

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 and Planning & Development Act 2000 and Planning Regulations Thereunder Planning Register (Part 1)	Plan Register No. S00A/0505	
1. Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining, public road.		
2. Development	Residential development of 175 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units on site of circa 12 acres with access off adjoining main public road. The development to include a 2 storey creche, all public open spaces, site development works, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site.		
3. Date of Application	28-Jun-2002	Date of further particulars	
		(a) Requested	(b) Received
3a. Type of Application	Permission	1. 25-May-2002	1.
		2. 25-May-2002	2.
4. Submitted by	Name: Fenton Simons & Co. Address: 29 Fitzwilliam Place, Dublin 2		
5. Applicant	Name: Tenbury Developments Ltd Address: 5 Lower Main Street, Dundrum, Dublin 14		
6. Decision	O.C.M. No.: 3102 Date: 12-Sep-2002	Effect: GRANT PERMISSION	
7. Grant	O.C.M. No.: 3466 Date: 30-Oct-2002	Effect: GRANT PERMISSION	
8. Appeal Lodged	Date:	Appeal Type	
9. Appeal Decision	Date:	Appeal Decision	
10. Material Contravention			
11. Enforcement:	Compensation:	Purchase Notice:	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. _____ Registrar	_____ Date	_____ Receipt No.	

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NOTIFICATION TO GRANT PERMISSION

**PLANNING & DEVELOPMENT ACT, 2000 AND PLANNING REGULATIONS
THEREUNDER**

Final Grant Order No.:	3466	Date of Final Grant:	30-Oct-2002
Decision Order No.:	3102	Date of Decision:	12-Sep-2002
Register Reference:	S00A/0505	Date:	28-Jun-2002

Applicant: Tenbury Developments Ltd

Development: Residential development of 175 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units on site of circa 12 acres with access off adjoining main public road. The development to include a 2 storey creche, all public open spaces, site development works, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site.

Location: Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining, public road.

Floor Area:

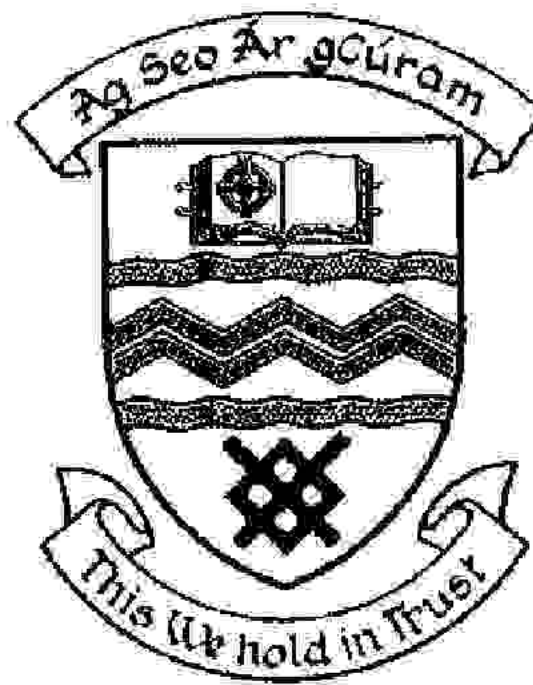
Time extension(s) up to and including 12-Sep-2002
Additional Information Requested/Received 25-May-2002 /

A Permission has been granted for the development described above, subject to the following (28) conditions.

Conditions and Reasons:

1. Prior to the commencement of the development, the applicant is to submit to the Planning Authority, for written agreement a detailed Landscape Plan with full works specification. This plan to include details in relation to hard and soft landscaping on the site including proposals

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for the development of the areas of public open space, the treatment/planting of boundaries between the development and adjoining lands. This plan to include grading, topsoiling, seeding, paths, drainage, boundary treatment, seating and planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. A maintenance programme shall also be provided for all new plantings to ensure successful establishment. Reason: In the interest of the proper planning and development of the area.

2. The only area of Open Space, which will be considered for taking-in-charge, is the open space located at the north end of the development. All other areas of open space are only considered suitable as private/communal open space and shall be managed by a properly constituted Management Company. Details of the proposed Management Agreement to be submitted to the Planning Department, for the written agreement of this department prior to commencement of works on site. Reason: In the interest of the proper planning and development of the area.
3. That all areas shown and conditioned as public/private/ communal open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, material or spoil.

Reason: In the interest of the proper planning and development of the area.

4. The applicant shall submit prior to the commencement of development for the written agreement of the Planning Authority, precise details in relation to the proposed invert, cover and finished ground levels over the subterranean surface water attenuation tank. There shall be no less than 1m depth of soil between the top to the tank and the finished ground level on the open space. In cases where this depth of cover cannot be achieved, the Parks Department will not be in a position to take such open space in charge. The access chambers must be located along the public road to avoid the need for vehicular access on the Open Space for maintenance purposes. The location of the out fall pipe from the attenuation tank and foul sewer shall be clearly identified on the plans in relation to the existing avenue of Beech trees which shall be retained. Every effort shall be made to retain these trees and this shall be taken into account when laying the pipes on site to ensure the trees are adequately protected and no damage is caused to tree roots. Reason: In the interest of the proper planning and development of the area.
5. The proposed boundary treatment between the development and the existing properties along the Newcastle road is unsatisfactory from a management and safety point of view. In particular the treatment of the ditch which forms part of this boundary. The applicant shall submit prior to the commencement of development for the written agreement of the Planning Department, details in relation to the piping of this ditch where it directly adjoins the public road/ carparking area between house site nos. 37 and 36. Reason: In the interest of the proper

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planning and development of the area.

6. On completion, the applicant to submit details in relation to the exact location of any proposed services crossing areas of public open space. In the interest of the proper planning and development of the area.
7. The applicant shall submit for the written agreement of the Planning Authority prior to the commencement of works on site, details in relation to the protection of trees to be retained on site during construction. All trees to be retained shall be protected by a 1.5m high fence, which is to be erected outside the crown spread of the tree. The area within this fence is not to be used for the purpose of storage of plant, materials soil or spoil. The developer to include details in relation to the proposed location of the outfall pipe from the surface water attenuation tanks and foul sewer in relation to the existing avenue of Beech trees, which are to be retained. These details to be agreed in writing with the Parks and Landscape Services Department prior to the commencement of works on site. Reason: In the interest of the proper planning and development of the area.
8. The proposed tudoresque detailing on the front facades of the buildings is a very prominent feature and as such would be out of character with existing development in the area. The applicant shall submit revised drawings of the elevational treatments for house types A2, B2, E, F, E1, F1, C1, J and the Creche building which show the replacement of the wood decorative boarding with another design alternative. The applicant shall submit revised elevations which show the exact roof pitch and treatment of chimneys for each unit type. The applicant shall submit samples of all materials to be used in the external elevations of the proposed units. These drawings and samples shall be submitted prior to the commencement of development for the written agreement of the Planning Authority. In the interest of clarity, visual amenity and the proper planning and development of the area.
9. No 'optional kitchen/conservatories extensions' are authorised by this decision to grant planning permission. Where built as part of this development, they shall be considered as an extension to the dwelling under the exempted development regulations if applicable and shall not be considered as part of the approved dwelling. Therefore they shall be taken into account when calculating the floor area relating to the assessment of any future development as exempt. REASON: In the interest of clarity and the proper planning and development of the area.
10. Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority samples of any proposed boundary railing. Reason: In the interest of the proper planning and development of the area.
11. Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority revised layout showing road drainage gullies along road frontage of the Lucan-Rathcoole Road, at a rate of 1 no. gully per 180msq.m. of run off

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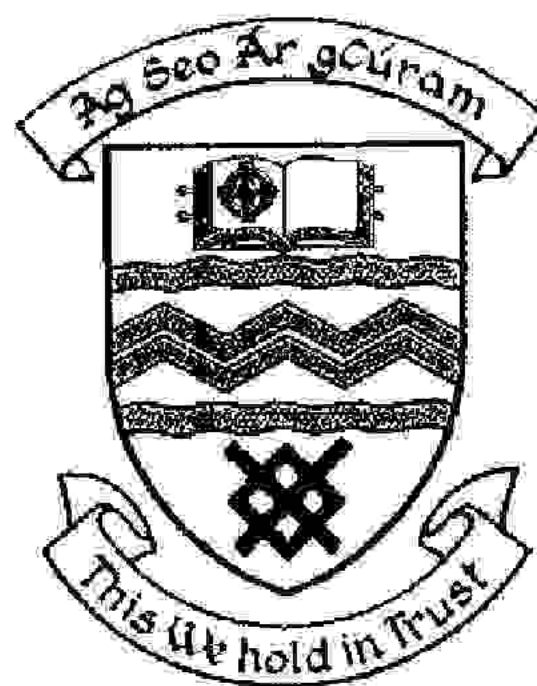
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surface area. REASON: In the interest of proper drainage.

12. Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority revised layout showing a minimum shared surface carriageway width of 4.8m. This will involve the omission of house No. 42 type C and replacing it with 1 no type A, type A1 or type A2 house (in regard to drg. no. SW02 Rev D). REASON: To ensure sufficient roadway width.
13. The applicant shall ascertain and adhere to any archaeological requirements of Duchas, The Heritage Service, before development commences. REASON: In the interest of archaeology.
14. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and where superseded by details submitted on 28/06/02 and Unsolicited Additional Information received on 22/02/02, 08/03/02, 11/03/02, 25/03/02, 09/05/02 and 28/08/02, save as may be required by the other conditions attached hereto. REASON: To ensure that the development shall be in accordance with the permission and that effective control be maintained.
15. That a financial contribution in the sum of EUR 169,914 (one hundred and sixty nine thousand nine hundred and fourteen euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
16. That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of EUR 646,872 (six hundred and forty six thousand eight hundred and seventy two euro) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council. Or./... b. Lodgement with the Council of a Cash Sum of EUR 390,342 (three hundred and ninety thousand three hundred and forty two euro) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications. Or./... c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority. REASON: To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.
17. That all necessary measures be taken by the contractor to prevent the spillage or deposit of

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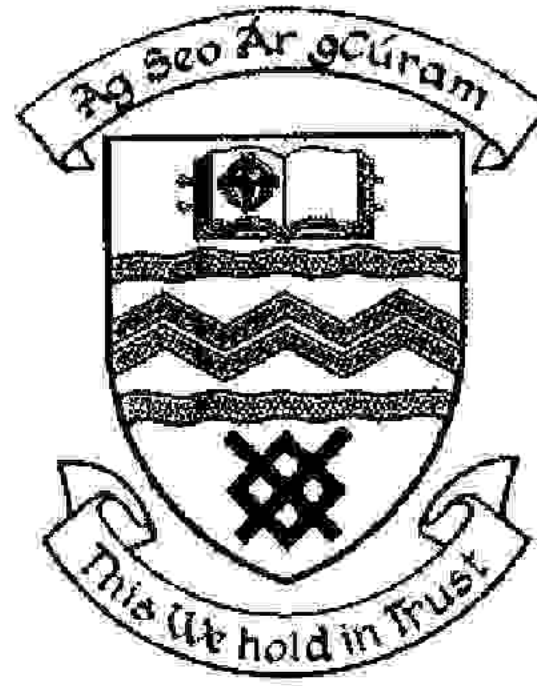
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clay, rubble or other debris on adjoining roads during the course of the works. REASON: To protect the amenities of the area.

18. That public lighting be provided as each street is occupied in accordance with a scheme to be agreed in writing by the County Council so as to provide street lighting to the standard required by South Dublin County Council. REASON: In the interest of amenity and public safety.
19. That no dwellinghouse be occupied until all the services have been connected thereto and are operational. REASON: In the interest of the proper planning and development of the area.
20. That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings. REASON: In the interest of the proper planning and development of the area.
21. That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 - No house shall be occupied until the work on the proposed foul sewer for development lands is complete.
 - The applicant shall upsize the foul sewer from 225mm to 300mm from manhole FS 35 to manhole FS 10 and to extend the 300mm foul sewer southwards from FS 10 to the junction with the main road. The gradient of this pipe shall be redesigned so that no gradient is less than 1 in 100.
 - The applicant shall maintain the foul sewerage system in good working order until such time as it is taken in charge by the Planning Authority.
 - The applicant will be required to install and maintain a suitable flow recorder on the outfalls from the site together with a rain gauge. Details of this to be agreed in writing with Environmental Services Department of South Dublin County Council prior to the commencement of development.
 - All foul sewers with the potential to be taken in charge shall be a minimum of 225mm in diameter, not closer than 5m to the nearest building and be located in roads, footpaths or public open space.
 - All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - No house shall be occupied until the necessary river improvements downstream of SW 40 have been carried out.
 - Any ditch piping shall be carried out with suitably sized spigot and socket pipes laid open jointed with granular bed and surround. Details of the ditch piping to be agreed in writing with the Drainage Area Engineer (Deansrath Depot: 457 0784) prior to the commencement of

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development. · The applicant shall maintain the surface water sewerage system in good working order until such time as it is taken in charge by the Planning Authority. · The surface water discharges from this site and phase 1A as described in S01A/0772 shall be attenuated by the provision of 880m³ underground storage tank fitted with a hydrobrake flow control. The hydrobrake shall ensure that the maximum combined surface water discharge from both sites shall not exceed 32.5 l/s. The attenuation system shall be maintained and cleaned regularly and kept free from siltation. · All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer. · All surface water sewers with the potential to be taken in charge shall be a minimum of 225mm in diameter, not closer than 5m to the nearest building and be located in roads, footpaths or public open space. · Applicant to ensure full and complete separation of foul and surface water systems. · No house shall be occupied until the Saggart Watermain Duplication Scheme is in place. Water Supply to this development will then only be permitted at night at hours to be agreed with the Water Network Management Section of SDCC. The applicant shall supply full details of equipment required and method of operation to support the off-peak draw-off of water after prior discussion with the Water Management Section of SDCC. · Prior to the commencement of development the applicant shall liaise with the Water Network Management Section, Deansrath Depot, to establish the water metering requirements for this development. These will include, inter alia, the installation of suitable electromagnetic flow meters and telemetry systems. · Each unit shall have its own individual commercially metered connection to the watermain and full 24hour water storage. · The water supply to any non-domestic units, including crèches, shall be commercially metered. · The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense. REASON: In order to comply with the Sanitary Services Acts, 1878- 1964.

22. That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses. REASON: In the interest of the proper planning and development of the area,
23. That a financial contribution in the sum of EUR 356,731 (three hundred and fifty six thousand seven hundred and thirty one euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site. REASON: It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.
24. That a financial contribution in the sum of EUR 470,454 (four hundred and seventy thousand

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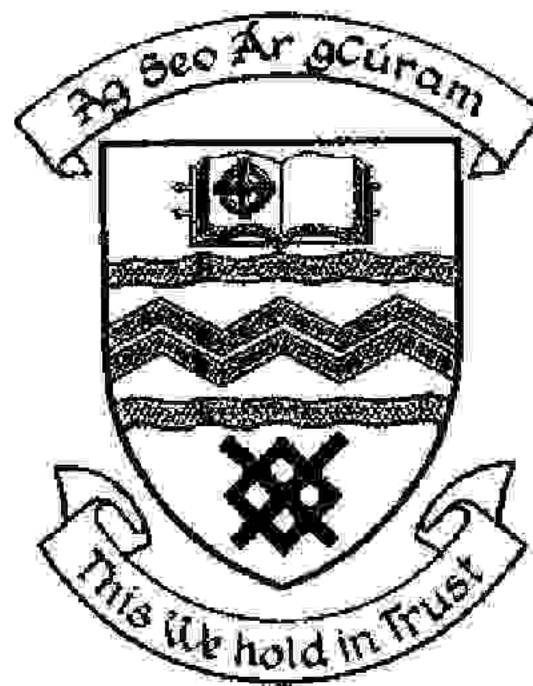
four hundred and fifty four euro) thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site. REASON: It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

25. That a financial contribution in the sum of EUR 72,851 (seventy two thousand eight hundred and fifty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.
 26. That a financial contribution in the sum of EUR 33,684 (thirty three thousand six hundred and eighty four euro) be paid by the proposer to South Dublin County Council towards the cost of the '9B' Catchment foul drainage improvement works which will facilitate this development; this contribution to be paid before the commencement of development on site. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.
 27. That a financial contribution in the sum of EUR 144,388 (one hundred and forty four thousand three hundred and eighty eight euro) be paid by the proposer to South Dublin County Council towards the Saggart/Rathcoole/Newcastle Drainage Collection System Improved Works which will facilitate this development; this contribution to be paid before the commencement of development on the site. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.
 28. That a financial contribution in the sum of EUR 132,731 (one hundred and thirty two thousand seven hundred and thirty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Water Supply Enhancement and Extension Scheme which will facilitate this development; this contribution to be paid before the commencement of development on the site. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.

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- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 ; Structural use of reinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

..... 31-Oct-2002
for SENIOR EXECUTIVE OFFICER.

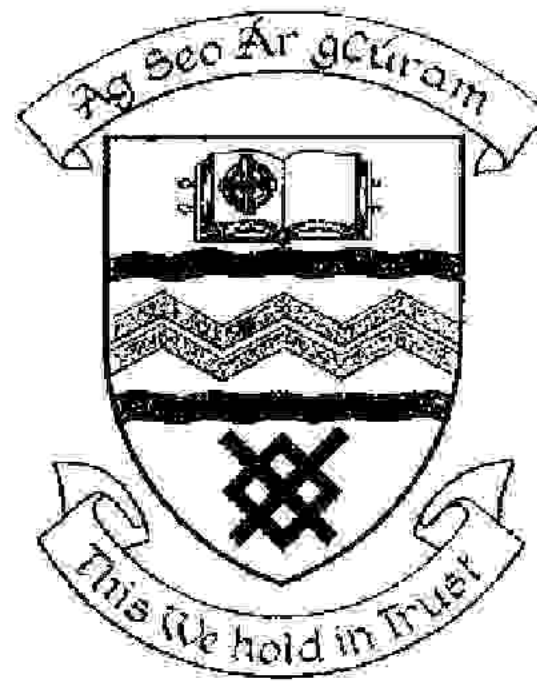
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0505
1. Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.	
2. Development	Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.	
3. Date of Application	20/07/00	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 17/08/2000 1. 21/08/2000 2. 2.
4. Submitted by	Name: Fenton Simons & Co. Address: 29 Fitzwilliam Place Dublin 2	
5. Applicant	Name: Tenbury Developments Ltd Address: 5 Lower Main Street Dundrum Dublin 14	
6. Decision	O.C.M. No. 2929 Date 12/09/2001	Effect TX REQUEST TIME EXTENSION
7. Grant	O.C.M. No. 0 Date	Effect TX REQUEST TIME EXTENSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

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**LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING & DEVELOPMENT ACT 2000**

Decision Ref: Number 2006	Date of Decision 24/05/2002
Register Reference S00A/0505	Date: 20/07/00

Applicant: Tenbury Developments Ltd
Development: Residential development of 183 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units. The development to include all public open spaces, site development works, water storage tower, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site. This development, being Phase 1, on site of 12 acres approx.

Location: Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

App. Type: Permission

Dear Sir/Madam

With reference to your planning application, received on 20/07/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963 - 1999 and the Planning & Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 Drawn 001 rev C shows a site boundary, which is inconsistent with the original boundary. The applicant shows the boundary running through 3 no dwellings and 2 no parking spaces. This is unacceptable. The applicant shall submit a layout which is in accordance with the 1994 Planning Regulations and shows the correct boundary of the site.
- 2 The applicant shall submit a revised schedule of accommodation, which deals with the current application. It is unacceptable to only submit a schedule which incorporates

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REG REF. S00A/0505

development outside the site boundary and which forms a separate application. The applicant may submit this schedule as part of the application but a distinction has to be made that there are two applications and a schedule of the current application independent of the overall development of the site shall be submitted.

- 3 The Drainage drawings as submitted do not correspond to the revised layout. This is unacceptable. The applicant shall submit revised drainage drawings which address this issue.
- 4 As the proposed development has been revised the site numbers are now modified. The floor plans and elevations no longer correspond to the layout. The applicant shall submit revised floor plans and elevations, which address this issue. The applicant should be aware that optional designs are not considered appropriate, the applicant shall specify which house types, including roof pitch is to be considered.
- 5 The applicant has not applied for permission for the demolition of the existing farmhouse. The demolition of the structure will require permission. The applicant shall amend the current application to include the demolition of the structure. Revised public notices are required and the applicant shall submit full details including all plans and elevations of the structure to be demolished.
- 6 The applicant shall submit a colour coded layout plan, which indicates the building height of all proposed structures on the subject site and the site, which is the subject of planning application S01A/0772.
- 7 The applicant shall submit a revised layout which allows for a separation distance of a minimum 22m between all first floor opposing windows and a separation distance of at least 2.3m between the flank walls of detached, semi-detached or terraces of houses.
- 8 The applicant shall submit details of the proposals for refuse bin storage, refuse collection points and for bicycles storage on site. Where enclosed or screened areas are to be provided, elevations shall be submitted.

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- 9 The only area of Open Space, which will be considered for taking-in-charge, is the open space located at the north end of the development. All other areas of open space are only considered suitable as private/communal open space and should be managed by a properly constituted Management Company, membership of which shall be made compulsory for all residents in the development. Details of the proposed Management Agreement shall be submitted to the Planning Department at this stage. The applicant shall submit a map clearly identifying the area of public open space to be offered for taking in charge by the County Council.
- 10 The applicant shall submit precise details in relation to the proposed invert, cover and finished ground levels over the subterranean surface water attenuation tank. There should be no less than 1m depth of soil between the top to the tank and the finished ground level on the open space.
- 11 The applicant shall submit details in relation to the exact location of any proposed services crossing areas of public open space.
- 12 Excluding the 14 no. houses that have driveways the parking requirement for the remaining 167 no. units is 334 no. whereas 280 no. are provided, a shortfall of 16% which Roads consider unacceptable. However if houses numbers 32, 39, 40, 160/165 were provided with driveways and 8 no. additional spaces were provided in the vicinity of houses numbers 174-181 then the shortfall would be 11% which Roads Department would accept. The applicant shall submit a revised layout which addresses this issue.
- 13 A footpath/grass verge/kerb/road drainage gullies are required along the road frontage of the site. Boundary treatment details are also required at the end of the cul de sacs. The applicant shall submit a revised proposal, which provides for these requirements. The applicant should note that, all footpath/grass verges to the internal roads to be a minimum of 3.35 metres wide (1.5m footpath, 1.85 verge). Where no verge is provided the footpath to be a minimum of 2 metres. The shared surface area shall be a minimum of 4.8 metres wide.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
DEPARTMENT**
County Hall,
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Dublin 24.

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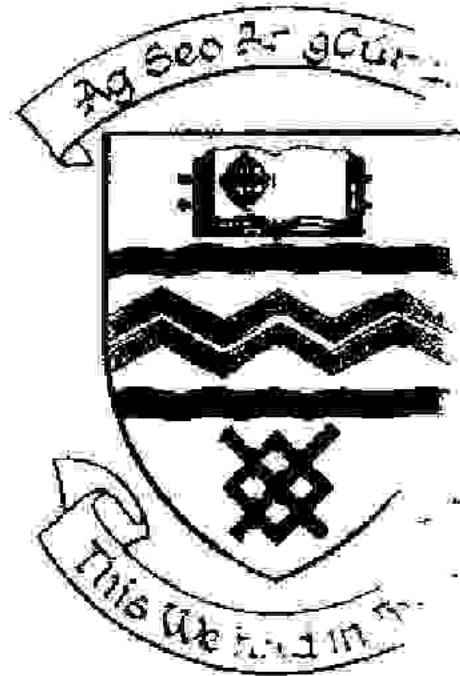
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- 14 The applicant shall submit details for the relocation of the bus terminus, which have been agreed with Dublin Bus, the applicant will be responsible for the costs of relocating the existing bus bay/terminus. Details to be agreed with Dublin Bus. These details shall include provisions for accommodation of the Bus terminus during the construction phase.
- 15 **Childcare Facilities:** Guidelines for Planning Authorities published by the Department of the Environment and Local Government in July 2001 suggest that planning authorities require the provision of 20 childcare spaces per 75 dwellings. The applicant in the revisions to the proposal has made no provision for childcare facilities. The applicant is required to meet the guidelines. If this requirement were calculated proportionately to the number of proposed units the applicant would be required to provide a crèche facility for at least 58no. children. This figure has been calculated at an overall rate for both the subject and concurrent application (S01A/0772). The applicant shall submit a revised proposal, which fulfils this requirement. The applicant should note that the incorporation of a crèche facility into the scheme would require revised public notices. Any such facility shall be provided near the access of the estate.
- 16 The proposed boundary treatment between the development and the existing properties along the Newcastle road is unsatisfactory from a management and safety point of view. In particular the treatment of the ditch which forms part of this boundary. The applicant shall submit details in relation to the piping of this ditch where it directly adjoins the public road/carparking area between house site nos. 37 and 36.
- 17 The applicant to submit details in relation to the retention of the existing semi-mature Quercus robur located beside house site no. 67. Details should indicate proposals for the relocation of the proposed 2m high rendered block wall to avoid this tree.
- 18 The applicant shall submit a detailed Landscape Plan with full works specification. This plan to include details in relation to hard and soft landscaping on the site including

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proposals for the development of the area of public open space, the treatment/planting of boundaries between the development and adjoining lands. This will include grading, topsoiling, seeding, paths, drainage, boundary treatment, seating and planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. A maintenance programme should also be provided for all new plantings to ensure successful establishment.

- 19 The applicant to submit details in relation to the protection of trees and hedges to be retained on site during construction. These details are to include a separate layout, which clarifies which trees and hedges are to be retained and which are not. The applicant should note that as part of the protection measures, all trees to be retained shall be protected by a 1.5m high fence which is to be erected outside the crown spread of the tree. The developer to include details in relation to the proposed location of the outfall pipe from the surface water attenuation tanks and foul sewer in relation to the existing avenue of Beech trees, which are to be retained.

Signed on behalf of South Dublin County Council


for Senior Executive Officer

24/05/02

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2929	Date of Decision 12/09/2001
Register Reference S00A/0505	Date 20/07/00

Applicant	Tenbury Developments Ltd
App. Type	Permission
Development	Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.
Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 12/11/2001

Yours faithfully

.....
for SENIOR ADMINISTRATIVE OFFICER

17/09/01

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
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Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S00A/0505
Fenton Simons & Co.
29 Fitzwilliam Place
Dublin 2

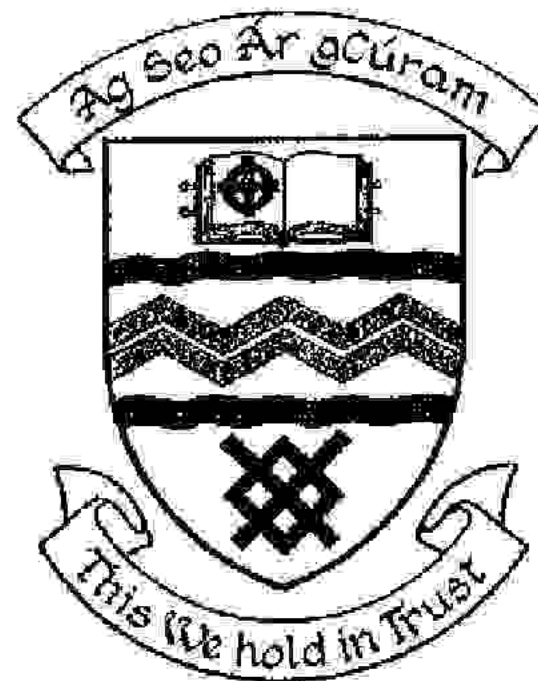
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0505
1. Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.	
2. Development	Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.	
3. Date of Application	20/07/00	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 17/08/2000 1. 21/08/2000 2. 2.
4. Submitted by	Name: Fenton Simons & Co. Address: 29 Fitzwilliam Place Dublin 2	
5. Applicant	Name: Tenbury Developments Ltd Address: 5 Lower Main Street Dundrum Dublin 14	
6. Decision	O.C.M. No. 0216 Date 30/01/2001	Effect TX REQUEST TIME EXTENSION
7. Grant	O.C.M. No. Date	Effect TX REQUEST TIME EXTENSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0216	Date of Decision 30/01/2001
Register Reference S00A/0505	Date 20/07/00

Applicant Tenbury Developments Ltd
App. Type Permission
Development Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.

Location Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 16/07/2001

Yours faithfully

.....*M7*..... 30/01/01
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons & Co.
29 Fitzwilliam Place
Dublin 2

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0505	
1. Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.		
2. Development	Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.		
3. Date of Application	20/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 17/08/2000 2.	1. 21/08/2000 2.
4. Submitted by	Name: Fenton Simons & Co. Address: 29 Fitzwilliam Place Dublin 2		
5. Applicant	Name: Tenbury Developments Ltd Address: 5 Lower Main Street Dundrum Dublin 14		
6. Decision	O.C.M. No. 1877 Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
7. Grant	O.C.M. No. Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

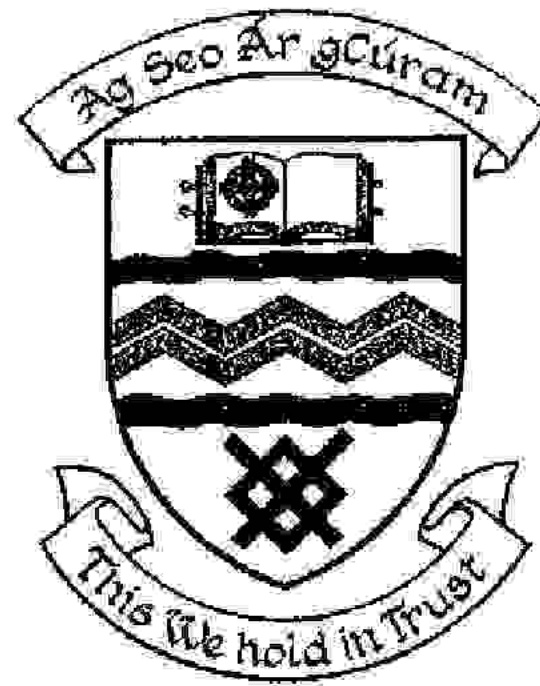
13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
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County Hall,
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0578	Date of Decision 12/03/2002
Register Reference S00A/0505	Date 20/07/00

Applicant Tenbury Developments Ltd
App. Type Permission
Development Residential development of 183 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units. The development to include all public open spaces, site development works, water storage tower, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site. This development, being Phase 1, on site of 12 acres approx.

Location Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 12/04/2002

Yours faithfully

..... 13/03/02
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons & Co.
29 Fitzwilliam Place
Dublin 2

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0087	Date of Decision 11/01/2002
Register Reference S00A/0505	Date 20/07/00

Applicant	Tenbury Developments Ltd
App. Type	Permission
Development	Residential development of 183 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units. The development to include all public open spaces, site development works, water storage tower, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site. This development, being Phase 1, on site of 12 acres approx.
Location	Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 12/02/2002

Yours faithfully

..... 14/01/02
for SENIOR ADMINISTRATIVE OFFICER

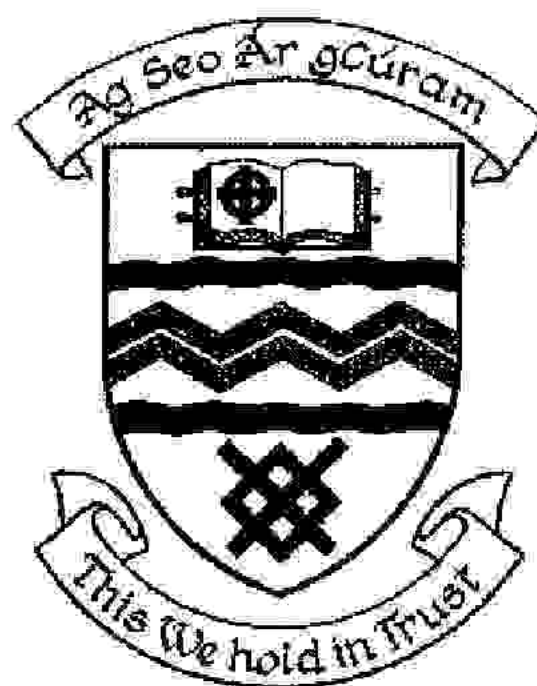
Fenton Simons & Co.
29 Fitzwilliam Place
Dublin 2

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tarnhlacht,
Baile Átha Cliath 24.

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**PLANNING
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County Hall,
Town Centre, Tallaght,
Dublin 24.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3710	Date of Decision 10/12/2001
Register Reference S00A/0505	Date 20/07/00

Applicant Tenbury Developments Ltd
App. Type Permission
Development Residential development of 183 no. units consisting of 2 and 3 storey 2, 3 and 4 bed detached, terraced townhouses and duplex units. The development to include all public open spaces, site development works, water storage tower, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on the site. This development, being Phase 1, on site of 12 acres approx.

Location Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

Dear Sir / Madam,

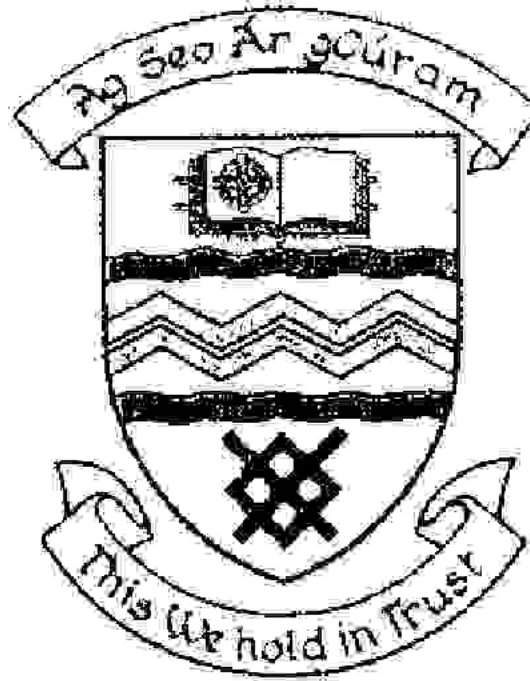
In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 12/01/2002

Yours faithfully

..... 18/12/01
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons & Co.
29 Fitzwilliam Place
Dublin 2

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Baile Átha Cliath 24

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Town Centre, Tallaght
Dublin 24

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 1877	Date of Order 17/08/2000
Register Reference S00A/0505	Date 20/07/00

Applicant Tenbury Developments Ltd

Development Residential development with a total of 208 No. units consisting of 44 no. 4 bed semi detached houses, 20 no. 3 bed semi detached houses, 20 no. 2 & 3 bed town houses, 40 no. 2 and 3 bed duplex units, 38 no. 2 bed maisonettes, 44 no. 2 & 1 bed apartments in 2 no. 3 storey blocks, 1 no. creche and 1 no. detached dwelling/surgery on site circa 12 acres approx. Development to include all public open spaces, site development works, water storage tower and temporary treatment plant, screen walls and car parking to serve the development and includes the demolition of the existing dwelling house and outhouses on site.

Location Ballinakelly & Commons Little, Newcastle, Co. Dublin, with access off adjoining public road.

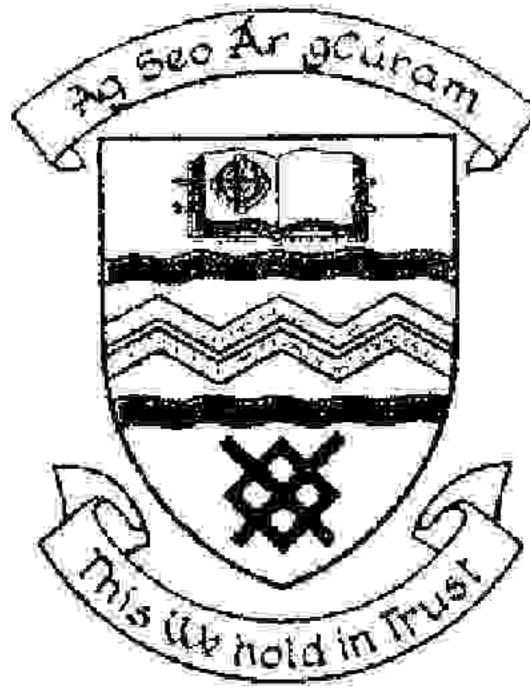
Dear Sir/Madam,

An inspection carried out on the 17/08/2000 has shown that a site notice was not erected in respect of your planning application. Before this application can be considered, you must erect a notice on the site or structure and submit the following to this Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

Fenton Simons & Co.,
29 Fitzwilliam Place
Dublin 2

SOUTH DUBLIN COUNTY COUNCIL
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Dublin 24

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REG REF. S00A/0505

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road
3. Must be headed "Application to Planning Authority".
4. Must state:
 - (a) Applicant's name
 - (b) whether application is for Permission, Outline Permission, or Approval.
 - (c) nature and extent of development including number of dwellings (if any)
 - (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

..... *my* 18/08/00
for Senior Administrative Officer.