

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0889	
1. Location	Ballydowd Manor, Lucan, Co. Dublin		
2. Development	Alterations to approved site no's. 27, 29, 31 Fforster Drive, 1-27 (Odd) Fforster Green, 1-9 (incl.) Fforster Row (Reg. Ref. PL 06S 112139, S99A/0239) and the addition of adjacent lands (part phase 4) to provide 88 no. apartments in two/three storey blocks (46 X 2 bed, 42 X 3 bed).		
3. Date of Application	21/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 01/05/2001 2.
4. Submitted by	Name: Frank Elmes & Co. Address: 2 Waldemar Terrace, Main Street,		
5. Applicant	Name: Tierra Limited Address: 5 Seafield Grove, Clontarf, Dublin 3.		
6. Decision	O.C.M. No. 2274 Date 29/06/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2656 Date 14/08/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

14.

Registrar

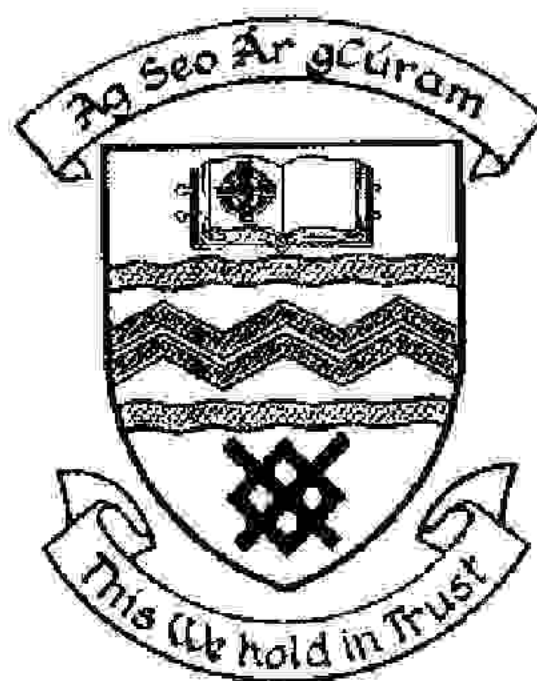
Date

Receipt No.

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Lár an Bhaile, Tamlacht,
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Dundrum,
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NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 2656	Date of Final Grant 14/08/2001
Decision Order Number 2274	Date of Decision 29/06/2001
Register Reference S00A/0889	Date 01/05/01

Applicant Tierra Limited

Development Alterations to approved site no's. 27, 29, 31 Fforster Drive, 1-27 (Odd) Fforster Green, 1-9 (incl.) Fforster Row (Reg. Ref. PL 06S 112139, S99A/0239) and the addition of adjacent lands (part phase 4) to provide 88 no. apartments in two/three storey blocks (46 X 2 bed, 42 X 3 bed).

Location Ballydowd Manor, Lucan, Co. Dublin

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /01/05/2001

A Permission has been granted for the development described above,
subject to the following (30) Conditions.

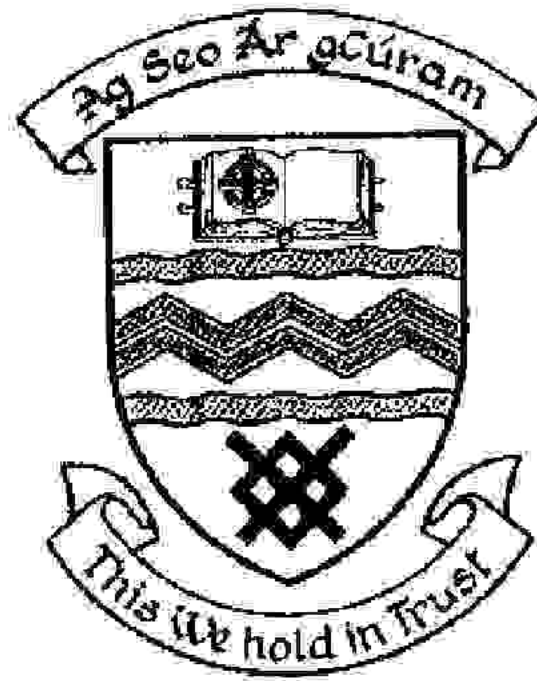
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REG REF. S00A/0884

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Conditions and Reasons

- 1 The development shall be in accordance with the submitted plans, including the response to the request for additional information received dated 01/05/01, and shall otherwise accord with the terms and conditions of planning permission granted under S99A/0239.
REASON:
In the interest of the proper planning and development of the area.
- 2 That each proposed dwelling unit be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.
- 6 That no residential unit be occupied until all services have been connected and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 7 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
REASON:

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REG. REF. S00A/0897

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In the interest of the proper planning and development of the area.

- 8 An acceptable street naming and numbering scheme shall be submitted for agreement by the Planning Authority before development commences.
REASON:
In the interest of the proper planning and development of the area.
- 9 That the private area to the rear of each ground floor unit be a minimum of 4m depth.
REASON:
In the interest of enhancing the amenity of the proposed development.
- 10 Car parking spaces numbered 54 - 62 in the revised layout (drawing no TL/01/03) shall be omitted and the resultant area shall be incorporated into the area of open space.
REASON:
To avoid the over-supply of car parking within the layout in the interests of amenity.
- 11 In relation to the two storey elements, the roof shall be designed so that it is capable of conversion in the future to habitable accommodation.
REASON:
To maximise the site's potential for accommodation in the interest of sustainable development.
- 12 Before development commences, the applicant shall submit for agreement by the Planning Authority detailed proposals for the design and location of refuse storage and cycle parking facilities within the site.
REASON:
In the interest of proper planning and sustainable development.
- 13 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.
REASON:
In the interest of the proper planning and development of the area.
- 14 Before development commences, the applicant shall submit for agreement by the Planning Authority, a layout which clearly outlines the areas of open space within the scheme which are

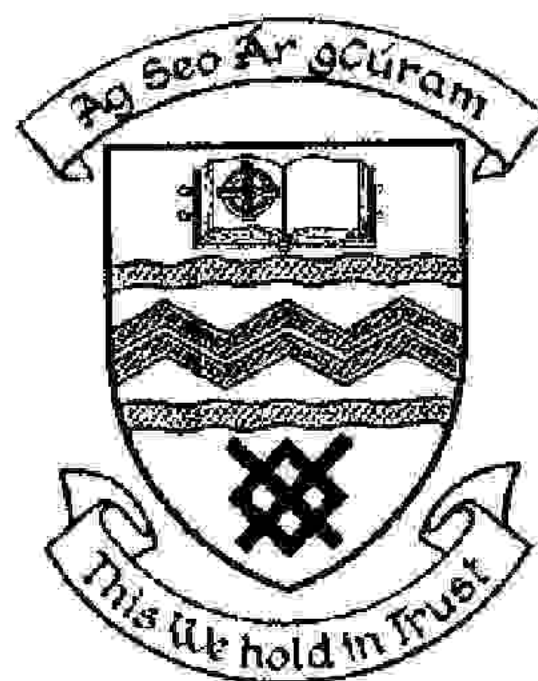
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RÉG REF. S00A/0889

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to be taken in charge by the County Council.

REASON:

In the interest of the proper planning and sustainable development of the area.

- 15 Before development commences, the areas of open space to the north and east of the internal roads shall be protected with suitable protective fencing, which shall be kept in place for the duration of construction.

REASON:

In the interest of ensuring the provision of satisfactory open space to serve the development.

- 16 A scheme of tree felling/surgery works based on the applicant's tree survey to be carried out prior to commencement of works on site.

REASON:

In the interest of the proper planning and sustainable development of the area.

- 17 Before development commences, the applicant shall submit for agreement by the Planning Authority a detailed landscape plan with full works specification for the development and maintenance of the areas of private and public open space. The plan shall include proposals for the piping of the ditch on the public open space, the erection of bollards adjacent to turning bays, footpaths, grass seeding, planting within the open spaces, street planting and any artistic feature. The works shall be in accordance with South Dublin Co Co's "Guidelines for Open Space Development and Taking in Charge".

REASON:

In the interest of ensuring the provision of satisfactory open space to serve the development.

- 18 The proposed location of the site compound and the exact routes of all watermains, foul and surface water sewers must be marked out on site and agreed in writing with the County Council prior to commencement of any works on site, so as to minimise damage to trees and open space areas.

REASON:

In the interest of the proper planning and sustainable development of the area.

- 19 Before development commences, the applicant shall submit for written agreement by the Planning Authority full details of the proposed finishes of the hard-surface areas, to include the road, footpath, junction treatments and car parking areas.

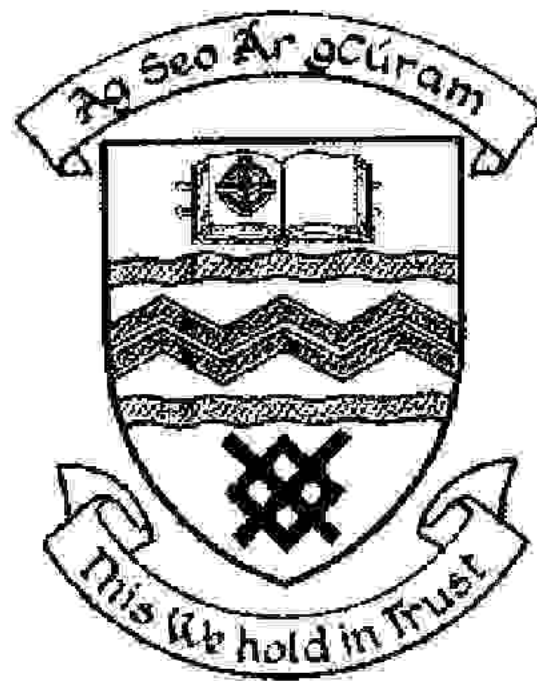
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REASON:

In the interest of amenity.

- 20 In relation to drainage, the following requirements of the Environmental Services Dept shall be satisfied:
- (a) All sewers, with the potential to be taken in charge, shall be a minimum of 225mm in diameter with an adequate gradient to provide self-cleansing.
 - (b) The applicant will be required to install and maintain a suitable flow recorder on the outfalls from the site together with a rain gauge. Details of this to be agreed with the Planning Authority prior to the commencement of development.
 - (c) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (d) The applicant to ensure full and complete separation of foul and surface water systems.
 - (e) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (f) As per the applicant's proposal the surface water discharges from the site shall be attenuated by the provision of 260m³ storage tank fitted with a hydrobrake flow control or similar such that the maximum surface water discharge from the site shall not exceed 10.14 l/s.
 - (g) Prior to the commencement of development the applicant shall submit details of how it is proposed to keep the surface water attenuation system free from siltation. Details submitted shall included a maintenance / cleaning program for the system until such time as it is taken in charge by the Planning Authority.

REASON:

To comply with sanitary services requirements.

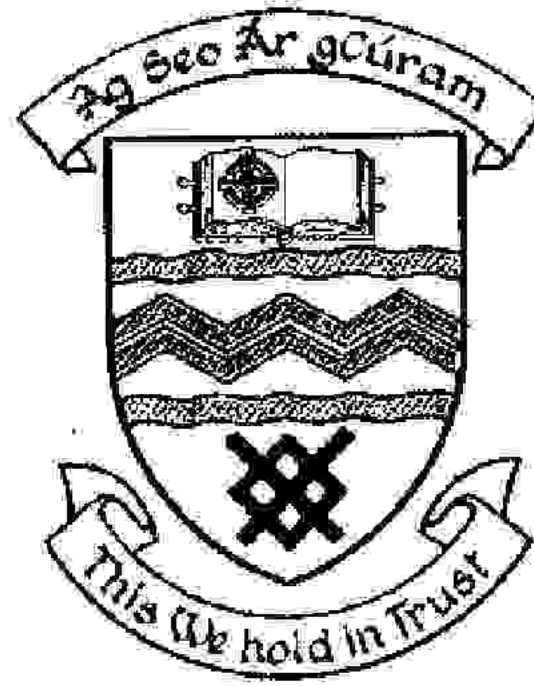
- 21 The following requirements of the Environmental Services Dept shall be satisfied in relation to the water supply element of the development:
- (a) Prior to the commencement of development the applicant shall liase with the Leakage Engineer, Deansrath Depot, to establish the water metering requirements for development. These shall include fitting the watermains serving the site with check meters, remote readouts, loggers etc.
 - (b) Prior to the commencement of development the applicant shall submit for agreement by the Planning Authority a revised watermain layout for the site. This layout shall include the following revisions:-

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1. 150mm spine mains are required within estates with 100mm loops.
2. Dead-end duckfoot hydrants and blank flanges to be replaced with hydrants on looped mains to facilitate self-cleansing of watermains.
3. Mains > 150mm diameter to be DI.
4. No unit shall be greater than 46m from a hydrant.
5. Tee-connections to be controlled by 3-way SVs.
6. No buildings are within 5m of watermains with the potential to be taken in charge.

(c) Apartments of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

(d) The property shall have its own individual service connection to the public watermain and 24hour storage.

(e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

To comply with the requirements of the Environmental Services Department.

- 22 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with the Council's Housing Strategy prepared in accordance with Part V of the Planning and Development Act 2000 as referred to in Section 2.2.7(ii) and as set out in "Appendix F" of the South Dublin County Development Plan 1998.

REASON:

To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

- 23 That a financial contribution in the sum of £64,500 (sixty four thousand five hundred pounds) EUR 81,898 (eighty one thousand eight hundred and ninety eight euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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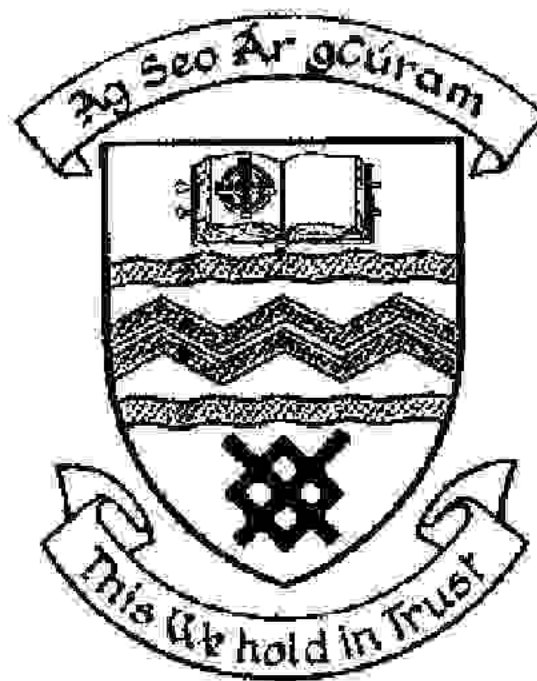
REG. REF. S00A/10896

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- 24 That a financial contribution in the sum of £180,600 (one hundred and eighty thousand and six hundred pounds) EUR 229,315 (two hundred and twenty nine thousand three hundred and fifteen euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 25 That a financial contribution in the sum of £64,500 (sixty four thousand five hundred pounds) EUR 81,898 (eighty nine thousand eight hundred and ninety eight euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 26 That a financial contribution in the sum of £34,400 (thirty four thousand and four hundred pounds) EUR 43,679 (forty three thousand six hundred and seventy nine euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 27 That a financial contribution in the sum of £8,600 (eight thousand six hundred pounds) EUR 10,920 (ten thousand nine hundred and twenty euros) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before

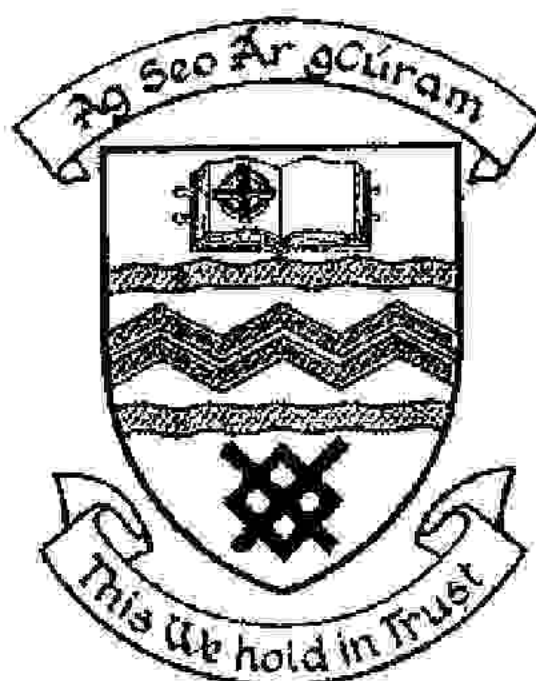
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the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 28 That a financial contribution in the sum of £4,300 (four thousand and three hundred pounds) EUR 5,460 (five thousand four hundred and sixty euros) be paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 29 That a Bond or Cash Lodgement of £20,000 (twenty thousand pounds) EUR 25,395 (twenty five thousand three hundred and ninety five euros) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

REASON:

In the interest of the proper planning and development of the area.

- 30 Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £86,000 (eighty six thousand pounds) EUR 109,197 (one hundred and nine thousand one hundred and ninety seven euros), a bond of an Insurance Company of £129,000 (one hundred and twenty nine thousand pounds) EUR 163,796 (one hundred and sixty three thousand seven hundred and ninety six euros), or other acceptable security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development.

REASON:

To ensure the satisfactory completion of the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.

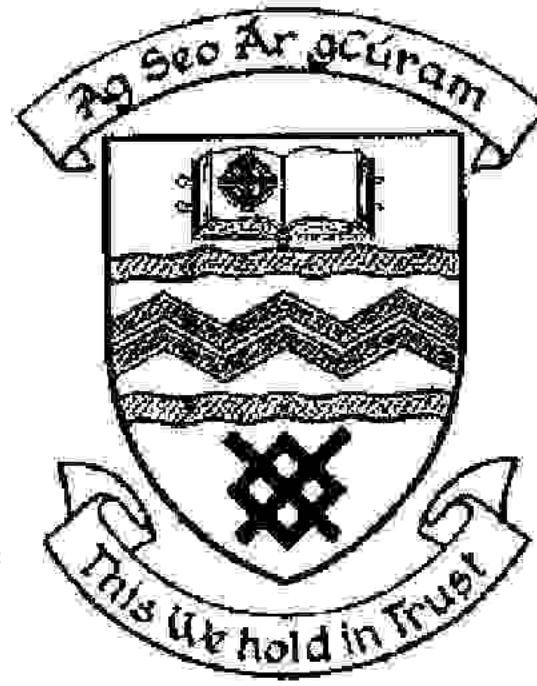
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- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


.....14/08/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0889	
1. Location	Ballydowd Manor, Lucan, Co. Dublin		
2. Development	Alterations to approved site no's. 27, 29, 31 Fforster Drive, 1-27 (Odd) Fforster Green, 1-9 (incl.) Fforster Row (Reg. Ref. PL 06S 112139, S99A/0239) and the addition of adjacent lands (part phase 4) to provide 88 no. apartments in two/three storey blocks (46 X 2 bed, 42 X 3 bed).		
3. Date of Application	21/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Frank Elmes & Co. Address: 2 Waldemar Terrace, Main Street,		
5. Applicant	Name: Tierra Limited Address: 5 Seafield Grove, Clontarf, Dublin 3.		
6. Decision	O.C.M. No. 0388 Date 20/02/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0388	Date of Decision 20/02/2001
Register Reference S00A/0889	Date: 21/12/00

Applicant Tierra Limited
Development Alterations to approved site no's. 27, 29, 31 Fforster Drive, 1-27 (Odd) Fforster Green, 1-9 (incl.) Fforster Row (Reg. Ref. PL 06S 112139, S99A/0239) and the addition of adjacent lands (part phase 4) to provide 88 no. apartments in two/three storey blocks (46 X 2 bed, 42 X 3 bed).

Location Ballydowd Manor, Lucan, Co. Dublin

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 21/12/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

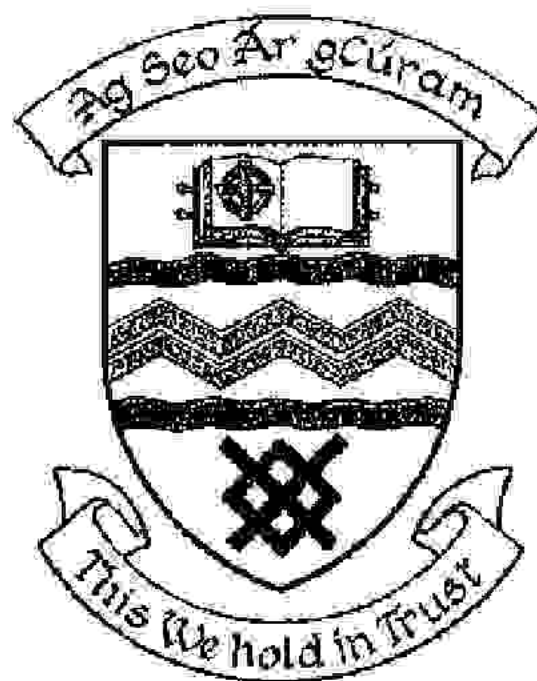
- 1 The applicant is required to submit full details of foul drainage for the development. These shall include:
 - A layout showing the location of all proposed drains, sewers, manholes and AJs with the site. This shall be in compliance with Part H of the 1997 Building Regulations and shall clearly show pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
 - A longitudinal section of the foul drainage clearly showing pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
 - Design calculations for the foul drainage layout.
 - Full and complete separation of foul and surface water systems.
 - No buildings shall be erected within 5 metres of a

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public sewer or any sewer with the potential to be taken in charge.

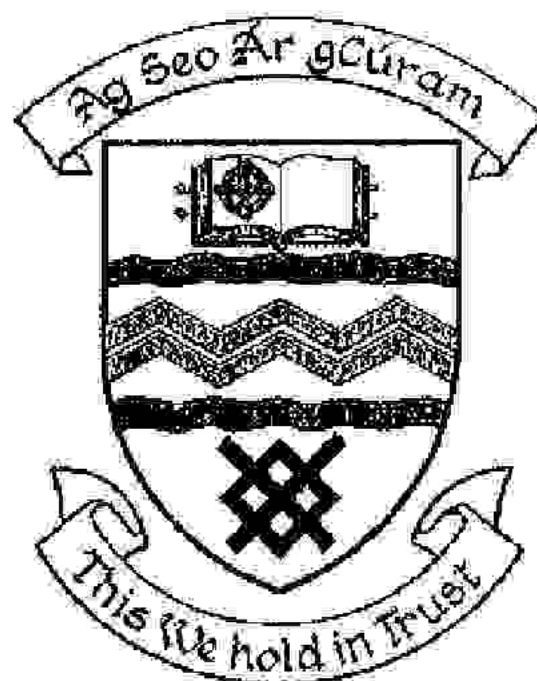
2 The applicant is required to submit full details of surface water drainage for the development. These shall include:

- A layout showing the location of all proposed drains, sewers, gullies, petrol interceptors, manholes and AJs within the site. This shall be in compliance with Part H of the 1997 Building Regulations and shall clearly show pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
- A longitudinal section of the surface water drainage clearly showing pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.
- All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.
- Design calculations for the surface water drainage layout which should indicate the impervious roads areas contributing to runoff separately from that contributing from housing.
- Surface water discharges from the site shall be limited to a maximum discharge of 6 litres per second per hectare of site area. The applicant shall submit details indicating surface water attenuation facilities (i.e. storage ponds or other such facility) and flow control mechanism necessary to limit surface water discharges based on a rainfall intensity for a 20 year return period, of 2 hour duration. Details to include discharge calculations, pipe sizes, invert levels and gradients, manhole locations, required storm water storage volume, location of storm water storage area together with a cross section of the storm water storage area showing details of both inlets and outlets. Details of proposed flow control mechanisms to limit surface water discharges to the equivalent of 6 litres per second per hectare shall also be submitted.
- Full and complete separation of foul and surface

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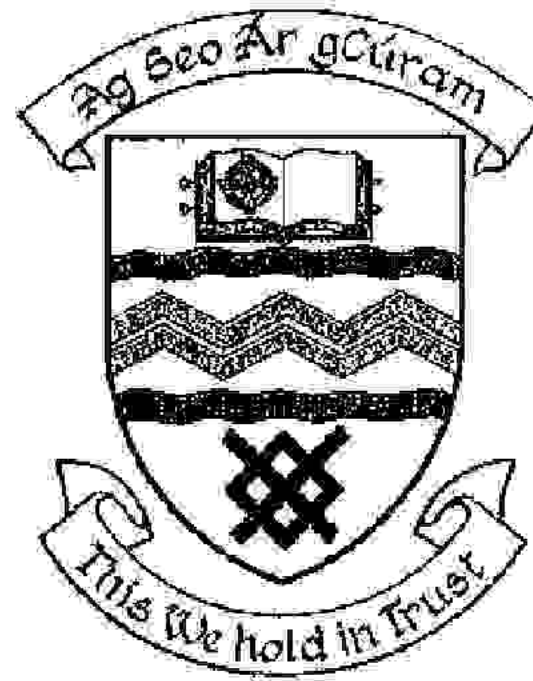
water systems.

- 3 The applicant is required to submit full details of the watermains for the development. These shall include:
- A detailed watermain layout for the development. The layout shall clearly show watermain size, valve, meter and hydrant location, and proposed point of connection to the existing watermain. The layout to be in accordance with Part B of 1997 Building Regulations.
 - Each property shall have its own individual service connection and 24hr storage.
 - Apartments of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.
- 4 The applicant is requested to submit a revised site layout (drawn to a scale of 1:500) which provides a more balanced distribution of car parking provision within the scheme. In this regard, the applicant shall note that the level of provision proposed in the immediate vicinity of units 1-15 is excessive. In the vicinity of units 26-43 and 69-88, the level of provision is seriously deficient. In overall terms, the Planning Authority require a higher level of car parking provision within the scheme. The applicant may need to give serious consideration to reducing the number of units in order to achieve a more satisfactory level of provision and distribution of spaces.
- Furthermore, the Roads Department require that parking does not take place on the inside of bends in order to avoid interfering with visibility.
- The applicant is advised to consult with the Council's Roads Planning Section prior to the submission of additional information regarding this and the following item.
- 5 The revised layout required by no.4 above should allow for a wider footpath within the scheme to minimise the effect of parked cars oversailing the kerb.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S00A/0889

- 6 The applicant is requested to give consideration to
increasing the depth of the rear "patio" areas to 4m.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

20/02/01