

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0493	
1. Location	Killinarden Heights, Tallaght, Dublin 24.		
2. Development	Development comprising demolition of existing bungalow, site clearance, and the erection of 58 number 2 bed apartments and 19 number 1 bed apartments (77 in all) in 1 number 3 storey and 2 number 4 storey blocks, single storey residents laundry/drying facility, provision of car parking, bicycle areas, bin area, landscaping, drainage, water and all associated site works in lieu of approved development under Reg. Ref. S98A/0694.		
3. Date of Application	14/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 12/09/2000 2.	1. 11/10/2000 2.
4. Submitted by	Name: John A. Randall & Associates, Address: Kenlis, 17 Greenfield Road,		
5. Applicant	Name: Bunty Properties Ltd., Address: 62 Orwell Road, Dublin 6.		
6. Decision	O.C.M. No. 2674 Date 07/12/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0150 Date 22/01/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

14.

Registrar

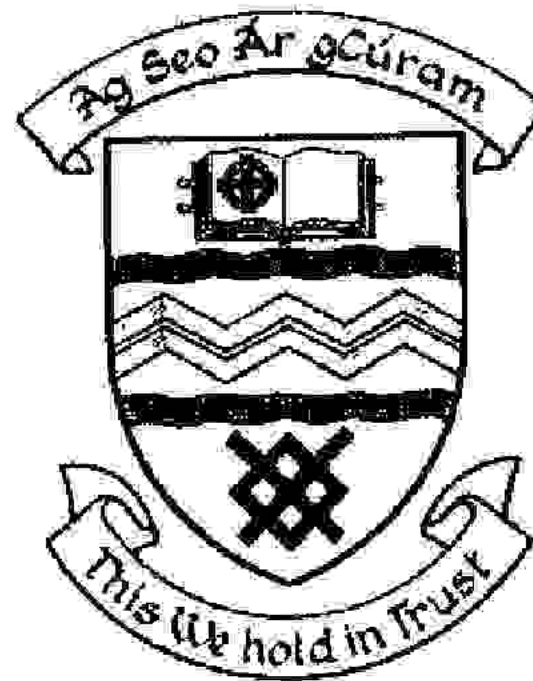
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Date

.....

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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PLANNING DEPARTMENT
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John A. Randall & Associates,
Kenlis,
17 Greenfield Road,
Mount Merrion,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Final Grant Order Number 0150	Date of Final Grant 22/01/2001
Decision Order Number 2674	Date of Decision 07/12/2000
Register Reference S00A/0493	Date 11/10/00

Applicant Bunty Properties Ltd.,

Development Development comprising demolition of existing bungalow, site clearance, and the erection of 58 number 2 bed apartments and 19 number 1 bed apartments (77 in all) in 1 number 3 storey and 2 number 4 storey blocks, single storey residents laundry/drying facility, provision of car parking, bicycle areas, bin area, landscaping, drainage, water and all associated site works in lieu of approved development under Reg. Ref. S98A/0694.

Location Killinarden Heights, Tallaght, Dublin 24.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

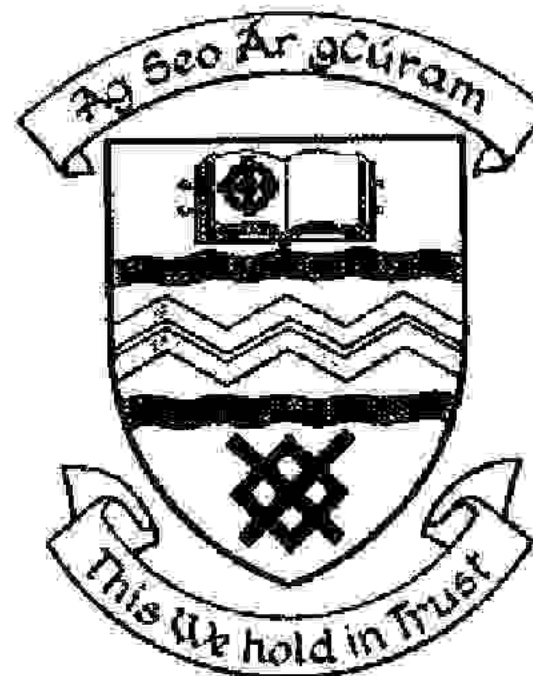
Additional Information Requested/Received 12/09/2000 /11/10/2000

A Permission has been granted for the development described above,
subject to the following (22) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information lodged on the 11/10/00 and Unsolicited Additional Information lodged on the 20/07/00 and the 18/10/00, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The fourth storey elements in Blocks 2 and 3 shall be omitted from the proposed development and revised drawings shall be submitted to and approved by the Planning Authority. A revised site layout plan showing car parking provision reduced to 113 spaces and showing a larger central area of open space shall also be submitted to and approved by the Planning Authority. Both requirements to be complied with prior to commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 3 Details of materials including samples shall be submitted to and approved by the Planning Authority before the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 4 The applicant shall provide windows on the gable elevations to all kitchens and bathrooms in order to provide daylight to these rooms. All windows on the southern end elevation of block 1 shall be in obscured glazing in order to avoid overlooking of the adjacent houses. All bathroom windows shall also be obscured-glazed.

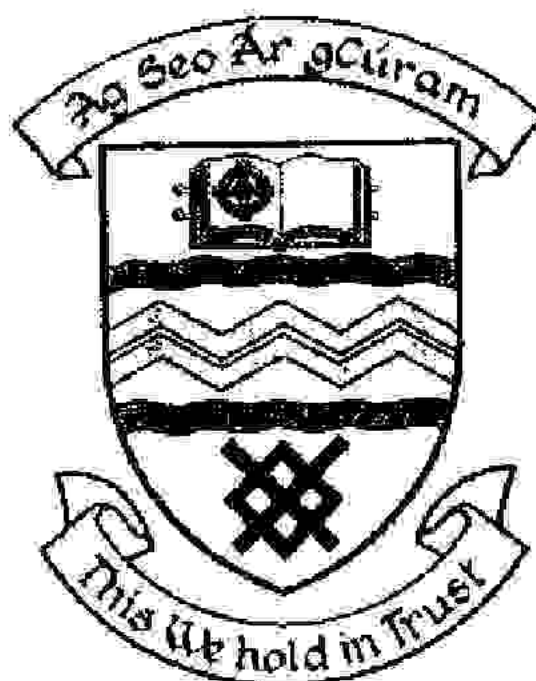
REASON:

In the interest of residential amenity.

- 5 The applicant shall meet the following requirements of the Parks Department:

- (i) A detailed tree survey shall be provided prior to the commencement of works on site, indicating the location, species, age, condition, crown spread and height of tree. The trees outside the boundary fence shall be included and particular attention shall be given to those which have already been damaged in the construction of the access roadway to

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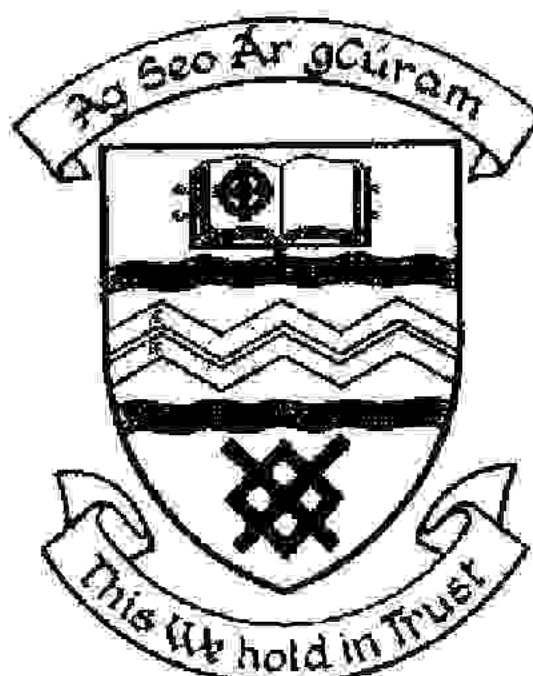
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- this site. Information shall be given on the proposals for removal/retention of these trees and measures proposed to protect them during the course of the development. A scheme of tree felling and surgery works based on the applicant's tree survey shall be carried out prior to the commencement of works on site. It should be noted that these trees will not survive if any excavation is carried out within their root zones.
- (ii) The trees to be retained on site shall be protected by post and rail fencing to enclose at least the area covered by the crown spread. This shall be erected by the developer and inspected by an official from the Parks and Landscape Services Department prior to development works commencing on site.
- (iii) The exact details of the proposed plinth wall and railing boundary between the road and the adjoining development shall be agreed with the Parks Department prior to the commencement of works on site. The existing boundary with the school which consists of a wall-mounted steel palisade fence shall be replaced with a more suitable boundary, details of which shall also be agreed with the Parks Department.
- (iv) The exact route of the underground services within the development shall be marked out on site and agreed with the Parks Department prior to commencement of any development works to minimise damage to trees which would inevitably result from excavation works.
- (v) Prior to the commencement of works on site, the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for implementation) and bill of quantities for the development of the internal open spaces and landscaped areas within the scheme. This plan shall include grading, topsoiling, seeding paths, drainage, boundary treatment and planting as necessary.
- (vi) It is assumed that the communal open spaces within the development will not be taken in charge by South Dublin County Council and therefore it is essential that, prior to the commencement of works, evidence be provided of a Management Plan/Agreement to be put in place to ensure the ongoing maintenance of the open spaces.

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REASON:

In the interest of the proper planning and development of the area.

- 6 The applicant shall meet the following requirements of the Roads Department:
- (i) Provision of a 2 metre wide concrete pathway along Killinarden Heights frontage (from bus stop to Killinarden Road footpath).
 - (ii) Provision of a 1.5m concrete pathway along access road to site entrance.
 - (iii) The last 6m of the access road approach to Killinarden Heights shall be a right angle (and not 45 degree angle as shown on site layout).
 - (iv) Construction details (sub-base, surfacing, junction radii, drainage, gradient etc.) of existing laneway (access road) shall be agreed before development commences with Roads Planning Section.
 - (v) Public lighting shall be extended as far as the site entrance.

REASON:

In the interest of the proper planning and development of the area.

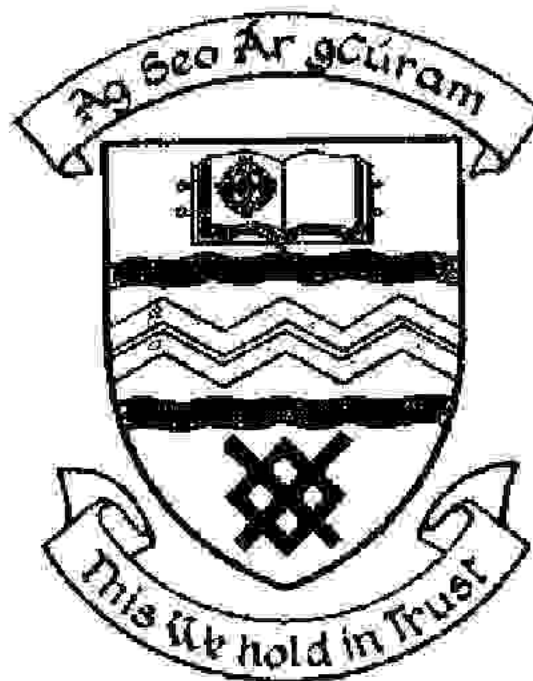
- 7 With respect to drainage arrangements, the applicant shall meet the following requirements of the Environmental Services Department:
- (i) Full and complete separation of foul and surface water systems shall be ensured.
 - (ii) All foul and surface water sewers shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (iii) Surface water pipes downstream of manhole S4 shall have a minimum diameter of 225mm and those downstream of manhole S7 shall have a minimum diameter of 275mm.

REASON:

In the interest of public health.

- 8 With respect to water supply, the applicant shall meet the following requirements of the Environmental Services Department:
- (i) Branch connection, swabbing, chlorination and tappings shall be carried out by SDCC personnel at the applicant's prior expense.
 - (ii) Each unit shall have a separate supply.

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- (iii) Branch connection and road crossing shall be upgraded to 150mm DI with 100mm spurs feeding northern hydrants.
- (iv) Loops shall be installed on northern hydrants to facilitate self-cleansing of watermains.
- (v) SV shall be installed adjacent to proposed point of connection to 250mm AC main.
- (vi) 50mm Kent Helix 3000 meter on bypass shall be installed at site entrance in accessible location. The applicant shall submit and agree details of revised watermain, meter and SV with the Area Engineer, Deansrath Depot (Tel 4570784/5/6), prior to commencement of the works. Layout shall be in compliance with Part B of the Building Regulations 1997.
- (vii) The applicant shall install balancing tank and booster pump on rising main to 3rd storey units to ensure adequate service pressure. Details shall be submitted to Area Engineer, Deansrath Depot, for agreement prior to commencement of works.
- (viii) 24 hour storage shall be provided to allow for temporary shutdown of water supply for essential maintenance works.

REASON:

In the interest of public health.

- 9 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

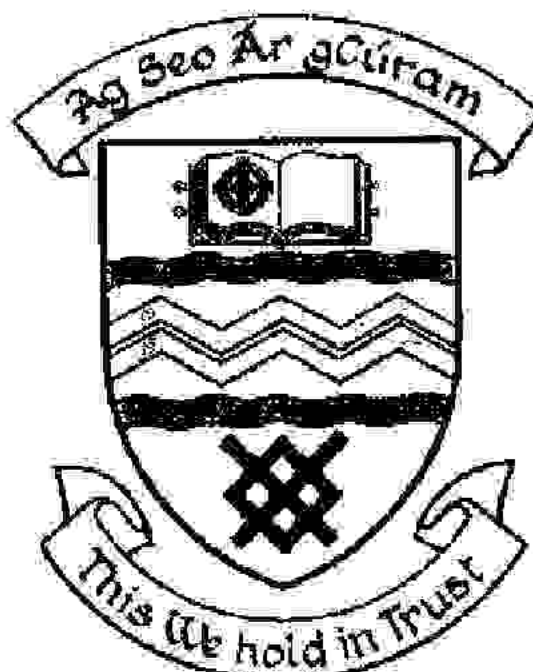
- 11 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space,

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sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 14 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 15 That an acceptable naming/numbering scheme be submitted and approved by the County Council before any constructional work has taken place on the proposed development.

REASON:

In the interest of the proper planning and development of the area.

- 16 That details of the Management Agreement for the maintenance and Control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 17 That a financial contribution in the sum of £44,250 (Forty Four Thousand Two Hundred and Fifty Pounds) EUR 56,186 (Fifty Six Thousand One Hundred and Eighty Six Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the cost of providing the services.

- 18 That a financial contribution in the sum of £114,450 (One Hundred and Fourteen Thousand Four Hundred and Fifty Pounds) EUR 145,321 (One Hundred and Forty Five Thousand Three Hundred and Twenty One Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 19 That a financial contribution in the sum of £40,875 (Forty Thousand Eight Hundred and Seventy Five Pounds) EUR 51,900 (Fifty One Thousand Nine Hundred Euros) be paid by the proposer to South Dublin County Council towards Sean Walsh Park which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 20 That a financial contribution in the sum of £36,780 (Thirty Six Thousand Seven Hundred and Eighty Pounds) EUR 46,700 (Forty Six Thousand Seven Hundred Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 21 That a Bond or Cash Lodgement of £20,000 (Twenty Thousand Pounds) EUR 25,394 (Twenty Five Thousand Three Hundred and Ninety Four Euros) shall be lodged with the Planning Authority before development commences to ensure the

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protection of trees on the site and to repair any damage caused during the construction period.

REASON:

In the interest of the proper planning and development of the area.

- 22 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £94,500 (Ninety Four Thousand Five Hundred Pounds) EUR 119,990 (One Hundred and Nineteen Thousand Nine Hundred and Ninety Euros) or lodgement with the Council of a cash sum in the sum of £63,000 (Sixty Three Thousand Pounds) EUR 79,993 (Seventy Nine Thousand Nine Hundred and Ninety Three Euros).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

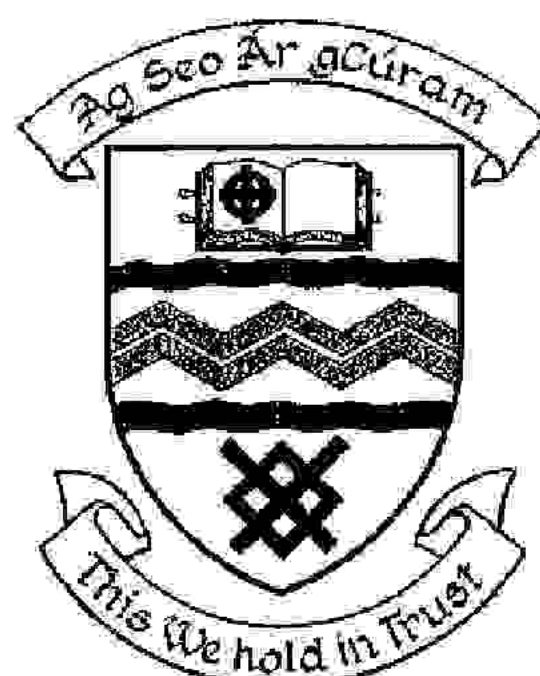

24/01/01
 for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0493	
1. Location	Killinarden Heights, Tallaght, Dublin 24.		
2. Development	Development comprising demolition of existing bungalow, site clearance, and the erection of 58 number 2 bed apartments and 19 number 1 bed apartments (77 in all) in 1 number 3 storey and 2 number 4 storey blocks, single storey residents laundry/drying facility, provision of car parking, bicycle areas, bin area, landscaping, drainage, water and all associated site works in lieu of approved development under Reg. Ref. S98A/0694.		
3. Date of Application	14/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 12/09/2000 2.	1. 11/10/2000 2.
4. Submitted by	Name: John A. Randall & Associates, Address: Kenlis, 17 Greenfield Road,		
5. Applicant	Name: Bunty Properties Ltd., Address: 62 Orwell Road, Dublin 6.		
6. Decision	O.C.M. No. 2674 Date 07/12/2000	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			

SOUTH DUBLIN COUNTY COUNCIL
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2674	Date of Decision 07/12/2000
Register Reference S00A/0493	Date: 14/07/00

Applicant Bunty Properties Ltd.,

Development Development comprising demolition of existing bungalow, site clearance, and the erection of 58 number 2 bed apartments and 19 number 1 bed apartments (77 in all) in 1 number 3 storey and 2 number 4 storey blocks, single storey residents laundry/drying facility, provision of car parking, bicycle areas, bin area, landscaping, drainage, water and all associated site works in lieu of approved development under Reg. Ref. S98A/0694.

Location Killinarden Heights, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 12/09/2000 /11/10/2000

Clarification of Additional Information Requested/Received /

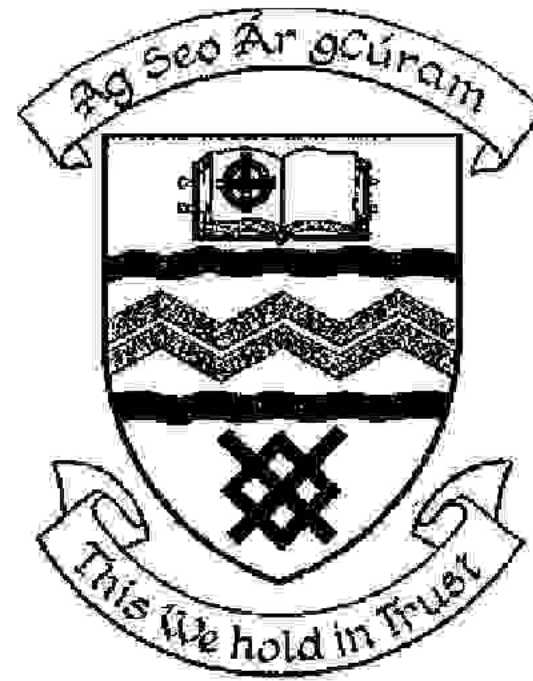
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (22) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

.....*MY*..... 08/12/00
For SENIOR ADMINISTRATIVE OFFICER

John A. Randall & Associates,
Kenlis,
Greenfield Road,
Mount Merrion,
Co. Dublin.

**SOUTH DUBLIN COUNTY COUNCIL
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REG. REF. S00A/0493

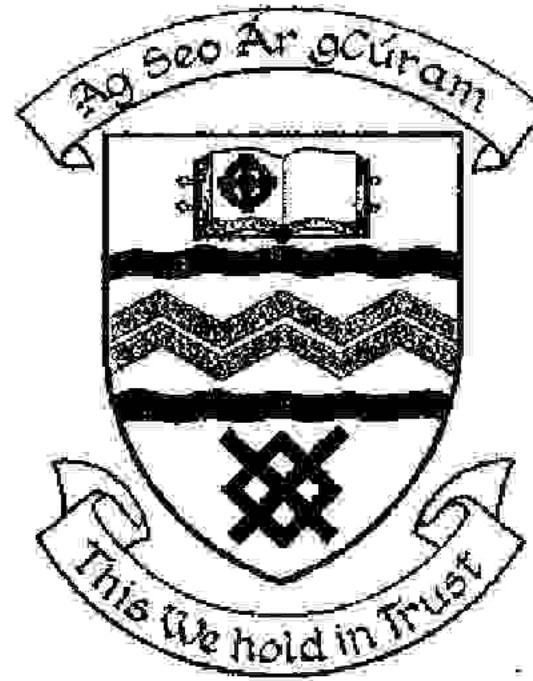
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information lodged on the 11/10/00 and Unsolicited Additional Information lodged on the 20/07/00 and the 18/10/00, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The fourth storey elements in Blocks 2 and 3 shall be omitted from the proposed development and revised drawings shall be submitted to and approved by the Planning Authority. A revised site layout plan showing car parking provision reduced to 113 spaces and showing a larger central area of open space shall also be submitted to and approved by the Planning Authority. Both requirements to be complied with prior to commencement of development.
REASON:
In the interest of the proper planning and development of the area.
- 3 Details of materials including samples shall be submitted to and approved by the Planning Authority before the commencement of development.
REASON:
In the interest of the proper planning and development of the area.
- 4 The applicant shall provide windows on the gable elevations to all kitchens and bathrooms in order to provide daylight to these rooms. All windows on the southern end elevation of block 1 shall be in obscured glazing in order to avoid overlooking of the adjacent houses. All bathroom windows shall also be obscured-glazed.
REASON:
In the interest of residential amenity.
- 5 The applicant shall meet the following requirements of the Parks Department:

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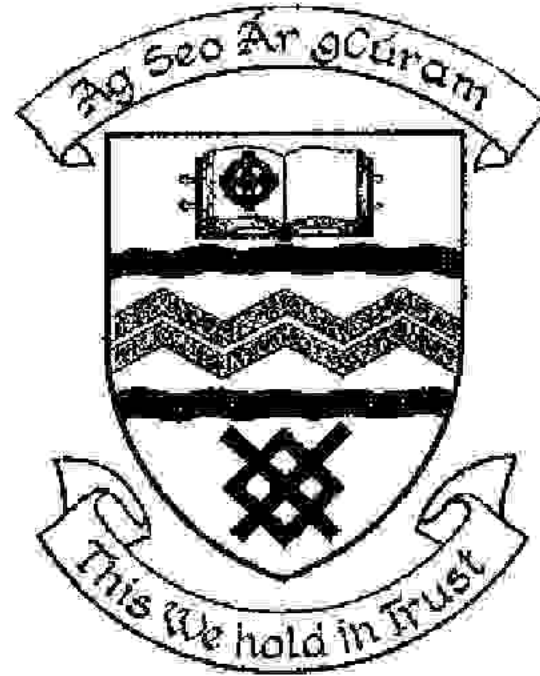
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REG. REF. S00A/0493

- (i) A detailed tree survey shall be provided prior to the commencement of works on site, indicating the location, species, age, condition, crown spread and height of tree. The trees outside the boundary fence shall be included and particular attention shall be given to those which have already been damaged in the construction of the access roadway to this site. Information shall be given on the proposals for removal/retention of these trees and measures proposed to protect them during the course of the development. A scheme of tree felling and surgery works based on the applicant's tree survey shall be carried out prior to the commencement of works on site. It should be noted that these trees will not survive if any excavation is carried out within their root zones.
- (ii) The trees to be retained on site shall be protected by post and rail fencing to enclose at least the area covered by the crown spread. This shall be erected by the developer and inspected by an official from the Parks and Landscape Services Department prior to development works commencing on site.
- (iii) The exact details of the proposed plinth wall and railing boundary between the road and the adjoining development shall be agreed with the Parks Department prior to the commencement of works on site. The existing boundary with the school which consists of a wall-mounted steel palisade fence shall be replaced with a more suitable boundary, details of which shall also be agreed with the Parks Department.
- (iv) The exact route of the underground services within the development shall be marked out on site and agreed with the Parks Department prior to commencement of any development works to minimise damage to trees which would inevitably result from excavation works.
- (v) Prior to the commencement of works on site, the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Authority a detailed landscape plan with full works specification (including timescale for

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REG REF. S00A/0493

implementation) and bill of quantities for the development of the internal open spaces and landscaped areas within the scheme. This plan shall include grading, topsoiling, seeding paths, drainage, boundary treatment and planting as necessary.

- (vi) It is assumed that the communal open spaces within the development will not be taken in charge by South Dublin County Council and therefore it is essential that, prior to the commencement of works, evidence be provided of a Management Plan/Agreement to be put in place to ensure the ongoing maintenance of the open spaces.

REASON:

In the interest of the proper planning and development of the area.

- 6 The applicant shall meet the following requirements of the Roads Department:

- (i) Provision of a 2 metre wide concrete pathway along Killinarden Heights frontage (from bus stop to Killinarden Road footpath).
- (ii) Provision of a 1.5m concrete pathway along access road to site entrance.
- (iii) The last 6m of the access road approach to Killinarden Heights shall be a right angle (and not 45 degree angle as shown on site layout).
- (iv) Construction details (sub-base, surfacing, junction radii, drainage, gradient etc.) of existing laneway (access road) shall be agreed before development commences with Roads Planning Section.
- (v) Public lighting shall be extended as far as the site entrance.

REASON:

In the interest of the proper planning and development of the area.

- 7 With respect to drainage arrangements, the applicant shall meet the following requirements of the Environmental Services Department:

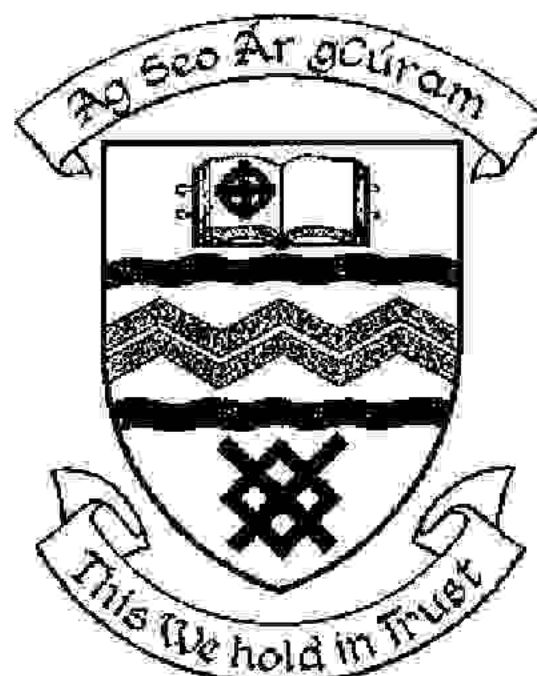
- (i) Full and complete separation of foul and surface water systems shall be ensured.
- (ii) All foul and surface water sewers shall be laid with

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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REG. REF. S00A/0493

a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

- (iii) Surface water pipes downstream of manhole S4 shall have a minimum diameter of 225mm and those downstream of manhole S7 shall have a minimum diameter of 275mm.

REASON:

In the interest of public health.

- 8 With respect to water supply, the applicant shall meet the following requirements of the Environmental Services Department:

- (i) Branch connection, swabbing, chlorination and tappings shall be carried out by SDCC personnel at the applicant's prior expense.
- (ii) Each unit shall have a separate supply.
- (iii) Branch connection and road crossing shall be upgraded to 150mm DI with 100mm spurs feeding northern hydrants.
- (iv) Loops shall be installed on northern hydrants to facilitate self-cleansing of watermains.
- (v) SV shall be installed adjacent to proposed point of connection to 250mm AC main.
- (vi) 50mm Kent Helix 3000 meter on bypass shall be installed at site entrance in accessible location. The applicant shall submit and agree details of revised watermain, meter and SV with the Area Engineer, Deansrath Depot (Tel 4570784/5/6), prior to commencement of the works. Layout shall be in compliance with Part B of the Building Regulations 1997.
- (vii) The applicant shall install balancing tank and booster pump on rising main to 3rd storey units to ensure adequate service pressure. Details shall be submitted to Area Engineer, Deansrath Depot, for agreement prior to commencement of works.
- (viii) 24 hour storage shall be provided to allow for temporary shutdown of water supply for essential maintenance works.

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REASON:

In the interest of public health.

- 9 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 11 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 12 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 13 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

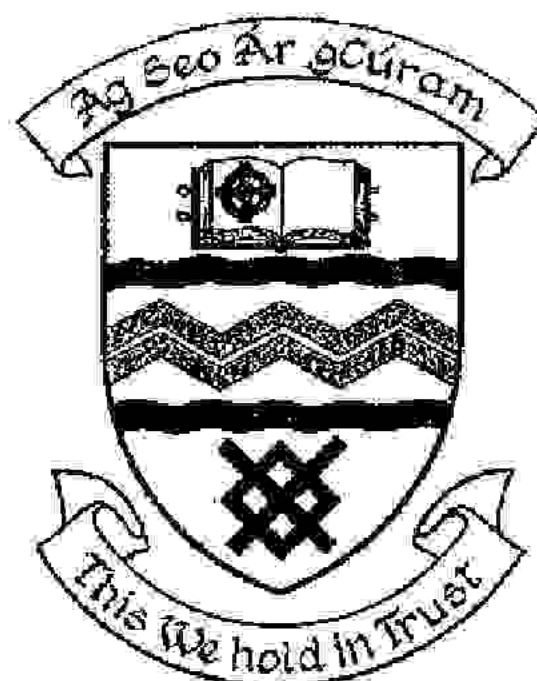
To protect the amenities of the area.

- 14 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained

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and strictly adhered to in the development.

REASON:

In the interest of health.

- 15 That an acceptable naming/numbering scheme be submitted and approved by the County Council before any constructional work has taken place on the proposed development.

REASON:

In the interest of the proper planning and development of the area.

- 16 That details of the Management Agreement for the maintenance and Control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 17 That a financial contribution in the sum of £44,250 (Forty Four Thousand Two Hundred and Fifty Pounds) EUR 56,186 (Fifty Six Thousand One Hundred and Eighty Six Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

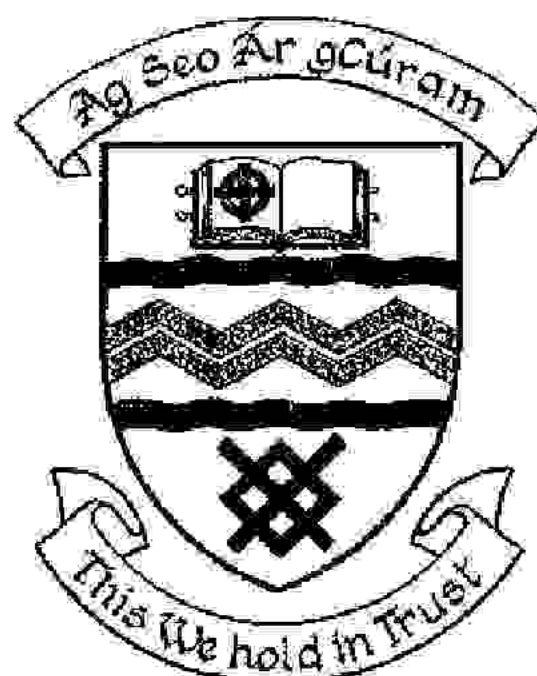
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 18 That a financial contribution in the sum of £114,450 (One Hundred and Fourteen Thousand Four Hundred and Fifty Pounds) EUR 145,321 (One Hundred and Forty Five Thousand Three Hundred and Twenty One Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of

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development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 19 That a financial contribution in the sum of £40,875 (Forty Thousand Eight Hundred and Seventy Five Pounds) EUR 51,900 (Fifty One Thousand Nine Hundred Euros) be paid by the proposer to South Dublin County Council towards Sean Walsh Park which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 20 That a financial contribution in the sum of £36,780 (Thirty Six Thousand Seven Hundred and Eighty Pounds) EUR 46,700 (Forty Six Thousand Seven Hundred Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

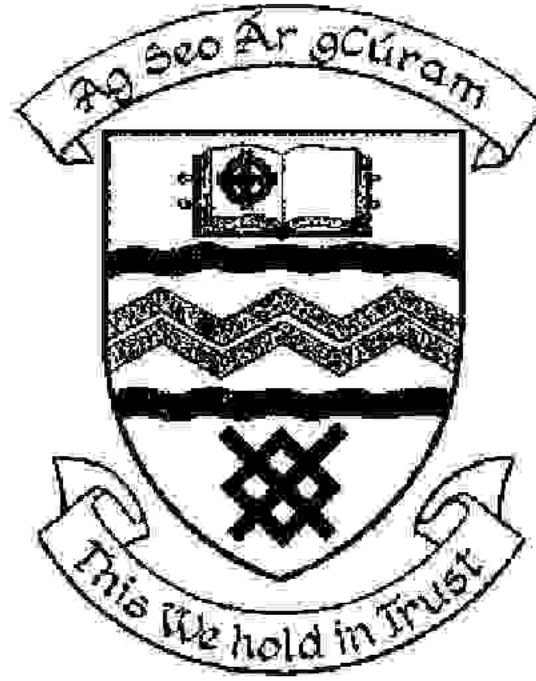
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 21 That a Bond or Cash Lodgement of £20,000 (Twenty Thousand Pounds) EUR 25,394 (Twenty Five Thousand Three Hundred and Ninety Four Euros) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

REASON:

In the interest of the proper planning and development of the area.

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22 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £94,500 (Ninety Four Thousand Five Hundred Pounds) EUR 119,990 (One Hundred and Nineteen Thousand Nine Hundred and Ninety Euros) or lodgement with the Council of a cash sum in the sum of £63,000 (Sixty Three Thousand Pounds) EUR 79,993 (Seventy Nine Thousand Nine Hundred and Ninety Three Euros).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2081	Date of Decision 12/09/2000
Register Reference S00A/0493	Date: 14/07/00

Applicant Bunty Properties Ltd.,
Development Development comprising demolition of existing bungalow, site clearance, and the erection of 58 number 2 bed apartments and 19 number 1 bed apartments (77 in all) in 1 number 3 storey and 2 number 4 storey blocks, single storey residents laundry/drying facility, provision of car parking, bicycle areas, bin area, landscaping, drainage, water and all associated site works in lieu of approved development under Reg. Ref. S98A/0694.

Location Killinarden Heights, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 14/07/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit revised plans indicating a greater separation between the eastern end elevation of Block 3 and the eastern boundary of the site.
- 2 The applicant is requested to submit revised plans indicating a greater separation between the western end elevation of Block 2 and the western boundary of the site.
- 3 The applicant is requested to submit full floor plans of the proposed buildings rather than the "typical" floor plans submitted. The applicant is advised that the floor plans should have the correct scale on them.

John A. Randall & Associates,
Kenlis,
Greenfield Road,
Mount Merrion,
Co. Dublin.

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- 4 The applicant is requested to submit correct side elevational plans in respect of the proposed three storey building, Block 1.
- 5 The applicant is requested to submit a revised site layout plan indicating the houses recently built to the south of the site so that the relationship of them to the proposed development can be assessed.
- 6 The applicant is requested to submit details/plans indicating a more secure/covered bicycle storage facility than the apparent open racks indicated on the site layout plan.
- 7 The applicant is requested to clarify the proposed means of heating.
- 8 The applicant is requested to provide details of proposed boundary treatment, including the intended means of protecting the roots of existing trees to be retained.
- 9 The applicant is requested to submit revised plans indicating Block 1 re-designed so that the northern elevation only contains obscure glazed windows on that elevation. Obscure glazed windows are not acceptable to serve bedrooms or living rooms.

Signed on behalf of South Dublin County Council

.....M7.....
for Senior Administrative Officer

12/09/00