

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0508	
1. Location	Edmonstown Road, Dublin 16		
2. Development	Residential development on C. 1.65 acre at Edmonstown Road for 34 no. residential apartments in two no. 3/4 storey blocks containing 9 no. one bedroom, 19 no. two bedroom and 6 no. 3 bedroom apartments with car parking for 41 cars contained on surface and under landscaped deck with new entrance onto Edmonstown Road, landscaping and site works including linear park, riverside walkway and pedestrian bridge across the Owendoher River		
3. Date of Application	21/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 04/08/2000 2.	1. 10/08/2000 2.
4. Submitted by	Name: Project Architects, Address: Fleming Court, Flemings Place,		
5. Applicant	Name: Poet and Lectern Properties, Address: City House, Newmarket, Dublin 8		
6. Decision	O.C.M. No. 1766 Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
7. Grant	O.C.M. No. Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

14.

Registrar

Date

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Bosca 4122,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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P.O. Box 4122,
Town Centre, Tallaght,
Dublin 24.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 1766	Date of Order 04/08/2000
Register Reference S00A/0508	Date 21/07/00

Applicant Poet and Lectern Properties,

Development Residential development on C. 1.65 acre at Edmonstown Road for 34 no. residential apartments in two no. 3/4 storey blocks containing 9 no. one bedroom, 19 no. two bedroom and 6 no. 3 bedroom apartments with car parking for 41 cars contained on surface and under landscaped deck with new entrance onto Edmonstown Road, landscaping and site works including linear park, riverside walkway and pedestrian bridge across the Owendoher River

Location Edmonstown Road, Dublin 16

Dear Sir/Madam,

An inspection carried out on 03/08/00 has shown that a site notice was not erected in respect of your planning application. Before this application can be considered, you must erect a notice on the site or structure, and submit the following to this Department:

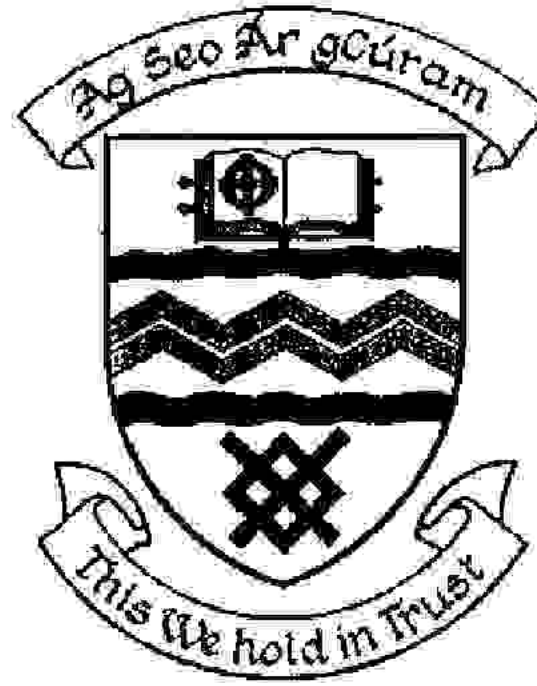
- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible

Project Architects,
Fleming Court,
Flemings Place,
Dublin 4.

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REG REF. S00A/0508

by persons using the public road

3. Must be headed "Application to Planning Authority".
4. Must state:

- (a) Applicant's name
- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

.....
for Senior Administrative Officer.

04/08/00

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0508	
1. Location	Edmondstown Road, Dublin 16		
2. Development	Residential development on C. 1.65 acre at Edmondstown Road for 30 no. residential apartments in two no. 3/4 storey blocks containing 8 no. one bedroom, 18 no. two bedroom and 4 no. 3 bedroom apartments with car parking for 53 no. cars contained under landscaped deck with revised road layout and new entrance to Edmondstown Road, landscaping and site works including linear park, riverside walkway and pedestrian bridge across the Owendoher River		
3. Date of Application	21/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 06/10/2000 2.	1. 26/03/2001 2.
4. Submitted by	Name: Project Architects, Address: The Priory, John Street West,		
5. Applicant	Name: Poet and Lectern Properties, Address: City House, Newmarket, Dublin 8		
6. Decision	O.C.M. No. 2010 Date 25/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2327 Date 05/07/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

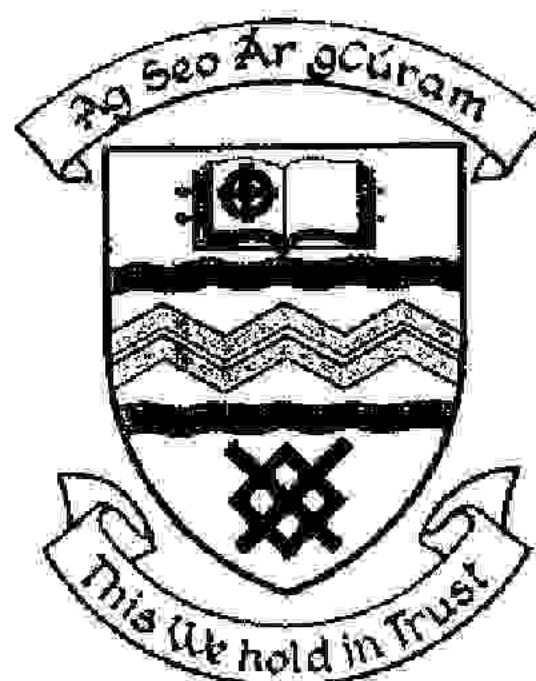
14.

Registrar

Date

Receipt No.

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Project Architects,
The Priory,
John Street West,
Dublin 8.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2327	Date of Final Grant 05/07/2001
Decision Order Number 2010	Date of Decision 25/05/2001
Register Reference S00A/0508	Date 26/03/01

Applicant Poet and Lectern Properties,

Development Residential development on C. 1.65 acre at Edmonstown Road for 30 no. residential apartments in two no. 3/4 storey blocks containing 8 no. one bedroom, 18 no. two bedroom and 4 no. 3 bedroom apartments with car parking for 53 no. cars contained under landscaped deck with revised road layout and new entrance to Edmonstown Road, landscaping and site works including linear park, riverside walkway and pedestrian bridge across the Owendoher River

Location Edmondstown Road, Dublin 16

Floor Area 2618.00 Sq Metres

Time extension(s) up to and including

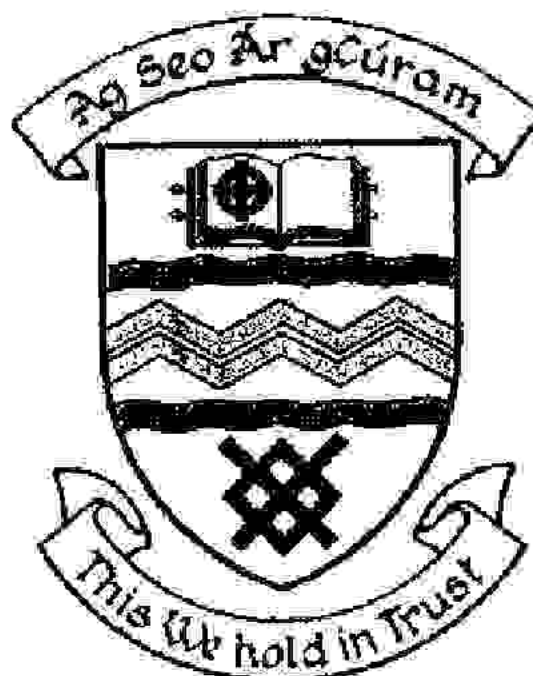
Additional Information Requested/Received 06/10/2000 /26/03/2001

A Permission has been granted for the development described above,
subject to the following (24) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by Additional Information received by the Council on 26/03/2001 and Unsolicited Additional Information received on the 06/04/2001 save as may be required by the other conditions attached hereto.
 REASON:
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 With respect to the proposed footbridge, the applicant shall submit to the Planning Authority written evidence of compliance with the requirements of the Office of Public Works, under the Arterial Drainage Act 1945 prior to the commencement of development.
 REASON:
 In the interest of public safety and the proper planning and development of the area.
- 3 That each proposed apartment be used as a single dwelling unit.
 REASON:
 To prevent unauthorised development.
- 4 Details of materials including samples shall be submitted to and approved by the Planning Authority prior to the commencement of development. In particular, natural stone with render panels shall be used, with natural slate for the roofing material, while the material for windows and doors shall be hardwood.
 REASON:
 In the interest of visual amenity and sustainability.
- 5 Each apartment shall be provided with adequately-sized private open space in the form of usable balconies and/or patio areas as appropriate, which shall in all cases be located off living areas. Details of the foregoing shall be submitted to and agreed by the Planning Authority prior to the commencement of development.
 REASON:
 In the interest of residential amenity.
- 6 The following requirements of the Parks and Landscape Services Department shall be satisfied:
 - (i) The area of parkland and riverside public open space, as indicated on drawing no.K011-PA1-0006,

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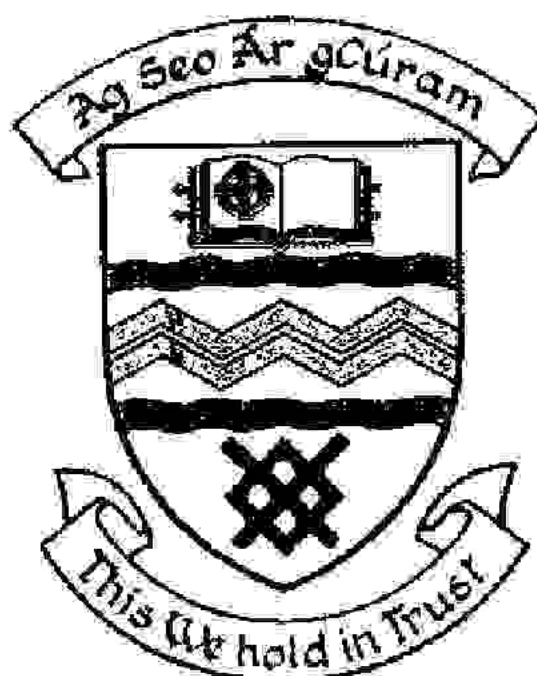
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- shall be ceded free of charge to the County Council. The precise location of the boundary to the public open space, in the vicinity of the new pedestrian bridge, shall be agreed with the Parks Department prior to the formal transfer of the lands to the Council.
- (ii) A detailed Landscape Plan, Specification and Bill of Quantities for the treatment of the proposed public/private open spaces (comprising riverside park and public walkway and communal areas surrounding the buildings etc.), shall be submitted for the approval of the Parks Department prior to the commencement of any works on site. This plan shall include proposed cross sections, boundary treatments, entrance gate details, hard and soft landscaping, tree and shrub planting etc.). Details of the siting and design of proposed pedestrian bridge crossing the Owendoher River, shall be submitted to and agreed with the Parks Department prior to the commencement of the development.
- (iii) A low stone wall and railing shall be erected on the boundary between the development and the proposed riverside walk, precise details of which shall be agreed with the Parks Department prior to the commencement of development. The riverside walk shall have a minimum overall width of 3m, except in the vicinity of the entrance to the underground car park.
- (iv) The precise arrangements in relation to provision of access to the riverside walk from the proposed development, across the new bridge and from existing roadside footpaths, shall be agreed with the County Council prior to the first occupation of the apartment units.
- (v) Where a retaining wall is proposed along the public walkway fronting the Owendoher River, this shall be of box-gabion or other similar construction, so as to minimise visual intrusion and to protect the natural character of the river valley. Precise details of the foregoing shall be agreed with the Parks Department prior to the commencement of development.
- (vi) The 1m strip of land reserved between the existing site boundary wall along the Edmondstown Road and the proposed 'decorative rails and pier to landscaped deck' fronting the apartments is likely to be difficult to maintain in the future. To omit this strip, the boundary to the site shall be erected along the line of the existing low wall.

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fronting the road. Details of the foregoing shall be agreed with the Parks Department prior to the commencement of development.

- (vii) No works shall be carried out on the banks of the Owendoher River during the fish spawning season i.e (November to March).
- (viii) Details in relation to the treatment of any surface water outfalls/headwalls discharging to the river shall be agreed with the Parks Department prior to the commencement of any works on site.

REASON:

In the interest of amenity.

- 7 The existing line of the river bank shall be maintained throughout the site in accordance with the requirements of the Eastern Regional Fisheries Board.

REASON:

In the interest of amenity.

- 8 The following requirements of the Roads Department shall be complied with:

- (i) Details of retention of pathway/roadway during excavation works and completion of basement car park shall be submitted before development commences.
- (ii) Roads gullies adjacent to site shall be on uphill side (southside) of entrance to site on Edmondstown Road. Two no. road gullies and/or safety kerb drainage system shall be provided inside the electronic gates. Details shall be agreed with Roads Planning Section before development commences.
- (iii) Gradient of access shall not exceed 2.5% over the last 6m of approach to the public road.
- (iv) An approved method of frost protection on exposed area of ramp (where the gradient is greater than 7%) shall be submitted before development commences.

- 9 Adequate storage for bins and bikes for the proposed development shall be provided.

REASON:

In the interest of residential amenity.

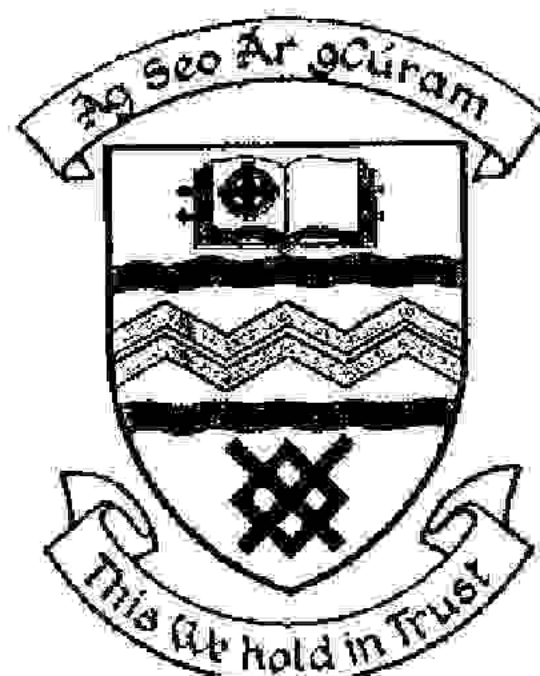
- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 11 That public lighting be provided as far as the site entrance in accordance with a scheme to be approved by the County

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Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 12 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 13 That an acceptable naming and numbering scheme be submitted to and approved by the County Council before any construction work takes place for the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 14 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

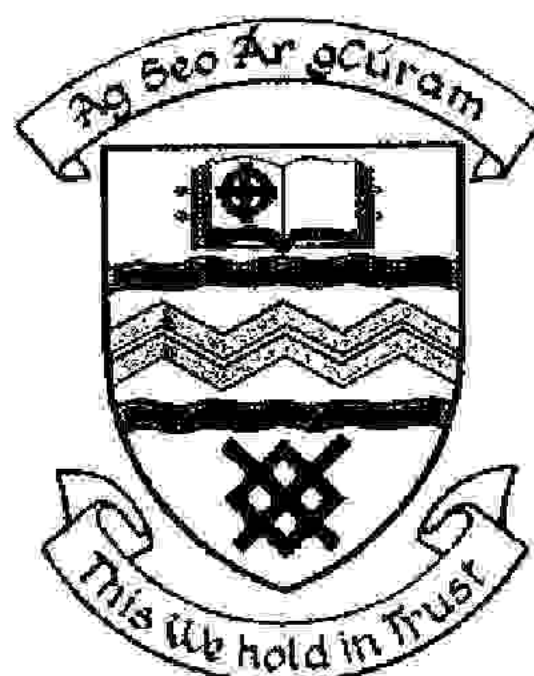
REASON:

In the interest of the proper planning and development of the area.

- 15 The following requirements of the Environmental Health Officer's Department shall be adhered to:

- (i) During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and other precautions necessary to prevent dust nuisance. There must be compliance with British Standard B.S 5228 Noise Control on Construction and Open sites.
- (ii) Smoke, grit, dust, ash, acid spray or liquid droplets shall not be emitted from the premises in such a manner or quantity as to give rise to a nuisance to persons in the neighbourhood.
- (iii) The developer shall ensure that the lighting system is designed to minimise potential pollution from glare and spillage.
- (iv) Where sanitary facilities are located internally, suitable mechanical extract ventilation shall be provided in the sanitary accommodation and

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- mechanical intake ventilation in the lobbies leading thereto.
- (v) Permanent ventilation to the open air shall be provided to all habitable rooms and bedrooms.
 - (vi) Facilities for the installation of adequate space heating with provision for the safe and effective removal of fumes and other products of combustion to the outer air shall be provided.
 - (vii) Facilities for the installation of localised mechanical extract ventilation directly to the outer air over all Cooking appliances shall be provided.
 - (viii) Cold water supply to the kitchen sink shall be supplied direct from the rising main.
 - (ix) Connections to the public sewer shall be constructed in such a way not to give rise to a public health nuisance.
 - (x) Suitable locations for the storage of refuse shall be provided by way of concrete bunkers or similar structures.

REASON:

In the interest of the planning and development of the area.

- 16 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 17 With respect to foul and surface water drainage, the developer shall meet the following requirements of the Environmental Services Department:

- (a) Prior to the commencement of development the applicant shall submit full details of the basement pumping system. Information shall be provided on the type, number and configuration of the pumps with calculation to justify the design. The system shall be configured so that effluent remains in the system for a maximum of 3 hours to avoid the risk of septicity. A minimum of 24 hour overflow storage shall be provided in the event of pump failure. A non-return valve shall be installed on the rising main. The installation, operation and maintenance of the system, up to the point of connection to the existing public sewer, shall remain the responsibility of the developer. South Dublin County Council shall not be liable for the failure of the non-return valve in the event of surcharging of the public sewer. Surface water drainage in the basement shall not be connected to this foul pumping system.

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- (b) As per the applicant's proposal the surface water discharges from the site shall be attenuated by way of oversized surface water pipes (42m of 900mm diameter) and fitted with a hydrobrake flow control or similar such that the maximum surface water discharge from the site shall not exceed 1.28 l/s. The system will be maintained and cleaned regularly and kept free from siltation.
- (c) The following requirements shall be adhered to in relation to the proposed surface water outfall to the Owendoher River:
 - (i) There shall only be one surface outfall point to the river.
 - (ii) A non-return/flap valve shall be fitted to protect against back-flooding.
 - (iii) The outfall should be so formed as to avoid, or provide against, local erosion and should be so angled as to discharge in the direction of flow of the watercourse.
 - (iv) The quality of the water downstream of the outfall shall be monitored during construction, in conjunction with Parks and Environmental Services Department of South Dublin County Council, and if necessary a stone filter shall be installed in the stream.
- (d) As per the applicant's proposal the basement shall be constructed and sealed against water ingress. South Dublin County Council shall not be liable for any such ingress in the event of flooding of the Owendoher River.
- (e) All surface water runoff from vehicle parking/ marshalling areas shall be routed via an adequately sized and sited petrol/oil/diesel interceptor before discharging to the surface water sewer.
- (f) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- (g) The developer shall ensure full and complete separation of foul and surface water systems.
- (h) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

REASON:

In the interest of public health.

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- 18 With respect to water supply, the developer shall meet the following requirements of the Environmental Services Department:
- (a) Each unit shall have its own individual service connection to the watermain and 24 hour storage.
 - (b) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.
 - (c) The watermains serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.
 - (d) No building or basement shall lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter. Any diversion or relaying of public watermain as part of the Edmondstown Road realignment shall be subject to the prior approval of the Water Services Area Engineer (Deansrath Depot, Telephone: 4570784).
 - (e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In the interest of public health.

- 19 That details of the Management Agreement for the maintenance and Control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 20 Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £30,000 (thirty thousand pounds) EUR 38,092 (thirty eight thousand and ninety two euros), a bond of an Insurance Company of £45,000 (forty five thousand pounds) EUR 57,138 (fifty seven thousand one hundred and thirty eight euros), or other security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development.

REASON:

To ensure the satisfactory completion of the development.

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- 21 That a financial contribution in the sum of £21,300 (twenty one thousand and three hundred pounds) EUR 27,045 (twenty seven thousand and forty five euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 22 That a financial contribution in the sum of £54,600 (fifty four thousand and six hundred pounds) EUR 69,328 (sixty nine and three hundred and twenty eight euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 23 That a financial contribution in the sum of £19,500 (nineteen thousand and five hundred pounds) EUR 24,760 (twenty four thousand seven hundred and sixty euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 24 That a financial contribution in the sum of £17,546 (seventeen thousand five hundred and forty six pounds) EUR 22,278 (twenty two thousand two hundred and seventy eight euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

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REASON;

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

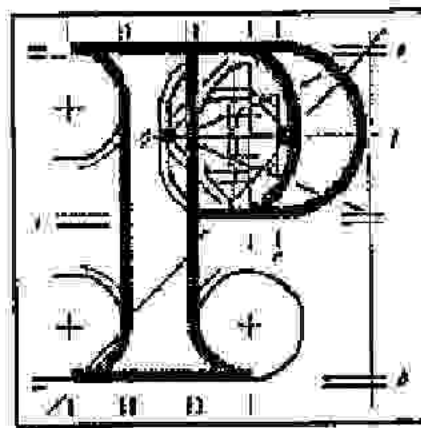
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

OK06/07/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00B/0508	
1. Location	2, The Drive, Kingswood, Dublin 24.		
2. Development	Extension to side of house		
3. Date of Application	31/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Gemma Dooley Address: 27. Templeroan Grove, Knocklyon,		
5. Applicant	Name: Gemma Dooley Address: 27 Templeroan Grove, Knocklyon, Dublin 16.		
6. Decision	O.C.M. No. 2205 Date 28/09/2000	Effect RP REFUSE PERMISSION	
7. Grant	O.C.M. No. Date	Effect RP REFUSE PERMISSION	
8. Appeal Lodged	10/10/2000	Written Representations	
9. Appeal Decision	18/04/2001	Refuse Permission	
10. Material Contravention			
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14. Registrar Date Receipt No.			

An Bord Pleanála



LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999

County South Dublin

Planning Register Reference Number: S/00B/0508

APPEAL by Gemma Dooley of 27 Templeroan Grove, Templeogue, Dublin against the decision made on the 28th day of September, 2000 by the Council of the County of South Dublin to refuse permission for development comprising the construction of an extension to side of house at number 2 The Drive, Kingswood, Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1999, permission is hereby refused for the said development for the reason set out in the Schedule hereto.

SCHEDULE

The site of the proposed development is located on a corner site in a residential development where the zoning objective as set out in the current Development Plan for the area is "to protect and/or improve residential amenity", which objective is considered to be reasonable. It is considered that the proposed extension, due to its size and location, would infringe existing building lines and would be out of character with existing developments in the vicinity. The proposed development would seriously injure the amenities of property in the vicinity and of the area and would, therefore, be contrary to the proper planning and development of the area.

Brian Hunt

Member of An Bord Pleanála,
duly authorised to authenticate
the seal of the Board.

Dated this 18th day of April 2001.