

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0834	
1. Location	Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.		
2. Development	Retention and completion of the three block light industrial unit to the rear of unit 3, approved under Planning Ref. No. S98A/0908		
3. Date of Application	05/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 03/01/2001 2.	1. 10/01/2001 2.
4. Submitted by	Name: R.C. Design Services, Address: "Moyalla", 2 Wynberg Park,		
5. Applicant	Name: O.C. Cold Stores Address: Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. 0491  Date 06/03/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0866  Date 26/04/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

14. ....

Registrar

.....

Date

.....

Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae  
Lár an Bhaile, Tamhlacht  
Baile Átha Cliath 24

Telefon: 01-414 9230  
Facs: 01-414 9104



**PLANNING DEPARTMENT**  
**Applications/Registry/Appeals**  
County Hall  
Town Centre, Tallaght  
Dublin 24

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R.C. Design Services,  
"Moyalla",  
2 Wynberg Park,  
Stradbroke, Blackrock,  
Co. Dublin.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0866	Date of Final Grant 26/04/2001
Decision Order Number 0491	Date of Decision 06/03/2001
Register Reference S00A/0834	Date 10/01/01

**Applicant** O.C. Cold Stores

**Development** Retention and completion of the three block light industrial unit to the rear of unit3, approved under Planning Ref. No. S98A/0908

**Location** Unit 3, Crag Avenue, Clondalkin Industrial Estate,  
Clondalkin, Dublin 22.

**Floor Area** 807.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 03/01/2001 /10/01/2001

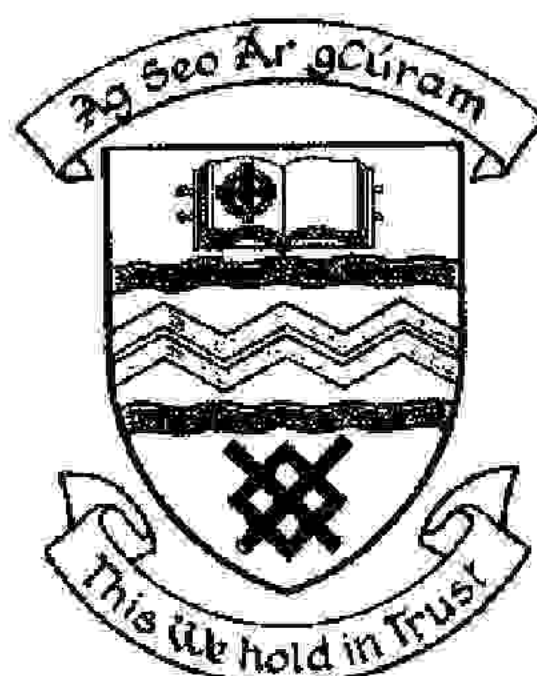
A Permission has been granted for the development described above,  
subject to the following (14) Conditions.



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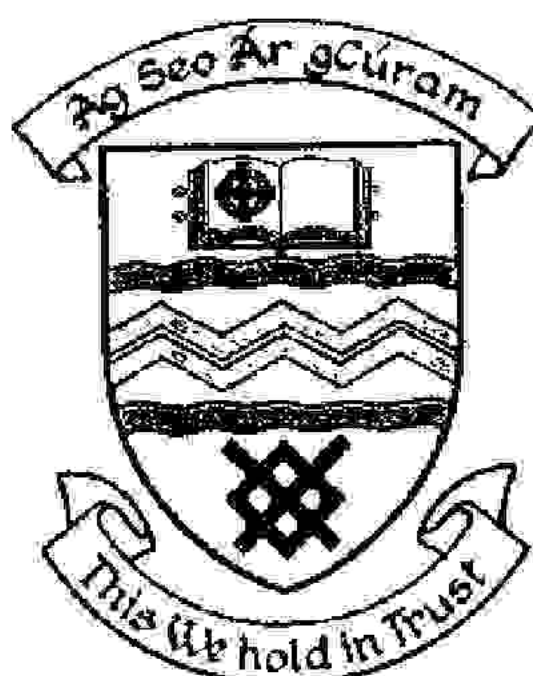
**Conditions and Reasons**

- 1 The development to be retained and completed in its entirety in accordance with the plans, particulars and specifications lodged with the application, and Unsolicited Additional Information received 26/01/2001, save as may be required by the other conditions attached hereto.  
**REASON:**  
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Applicant shall ensure full and complete separation of foul and surface water system.  
**REASON:**  
 In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.  
**REASON:**  
 In the interest of proper planning and development.
- 4 No building shall be within 5 metres of a public sewer with potential to be taken in charge.  
**REASON:**  
 In the interest of proper planning and development.
- 5 No building shall be within 5 metres of a watermain less than 225mm diameter and within 8m of watermain greater than 225mm diameter.  
**REASON:**  
 In the interest of proper planning and development.
- 6 Prior to the commencement of the completion of the development the applicant shall submit for the approval of the area engineer, Deansrath (tel 01-4570784), a detailed watermain layout. The layout shall indicate watermain size, valve, metre and hydrant layout and the proposed point of connection to the existing watermain. The layout shall be in accordance with part B of 1997 Building regulations. To facilitate self-cleaning of watermains, spurs shall terminate in a loop or a duckfoot hydrant.  
**REASON:**  
 In the interest of proper planning and development of the area.

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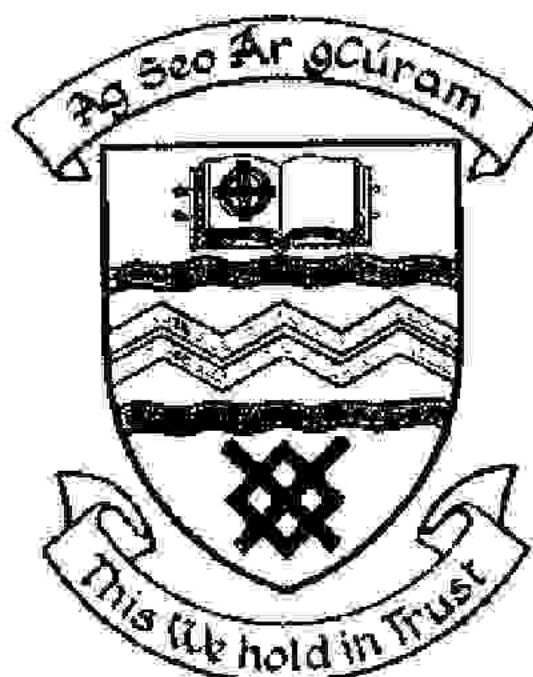
- 7 24 hour water storage for the existing unit and the extension shall be provided.  
 REASON:  
 In the interest of fire safety and proper planning and development of the area.
- 8 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.  
 REASON:  
 To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.
- 9 Prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
 REASON:  
 In the interest of safety and the avoidance of fire hazard.
- 10 Prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
 REASON:  
 In the interest of health.
- 11 No industrial effluent be permitted without prior approval from Planning Authority.  
 REASON:  
 In the interest of health.
- 12 No advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.  
 REASON:  
 In the interest of the proper planning and development of the area.
- 13 All car parking spaces shall be clearly marked out and the car parking / circulation areas indicated on the site plan submitted on 5/12/00 shall be available at all times for car parking use and shall not be used for storage, display or other such uses.  
 REASON:



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In the interest of proper planning and development in the area.

- 14 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No. 11 and 12 of Register Reference of S98A/0908 be strictly adhered to in respect of this development.

**REASON:**

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

*JK* .....26/04/01  
 for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0834	
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4. Submitted by	Name: R.C. Design Services, Address: "Moyalla", 2 Wynberg Park,		
5. Applicant	Name: O.C. Cold Stores Address: Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.		
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14.

Registrar

Date

Receipt No.

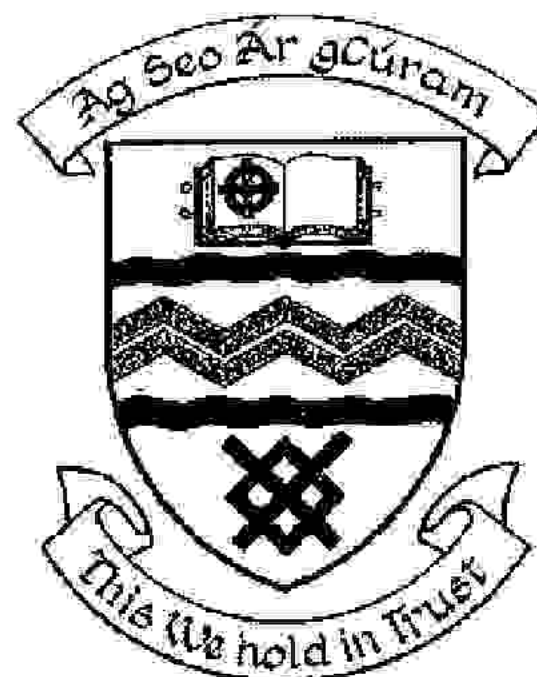


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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993**

Decision Order Number 0491	Date of Decision 06/03/2001
Register Reference S00A/0834	Date: 05/12/00

Applicant O.C. Cold Stores

Development Retention and completion of the three block light industrial unit to the rear of unit3, approved under Planning Ref. No. S98A/0908

Location Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 03/01/2001 /10/01/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 14 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

M7  
..... 06/03/01  
for SENIOR ADMINISTRATIVE OFFICER

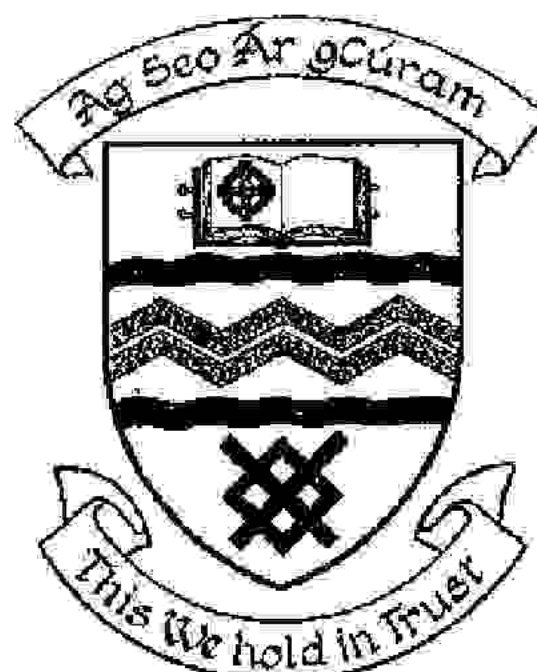
R.C. Design Services,  
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M

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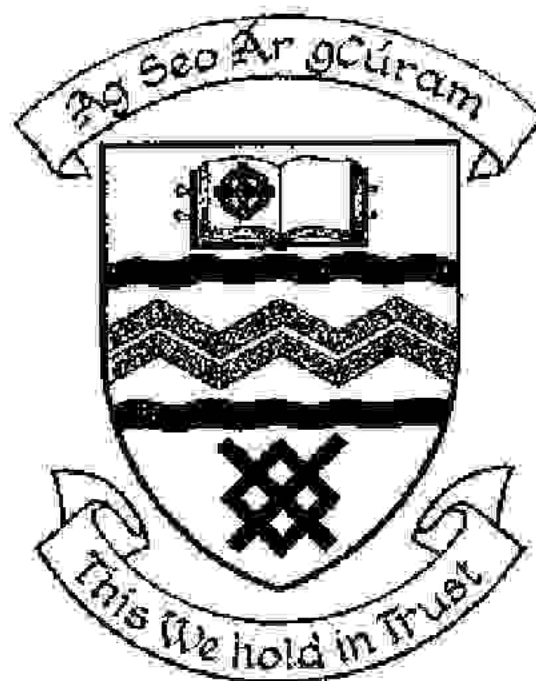
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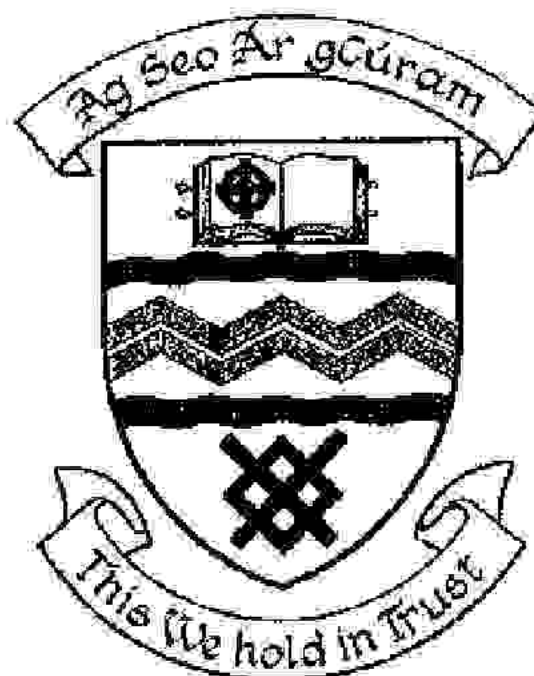
REG REF. S00A/0834

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REG. REF. S00A/0834

accordance with part B of 1997 Building regulations. To facilitate self-cleaning of watermains, spurs shall terminate in a loop or a duckfoot hydrant.

REASON:

In the interest of proper planning and development of the area.

- 7 24 hour water storage for the existing unit and the extension shall be provided.

REASON:

In the interest of fire safety and proper planning and development of the area.

- 8 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

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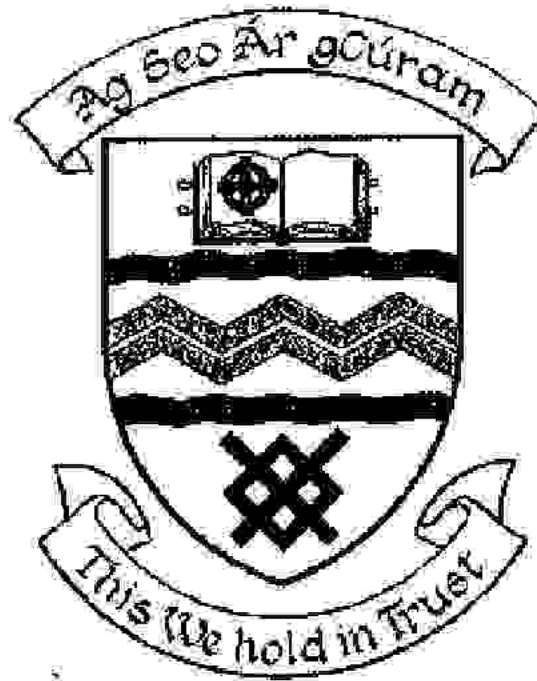
REASON:

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- 12 No advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 13 All car parking spaces shall be clearly marked out and the car parking / circulation areas indicated on the site plan submitted on 5/12/00 shall be available at all times for car parking use and shall not be used for storage, display or other such uses.

REASON:

In the interest of proper planning and development in the area.

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REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

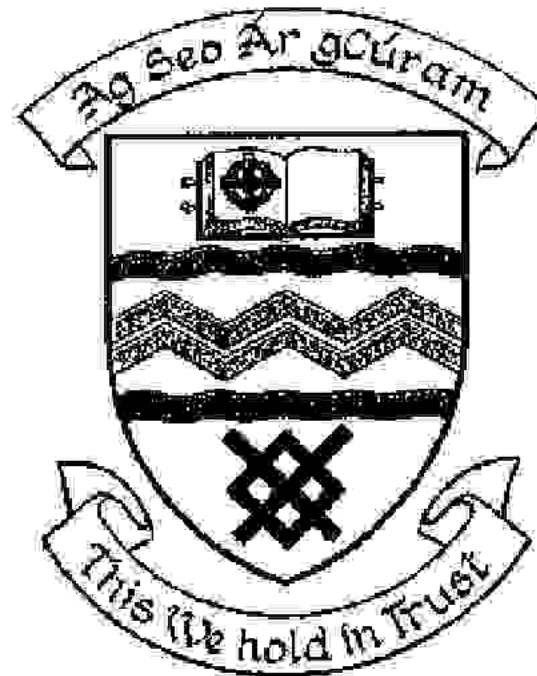
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No.  S00A/0834	
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4. Submitted by	Name: R.C. Design Services, Address: "Moyalla", 2 Wynberg Park,		
5. Applicant	Name: O.C. Cold Stores Address: Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. 0002  Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
7. Grant	O.C.M. No.  Date	Effect AR REQUEST REVISED PUBLIC NOTICE	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
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14. .... Registrar	..... Date	..... Receipt No.	



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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Order Number 0002	Date of Order 03/01/2001
Register Reference S00A/0834	Date 05/12/00

**Applicant** O.C. Cold Stores

**Development** Retention and completion of the three block light industrial unit to the rear of unit3, approved under Planning Ref. No. S98A/0908

**Location** Unit 3, Crag Avenue, Clondalkin Industrial Estate, Clondalkin, Dublin 22.

Dear Sir/Madam,

An inspection carried out on 02/01/01 has shown that the site notice erected in respect of your planning application does not comply with the requirements of the Local Government (Planning and Development) Regulations, 1994 as the notice is not easily visible and legible from the public road. Before this application can be considered, you must erect a new notice on the site or structure, and submit the following to this Department:

- (a) two copies of the text of the notice
- (b) two plans showing the position of the notice on the land or structure
- (c) a statement of the date on which the notice is erected

The notice must be maintained in position for at least one month and must fulfill the following conditions:-

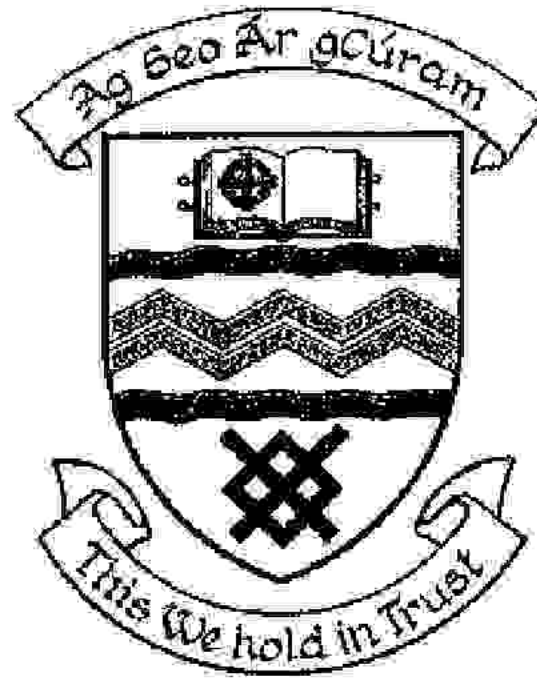
1. Must be durable material
2. Must be securely erected in a conspicuous position easily visible and legible by persons using the public road

R.C. Design Services,  
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REG REF. S00A/0834

3. Must be headed "Application to Planning Authority".  
4. Must state:

- (a) Applicant's name
- (b) whether application is for Permission, Outline Permission, or Approval.
- (c) nature and extent of development including number of dwellings (if any)
- (d) that the application may be inspected at the Planning Department, South Dublin County Council, Town Centre, Tallaght, Dublin 24.

No further consideration will be given to this application until you comply with these requirements.

Yours faithfully,

  
..... 03/01/01  
for Senior Administrative Officer.