and surface water drainage systems.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

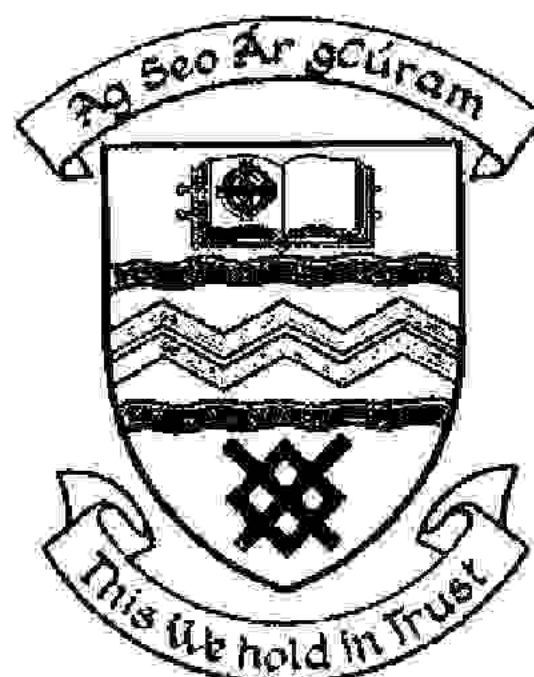
REASON:

To protect the amenities of the area.

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- 5 That a financial contribution in the sum of £1,497 (One Thousand Four Hundred and Ninety Seven Pounds) EUR 1,901 (One Thousand Nine Hundred and One Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 6 That a financial contribution in the sum of £3,895 (Three Thousand Eight Hundred and Ninety Five Pounds) EUR 4,946 (Four Thousand Nine Hundred and Forty Six Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 7 That a financial contribution in the sum of £751 (Seven Hundred and Fifty One Pounds) 953 EUR (Nine Hundred and Fifty Three Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

RÉG. REF. S00A/0489

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-
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

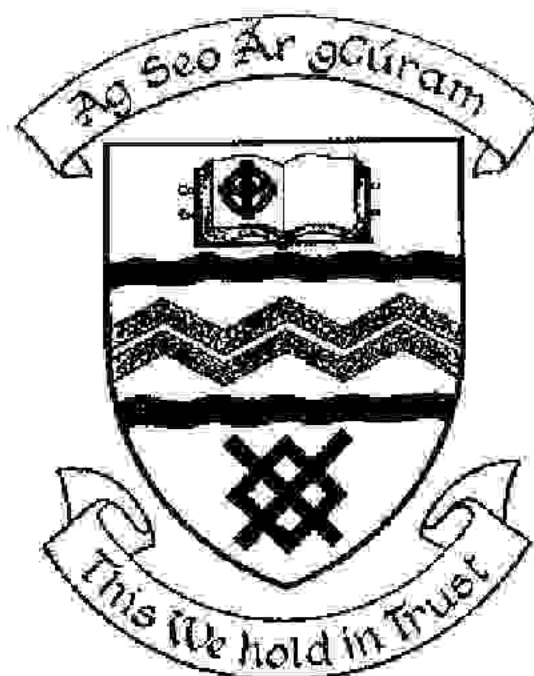
.....23/10/00
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0489	
1. Location	Killinarden House, Killinarden, Tallaght, Dublin 24.		
2. Development	Partial first floor extension to existing licenced premises with general internal alterations and minor ammendments to existing shop front.		
3. Date of Application	11/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Frank Ennis & Associates, Address: 63 Rock Road, Blackrock,		
5. Applicant	Name: Westmarch Ltd., Address: Killinarden House, Killinarden, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 2053a Date 07/09/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
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13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2053	Date of Decision 07/09/2000
Register Reference S00A/0489	Date: 11/07/00

Applicant Westmarch Ltd.,

Development Partial first floor extension to existing licenced premises with general internal alterations and minor ammendments to existing shop front.

Location Killinarden House, Killinarden, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (7) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

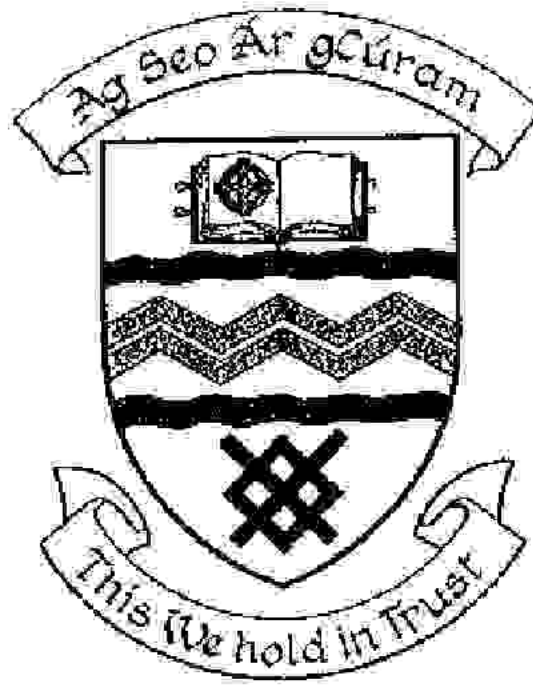
..... *MY* 07/09/00
for SENIOR ADMINISTRATIVE OFFICER

Frank Ennis & Associates,
63 Rock Road,
Blackrock,
Co. Dublin.

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Conditions and Reasons

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In this regard:-

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- (ii) Details of the type of uses for the proposed meeting room at first floor level shall be submitted to and agreed with the Planning Authority prior to the commencement of development.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

In this regard details of proposed drainage up to and including connection to public sewers shall be submitted to and agreed with the Sanitary Authority prior to the commencement of development. Details are to indicate complete separation of foul and surface water drainage systems.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 3 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

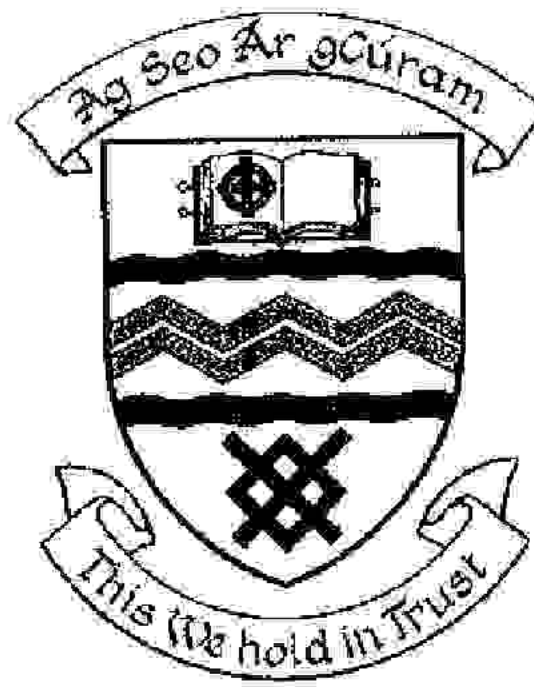
REASON:

In the interest of health.

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- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:

To protect the amenities of the area.

- 5 That a financial contribution in the sum of £1,497 (One Thousand Four Hundred and Ninety Seven Pounds) EUR 1,901 (One Thousand Nine Hundred and One Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 6 That a financial contribution in the sum of £3,895 (Three Thousand Eight Hundred and Ninety Five Pounds) EUR 4,946 (Four Thousand Nine Hundred and Forty Six Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 7 That a financial contribution in the sum of £751 (Seven Hundred and Fifty One Pounds) 953 EUR (Nine Hundred and Fifty Three Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council

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will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.