

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0509	
1. Location	Belgard Road, Tallaght, Dublin 24.		
2. Development	(a) 4,490sq.m of offices in a three storey block over part plantroom basement (b) 8,547 sq.m of office based industry in a three storey block over part plantroom basement and ancillary two and a half storey car parking block to replace 6,195sq.m of light industrial development on circa 1.6 ha		
3. Date of Application	21/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 19/09/2000 2. 15/01/20	1. 17/11/2000 2. 19/02/20
4. Submitted by	Name: John Egan, Address: Project Management Limited, Killakee House,		
5. Applicant	Name: Johnson & Johnson (Irl) Ltd., Address: Belgard Road, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 0780 Date 12/04/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1059 Date 24/05/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

14.

Registrar

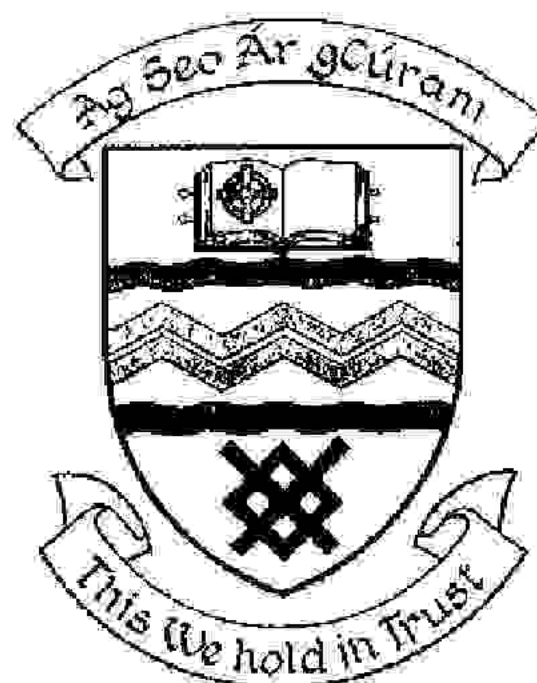
Date

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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PLANNING
DEPARTMENT
County Hall,
Town Centre, Tallaght,
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0780	Date of Decision 12/04/2001
Register Reference S00A/0509	Date: 21/07/00

Applicant Johnson & Johnson (Irl) Ltd.,

Development (a) 4,490sq.m of offices in a three storey block over part plantroom basement (b) 8,547 sq.m of office based industry in a three storey block over part plantroom basement and ancillary two and a half storey car parking block to replace 6,195sq.m of light industrial development on circa 1.6 ha

Location Belgard Road, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 19/09/2000 /17/11/2000

Clarification of Additional Information Requested/Received 15/01/2001 / 19/02/2001

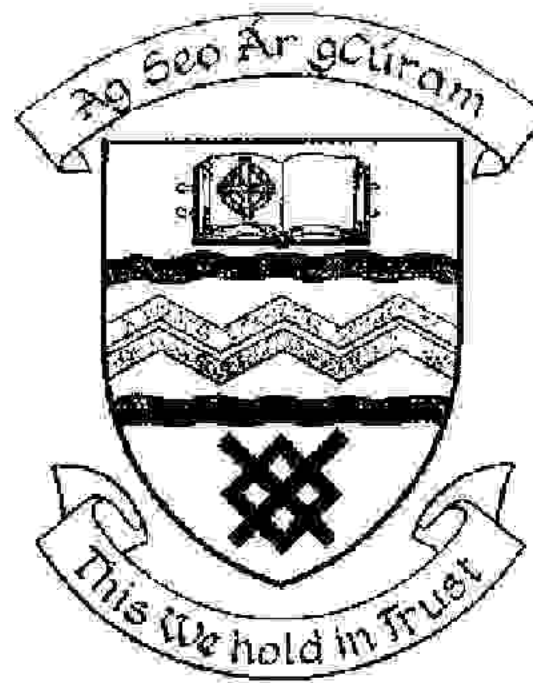
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (15) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 12/04/01
for SENIOR ADMINISTRATIVE OFFICER

John Egan,
Project Management Limited,
Killakee House,
Belgard Square,
Tallaght, Dublin 24.

**SOUTH DUBLIN COUNTY COUNCIL
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, Additional Information lodged on the 19/11/2001 and Clarification of Additional Information lodged on the 19/02/2001 and Unsolicited Additional Information lodged on the 16/03/2001, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 (a) Prior to the commencement of any development on the site the applicant shall submit for the written agreement of the Planning Authority detailed Modal Split targets to be achieved (1) on occupancy of the development (2) following the start up of the LUAS light rail and (3) following the start up of the metro rail system and any other public transport system if provided. The Modal Split targets shall reflect the current Strategic Planning Guidelines and DTO policy of facilitating the maximum usage of existing and future public transport and other non-car based modes of transport.

(b) The need for car parking provision on the site shall be reviewed in line with the coming on stream of the public transport infrastructure and the Modal Split targets referred to above.

(c) The developer shall submit details of the review to the Planning Authority for written agreement including details of the reduction in carparking on the site.

REASON:

In order to encourage the increased use of non-car based modes of transport as suitable public transport facilities become available.

- 3 The permission for the use of the "multi storey car park" shall cease to have effect either five years following completion of the building or one year following the coming into operation of the LUAS system in Tallaght, whichever is the shortest time period, unless before that date permission for retention for a further period shall have been agreed in

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REG. REF. S00A/0509

writing with the Planning Authority.

REASON:

To allow the Planning Authority to determine the appropriate use of the structure in accordance with the level of provision of public transport and the proper planning and development of the area.

- 4 (a) The full range of measures as outlined in the Mobility Management Plan, as submitted on the 19th September 2001 and subsequently clarified on the 19th February and 16th March 2001, shall be implemented.

(b) The Mobility Management Plan shall be reviewed annually and the full details, including the surveyed Modal Split results, shall be lodged with the Planning Authority.

REASON:

In order to encourage the increased use of non-car based modes of transport.

- 5 Prior to the commencement of development, the applicant shall submit revised plans to the Planning Authority for written agreement, which

(a) indicate how the structure of the multi-storey car park can be modified to provide for other appropriate uses.

(b) details of cycle parking and high quality shower facilities for cyclists and pedestrians.

REASON:

In the interests of orderly development and the proper planning and development of the area.

- 6 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

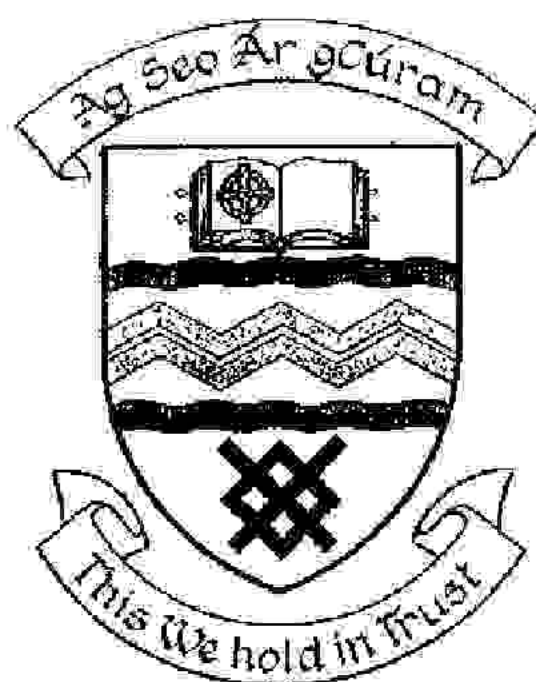
In the interest of health.

- 7 Full details of proposed external finishes, including samples of wall and roof finishes, shall be submitted to the Planning Authority for agreement before development commences.

REASON:

In the interests of amenity.

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- 8 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 11 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.

Foul and Surface Water Drainage:

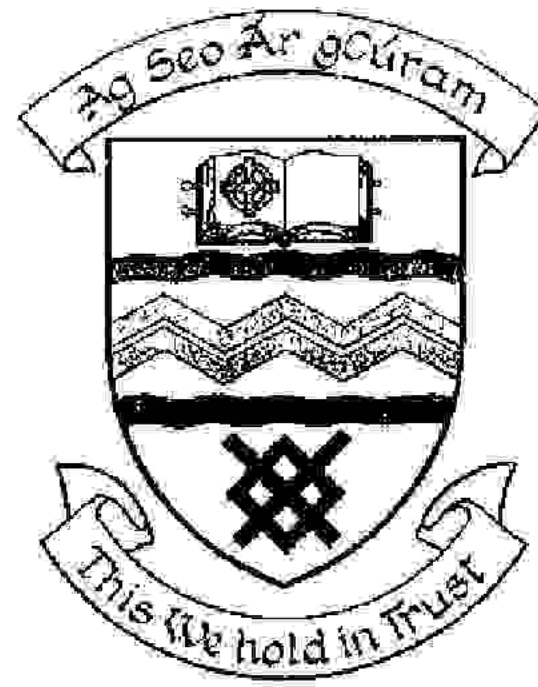
- The applicant shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

Water Supply:

- Prior to commencement of works, applicant shall submit for the approval of the Planning Authority and the Area Engineer, Deansrath, a detailed watermain layout. Layout to indicate watermain size, valve, meter and hydrant layout and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations.

REASON:

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In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 12 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 13 Full details of a proposed hard and soft landscaping plan for the site shall be lodged and agreed with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interest of visual amenity.

- 14 That a financial contribution in the sum of £55,237 (Fifty Five Thousand Two Hundred and Thirty Seven Pounds) EUR 70,136 (Seventy Thousand One Hundred and Thirty Six Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

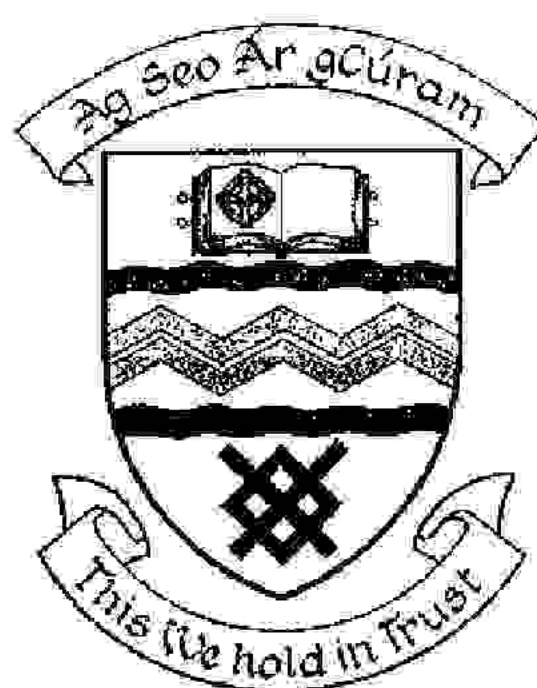
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of £143,682 (One Hundred and Forty Three Thousand Six Hundred and Eighty Two Pounds) EUR 182,439 (One Hundred and Eighty Two Thousand Four Hundred and Thirty Nine Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development;

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this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

NOTE:

The applicant is advised that adequate provision is to be made to facilitate access to and use of the development, buildings and services by disabled persons. The level of provision for disabled persons described in Part M of the Building Regulations 1999 Technical Guidance Document is the minimum which must be provided.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0509	
1. Location	Belgard Road, Tallaght, Dublin 24.		
2. Development	(a) 4,490sq.m of offices in a three storey block over part plantroom basement (b) 8,547 sq.m of office based industry in a three storey block over part plantroom basement and ancillary two and a half storey car parking block to replace 6,195sq.m of light industrial development on circa 1.6 ha		
3. Date of Application	21/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 19/09/2000 2. 15/01/20	1. 17/11/2000 2. 19/02/20
4. Submitted by	Name: John Egan, Address: Project Management Limited, Killakee House,		
5. Applicant	Name: Johnson & Johnson (Irl) Ltd., Address: Belgard Road, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 0780 Date 12/04/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 1059 Date 24/05/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
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12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

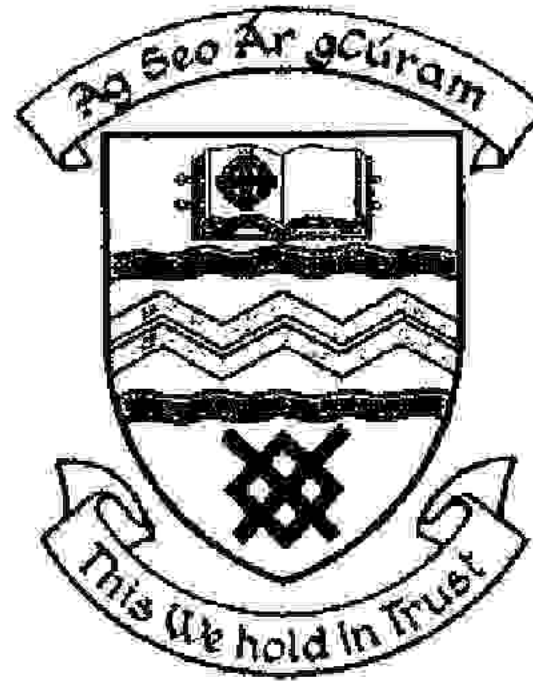
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Registrar

Date

Receipt No.

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John Egan,
Project Management Limited,
Killakee House,
Belgard Square,
Tallaght, Dublin 24.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 1059	Date of Final Grant 24/05/2001
Decision Order Number 0780	Date of Decision 12/04/2001
Register Reference S00A/0509	Date 19/02/01

Applicant Johnson & Johnson (Irl) Ltd.,

Development (a) 4,490sq.m of offices in a three storey block over part plantroom basement (b) 8,547 sq.m of office based industry in a three storey block over part plantroom basement and ancillary two and a half storey car parking block to replace 6,195sq.m of light industrial development on circa 1.6 ha

Location Belgard Road, Tallaght, Dublin 24.

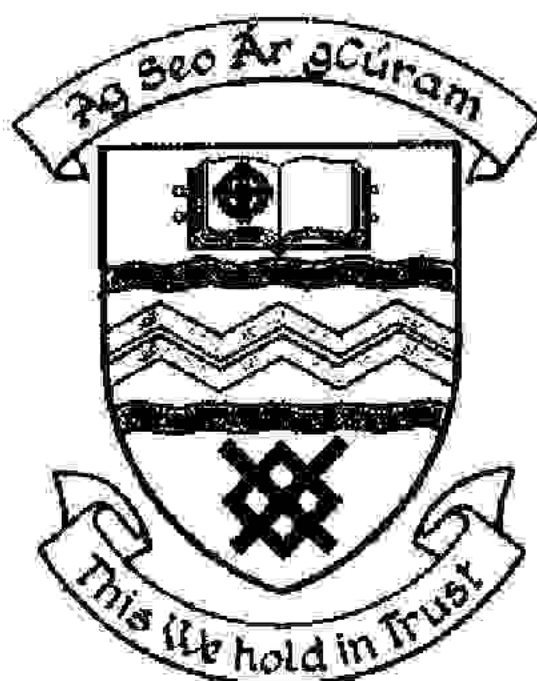
Floor Area 11119.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 19/09/2000 /17/11/2000

A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, Additional Information lodged on the 19/11/2001 and Clarification of Additional Information lodged on the 19/02/2001 and Unsolicited Additional Information lodged on the 16/03/2001, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 (a) Prior to the commencement of any development on the site the applicant shall submit for the written agreement of the Planning Authority detailed Modal Split targets to be achieved (1) on occupancy of the development (2) following the start up of the LUAS light rail and (3) following the start up of the metro rail system and any other public transport system if provided. The Modal Split targets shall reflect the current Strategic Planning Guidelines and DTO policy of facilitating the maximum usage of existing and future public transport and other non-car based modes of transport.

(b) The need for car parking provision on the site shall be reviewed in line with the coming on stream of the public transport infrastructure and the Modal Split targets referred to above.

(c) The developer shall submit details of the review to the Planning Authority for written agreement including details of the reduction in carparking on the site.

REASON:

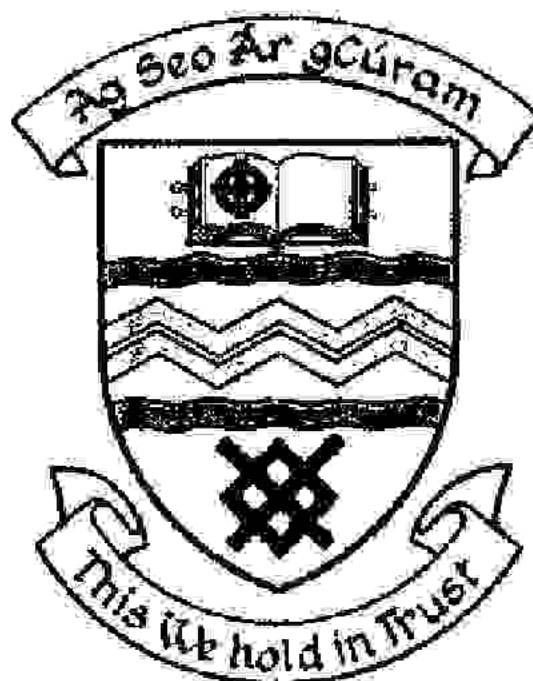
In order to encourage the increased use of non-car based modes of transport as suitable public transport facilities become available.

- 3 The permission for the use of the "multi storey car park" shall cease to have effect either five years following completion of the building or one year following the coming into operation of the LUAS system in Tallaght, whichever is the shortest time period, unless before that date permission for retention for a further period shall have been agreed in writing with the Planning Authority.

REASON:

To allow the Planning Authority to determine the appropriate use of the structure in accordance with the level of provision of public transport and the proper planning and development of the area.

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- 4 (a) The full range of measures as outlined in the Mobility Management Plan, as submitted on the 19th September 2001 and subsequently clarified on the 19th February and 16th March 2001, shall be implemented.
 (b) The Mobility Management Plan shall be reviewed annually and the full details, including the surveyed Modal Split results, shall be lodged with the Planning Authority.
 REASON:
 In order to encourage the increased use of non-car based modes of transport.
- 5 Prior to the commencement of development, the applicant shall submit revised plans to the Planning Authority for written agreement, which
 (a) indicate how the structure of the multi-storey car park can be modified to provide for other appropriate uses.
 (b) details of cycle parking and high quality shower facilities for cyclists and pedestrians.
 REASON:
 In the interests of orderly development and the proper planning and development of the area.
- 6 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
 REASON:
 In the interest of health.
- 7 Full details of proposed external finishes, including samples of wall and roof finishes, shall be submitted to the Planning Authority for agreement before development commences.
 REASON:
 In the interests of amenity.
- 8 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
 REASON:
 To protect the amenities of the area.
- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
 REASON:
 In the interest of amenity.

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- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanala on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 11 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.

Foul and Surface Water Drainage:

- The applicant shall ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

Water Supply:

- Prior to commencement of works, applicant shall submit for the approval of the Planning Authority and the Area Engineer, Deansrath, a detailed watermain layout. Layout to indicate watermain size, valve, meter and hydrant layout and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations.

REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

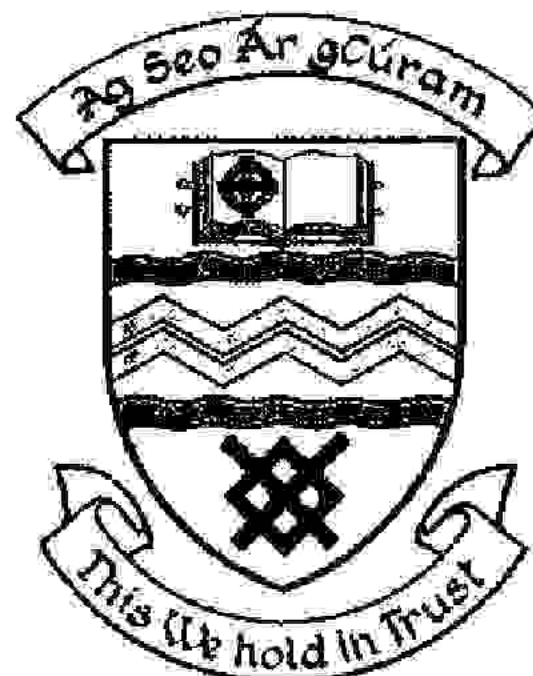
- 12 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 13 Full details of a proposed hard and soft landscaping plan for the site shall be lodged and agreed with the Planning Authority prior to the commencement of development on the site.

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REASON:

In the interest of visual amenity.

- 14 That a financial contribution in the sum of £55,237 (Fifty Five Thousand Two Hundred and Thirty Seven Pounds) EUR 70,136 (Seventy Thousand One Hundred and Thirty Six Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of £143,682 (One Hundred and Forty Three Thousand Six Hundred and Eighty Two Pounds) EUR 182,439 (One Hundred and Eighty Two Thousand Four Hundred and Thirty Nine Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

NOTE:

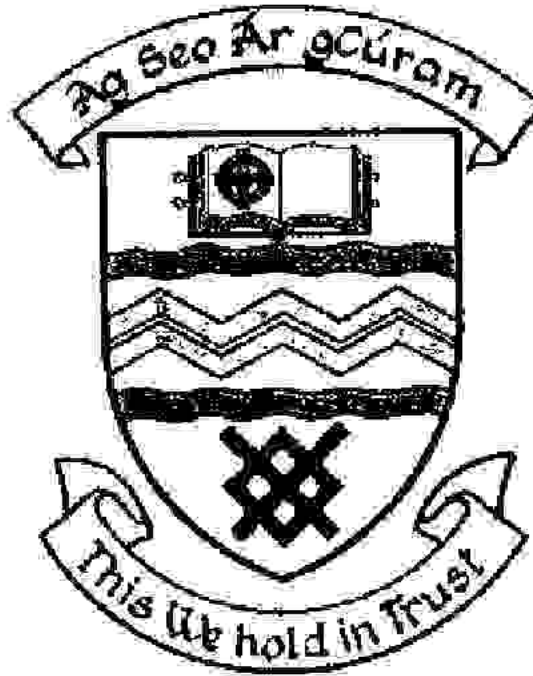
The applicant is advised that adequate provision is to be made to facilitate access to and use of the development, buildings and services by disabled persons. The level of provision for disabled persons described in Part M of the Building Regulations 1999 Technical Guidance Document is the minimum which must be provided.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

24/05/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0509	
1. Location	Belgard Road, Tallaght, Dublin 24.		
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3. Date of Application	21/07/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 19/09/2000 2.	1. 2.
4. Submitted by	Name: John Egan, Address: Project Management Limited, Killakee House,		
5. Applicant	Name: Johnson & Johnson (Irl) Ltd., Address: Belgard Road, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 2126 Date 19/09/2000	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
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14. Registrar Date Receipt No.	

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 2126	Date of Decision 19/09/2000
Register Reference S00A/0509	Date: 21/07/00

Applicant Johnson & Johnson (Irl) Ltd.,
Development (a) 4,490sq.m of offices in a three storey block over part plantroom basement (b) 8,547 sq.m of office based industry in a three storey block over part plantroom basement and ancillary two and a half storey car parking block to replace 6,195sq.m of light industrial development on circa 1.6 ha

Location Belgard Road, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 21/07/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The European Communities (Environmental Impact Assessment) (Amendment) Regulations 1999 state in the First Schedule, Part II, Section 10(b)(ii) that car parks providing more than 400 spaces require an Environmental Impact Statement. As the applicant proposes more than 400 parking spaces the applicant is requested to submit to the Planning Authority an Environmental Impact Statement and carry out the necessary related public notice procedures or to submit evidence to the Planning Authority that an Environmental Impact Statement is not required.
- 2 The applicant is requested to submit details of a 'mobility management plan' designed to reduce the dependence of employees on car based travel to and from work.
- 3 The applicant is requested to submit full details of proposed boundary treatments.

John Egan,
Project Management Limited,
Killakee House,
Belgard Square,
Tallaght, Dublin 24.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S00A/0509

- 4 The applicant is requested to clarify if all of the elevational issues are geographically correctly labelled, particularly in respect of Block 1.
- 5 The applicant is requested to submit survey details of existing boundary trees, indicating species, height, spread, condition and indicating those to be retained and those to be removed. The applicant is requested to submit details of how the roots of existing trees are to be protected from the construction works where necessary. The applicant is requested to submit details of areas where existing shrubs are to be retained and where new tree/shrub planting is proposed.

Signed on behalf of South Dublin County Council

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for Senior Administrative Officer

19/09/00