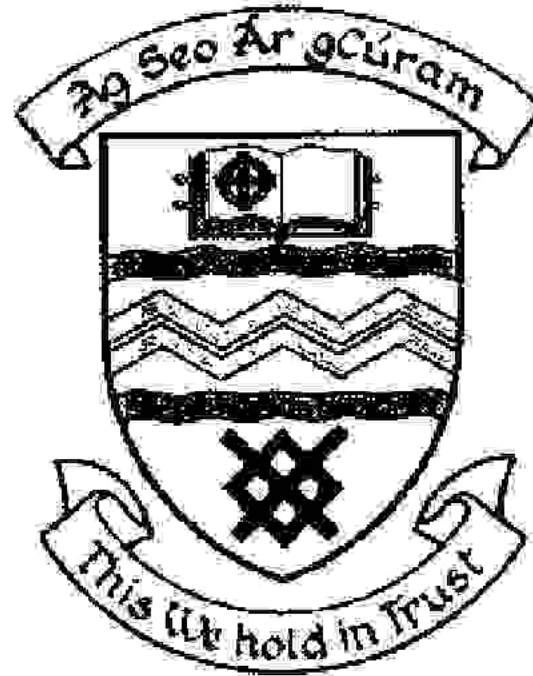


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0828	
1. Location	Side of 36 Ashgrove, Dublin 24.		
2. Development	Two storey house to side plus retention of rear kitchen extension and conservatory plus new vehicular entrance at side.		
3. Date of Application	01/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Mr K.Flanagan, Address: 36 Ashgrove, Dublin 24.		
5. Applicant	Name: Mr K.Flanagan, Address: 36 Ashgrove, Dublin 24.		
6. Decision	O.C.M. No. 0219  Date 30/01/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0606  Date 26/03/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. .... Registrar	..... Date	..... Receipt No.	

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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Lár an Bhaile, Tamhlacht  
Baile Átha Cliath 24

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**PLANNING DEPARTMENT**  
**Applications/Registry/Appeals**  
County Hall  
Town Centre, Tallaght  
Dublin 24

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Mr K. Flanagan,  
36 Ashgrove,  
Dublin 24.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Final Grant Order Number 0606	Date of Final Grant 26/03/2001
Decision Order Number 0219	Date of Decision 30/01/2001
Register Reference S00A/0828	Date 01/12/00

**Applicant** Mr K. Flanagan,

**Development** Two storey house to side plus retention of rear kitchen extension and conservatory plus new vehicular entrance at side.

**Location** Side of 36 Ashgrove, Dublin 24.

**Floor Area** 102.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** /

A Permission has been granted for the development described above,  
subject to the following (11) Conditions.

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**Conditions and Reasons**

- 1 The development shall be carried out in its entirety, in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 All external finishes shall harmonise in colour and texture with existing houses.

**REASON:**

In the interests of visual amenity.

- 3 The new dwelling, hereby permitted, shall be used as a single dwelling unit.

**REASON:**

To prevent unauthorised development.

- 4 All necessary measures shall be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

**REASON:**

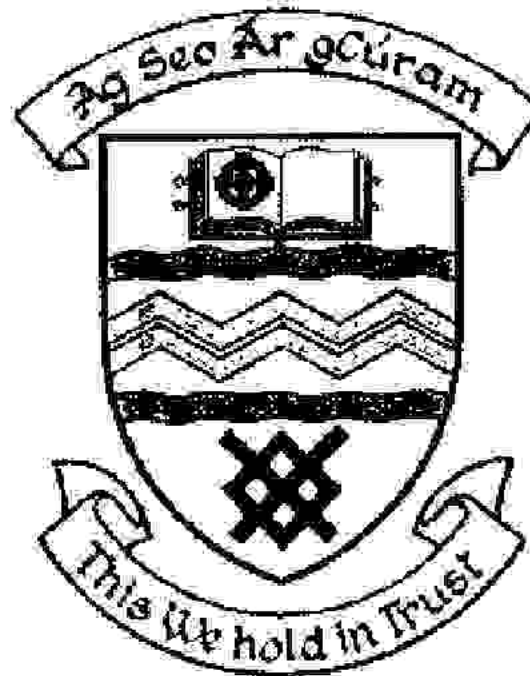
To protect the amenities of the area.

- 5 The following requirements of the Environmental Services Department shall be satisfied:

- (i) The applicant shall ensure full and complete separation of foul and surface water systems.
- (ii) Drains which run under the proposed building shall comply with the Building Regulations 1997 Technical Guidance Document H (Drainage and Waste Water Disposal).
- (iii) Prior to the commencement of the proposed development, the applicant shall submit full details of the proposed works, to dish or alter the footpath, for the approval of the Drainage Services Area Engineer at the Council's Deansrath Depot (01-4570784) as the proposed works are close to an existing sewer and manhole. (See also condition 7(ii))
- (iv) A separate water supply connection is required for the proposed development. The connection and tapping of the Council's watermains is to be carried out by South Dublin County Council personnel at the applicant's prior expense. The applicant is required to provide 24 hour water storage.



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**REASON:**

In the interest of public health.

- 6 All boundary trees and shrubs, including any street trees shall be retained:

**REASON:**

In the interest of the area.

- 7 The following criteria of the Roads Department shall be satisfied:

- (i) 2 no. off street car parking spaces shall be provided at both the existing and proposed houses on the site. This will involve the construction of a double width driveway to the existing house.
- (ii) The footpath and kerb shall be dished, and the new driveways for the existing and proposed houses shall be constructed to the satisfaction of the Area Engineer, Roads Maintenance. (See also condition 5(iii))

**REASON:**

In the interests of public safety.

- 8 A financial contribution in the sum of £1,000 shall be paid by the proposer to South Dublin County Council towards the cost of the provision and development of Class 1 public open space in the area of the proposed development and which will facilitate the development; this contribution is to be paid prior to the commencement of development.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision and development of amenity lands.

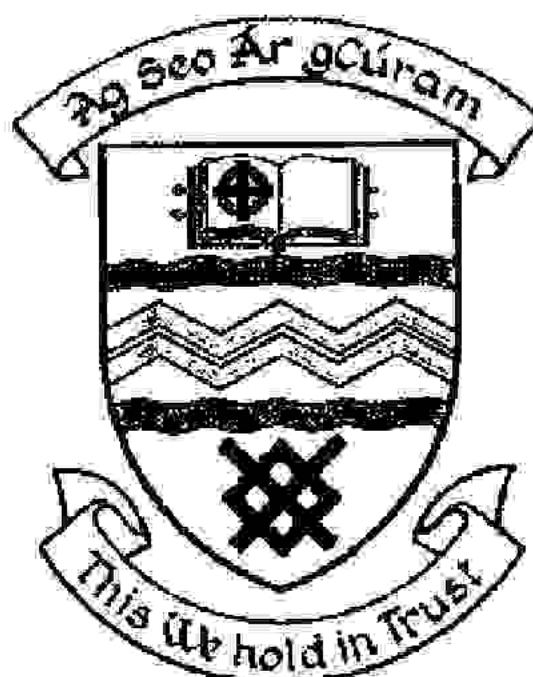
- 9 That an acceptable name/house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.

**REASON:**

In the interest of the proper planning and development of the area.

- 10 That a financial contribution in the sum of £750 (seven hundred and fifty pounds EUR952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in

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the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds EUR2666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....27/03/01  
 for SENIOR ADMINISTRATIVE OFFICER

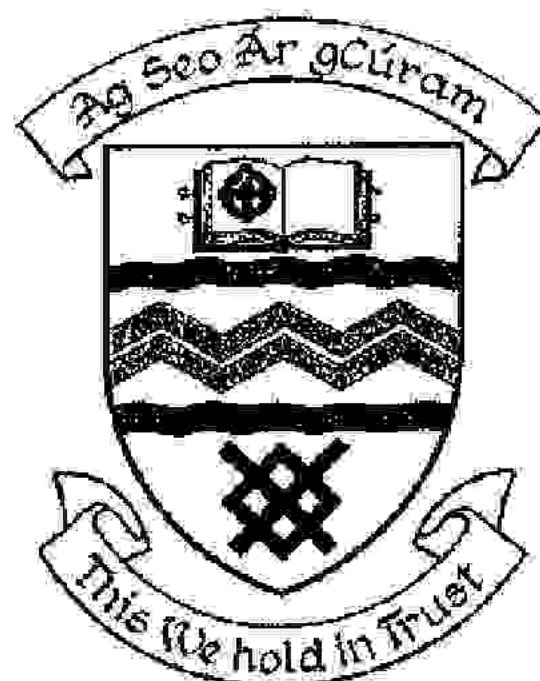


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0828	
1. Location	Side of 36 Ashgrove, Dublin 24.		
2. Development	Two storey house to side plus retention of rear kitchen extension and conservatory plus new vehicular entrance at side.		
3. Date of Application	01/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Mr K.Flanagan, Address: 36 Ashgrove, Dublin 24.		
5. Applicant	Name: Mr K.Flanagan, Address: 36 Ashgrove, Dublin 24.		
6. Decision	O.C.M. No. 0219  Date 30/01/2001	Effect AP GRANT PERMISSION	
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 0219	Date of Decision 30/01/2001
Register Reference S00A/0828	Date: 01/12/00

Applicant                      Mr K.Flanagan,

Development                Two storey house to side plus retention of rear kitchen  
extension and conservatory plus new vehicular entrance at  
side.

Location                      Side of 36 Ashgrove, Dublin 24.

Floor Area                      Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received                      /

Clarification of Additional Information Requested/Received                      /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 11 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... M7 ..... 30/01/01  
for SENIOR ADMINISTRATIVE OFFICER

Mr K.Flanagan,  
36 Ashgrove,  
Dublin 24.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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**Conditions and Reasons**

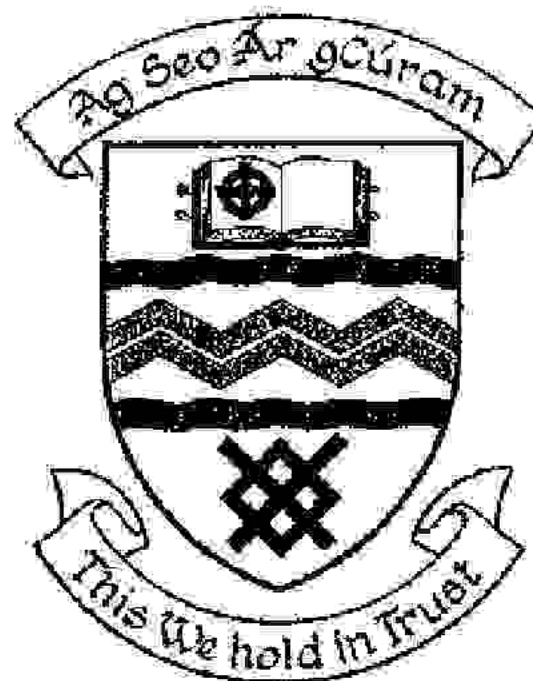
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REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 All external finishes shall harmonise in colour and texture with existing houses.  
REASON:  
In the interests of visual amenity.
- 3 The new dwelling, hereby permitted, shall be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 4 All necessary measures shall be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
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