

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0833	
1. Location	Fortunestown Road, Tallaght, Dublin 24.		
2. Development	New Methodist Church Community Centre consisting of multi-purpose hall, chapel, meeting rooms and associated works.		
3. Date of Application	05/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: John M.O'Brien, Architects, Address: Main Street, Blessington,		
5. Applicant	Name: Rev. Tom Kingston, Address: The Methodist Church, 220 Barton Road East, Dundrum, Dublin 14.		
6. Decision	O.C.M. No. 0229  Date 31/01/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0606  Date 26/03/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	Date	Receipt No.	

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Decision Order Number 0229	Date of Decision 31/01/2001
Register Reference S00A/0833	Date: 05/12/00

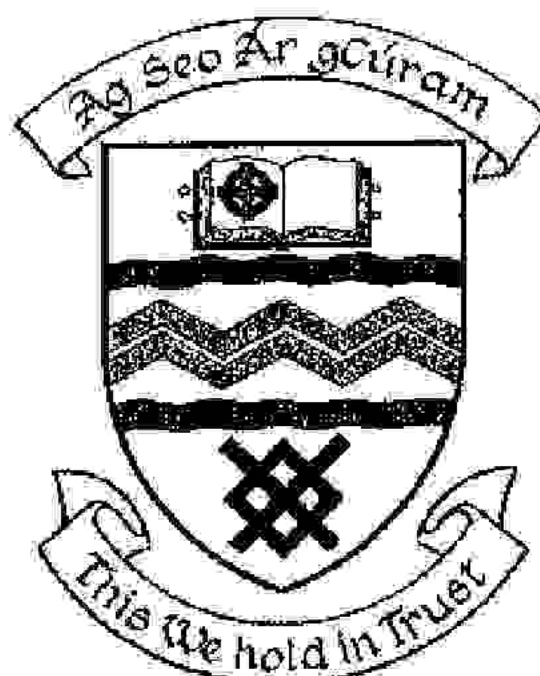
\*\*\*\*\* 01/02/01  
for SENIOR ADMINISTRATIVE OFFICER

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**SOUTH DUBLIN COUNTY COUNCIL  
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.

**REASON:**

In order to comply with the Sanitary Services Acts, 1878 - 1964.

- 3 Foul Drainage:

- Prior to the commencement of any development on the site the applicant is requested to submit written evidence of permission to discharge to a privately owned foul sewer.
- The applicant shall ensure full and complete separation of the foul and surface water drainage systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways and to 0.9 metres in open space. Where it is not possible to achieve these covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- No building shall be located within 5 metres of a public sewer or any sewer with potential to be taken in charge. Details to be agreed in writing with the Planning Authority prior to the commencement of any development on the site.

**Surface Water Drainage:**

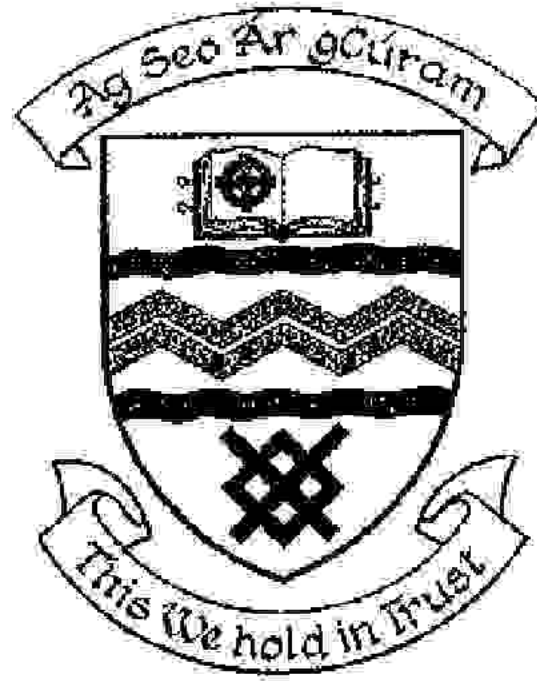
- Prior to the commencement of development the applicant shall submit full details of proposed surface water drainage to include pipe sizes, pipe gradient, pipe routes, manhole cover levels, pipe



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- invert levels at the manholes, and typical manhole construction details, up to and including connection to the public sewer.
- The applicant shall ensure full and complete separation of the foul and surface water drainage systems.
- All pipes shall be laid with a minimum cover of 1.2 metres in roads, footpaths and driveways and 0.9 metres in open space. Where it is not possible to achieve these covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
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**Water:**

- Prior to the commencement of any development on the site the applicant is requested to submit for the written agreement of the Planning Authority approval from Dublin Corporation, Water Division, Marrowbone Lane regarding the protection of their 24" watermain in the vicinity of the proposed development.
- A separate metered water supply connection is required for the proposed development. The connection and tappings of the Council's watermains is to be carried out by South Dublin County Council Personnel at the applicant's expense. The applicant shall provide 24 hour storage.
- The applicant shall submit full details of the watermain layout for the approval of the Water Services Area Engineer at the Council's Deansrath Depot prior to the commencement of the development. The development shall comply with the Building Regulations.

**REASON:**

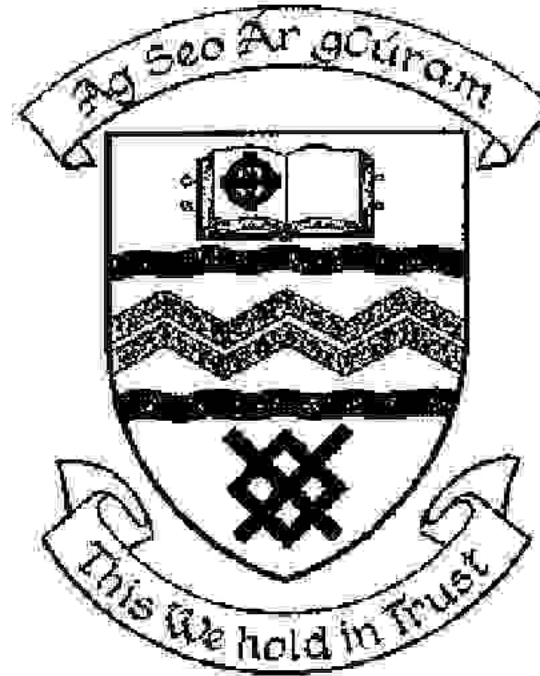
In the interest of the proper planning and development of the area.

- 4 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

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REASON:

In the interest of the proper planning and development of  
the area.

- 5 That prior to commencement of development the requirements  
of the Principal Environmental Health Officer be ascertained  
and strictly adhered to in the development.

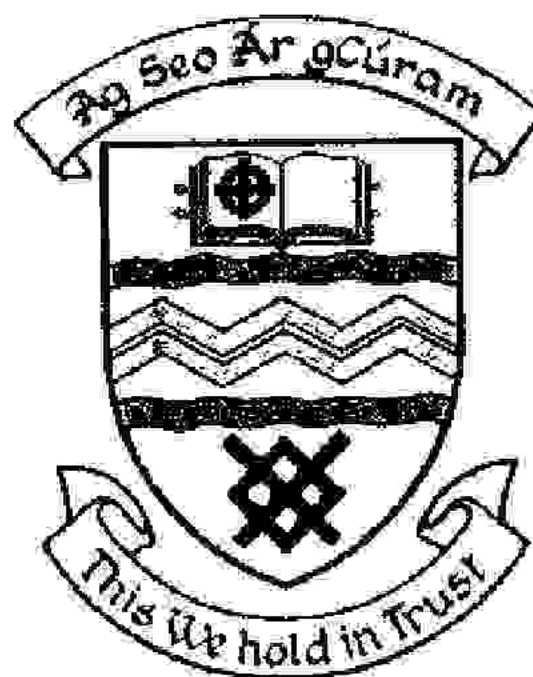
REASON:

In the interest of health.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0833	
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John M.O'Brien, Architects,  
Main Street,  
Blessington,  
Co.Wicklow.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Final Grant Order Number 0606	Date of Final Grant 26/03/2001
Decision Order Number 0229	Date of Decision 31/01/2001
Register Reference S00A/0833	Date 05/12/00

**Applicant** Rev.Tom Kingston,

**Development** New Methodist Church Community Centre consisting of multi-purpose hall, chapel, meeting rooms and associated works .

**Location** Fortunestown Road, Tallaght, Dublin 24.

**Floor Area** 574.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** /

A Permission has been granted for the development described above,  
subject to the following (5) Conditions.

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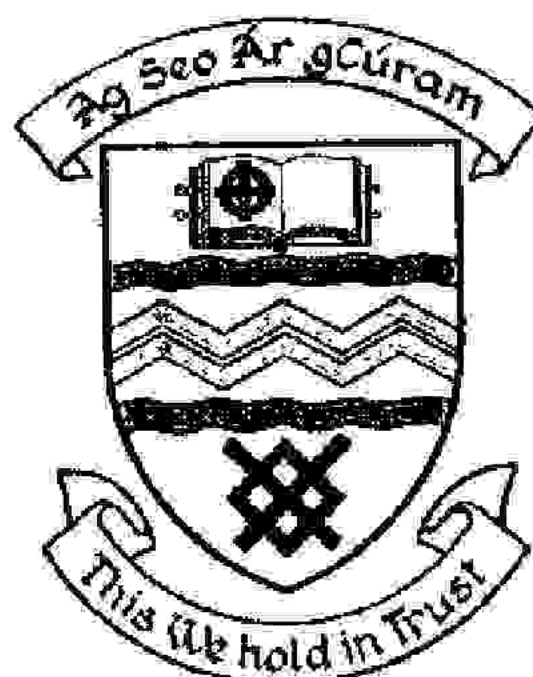
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**Surface Water Drainage:**

- Prior to the commencement of development the applicant shall submit full details of proposed surface water drainage to include pipe sizes, pipe gradient, pipe routes, manhole cover levels, pipe invert levels at the manholes, and typical manhole construction details, up to and including connection to the public sewer.
- The applicant shall ensure full and complete separation of the foul and surface water drainage systems.
- All pipes shall be laid with a minimum cover of 1.2



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**REASON:**

In the interest of health.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....27/03/01  
for SENIOR ADMINISTRATIVE OFFICER