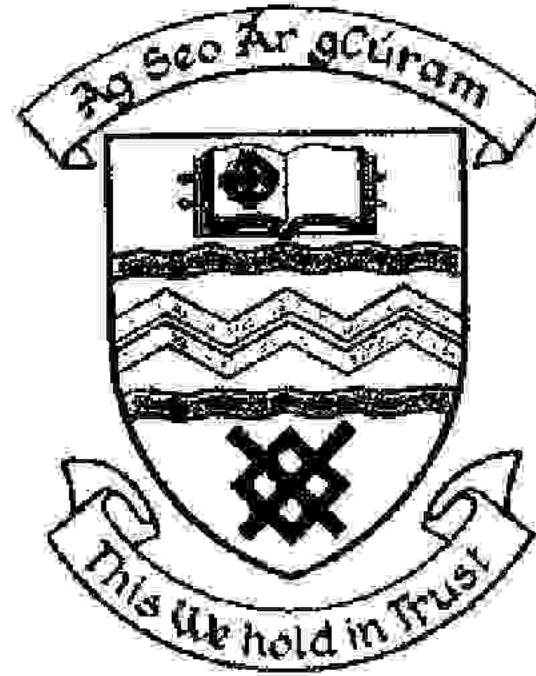


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0891	
1. Location	111 St. James Road, Greenhills, Dublin 12.		
2. Development	Attached house at side, a front tiled roof extension and porches, tiled roof extensions at rear, new driveway and dishing of footpath.		
3. Date of Application	21/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 14/03/2001 2.
4. Submitted by	Name: P. Murtagh, Address: 31 St. Killian's Avenue, Greenhills,		
5. Applicant	Name: Mrs. M. White, Address: 111 St. Jame's Road, Greenhills, Dublin 12.		
6. Decision	O.C.M. No. 0975 Date 10/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2217 Date 21/06/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			
14. Registrar Date Receipt No.			

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P. Murtagh,
31 St. Killian's Avenue,
Greenhills,
Dublin 12.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2217	Date of Final Grant 21/06/2001
Decision Order Number 0975	Date of Decision 10/05/2001
Register Reference S00A/0891	Date 14/03/01

Applicant Mrs. M. White,

Development Attached house at side, a front tiled roof extension and porches, tiled roof extensions at rear, new driveway and dishing of footpath.

Location 111 St. James Road, Greenhills, Dublin 12.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

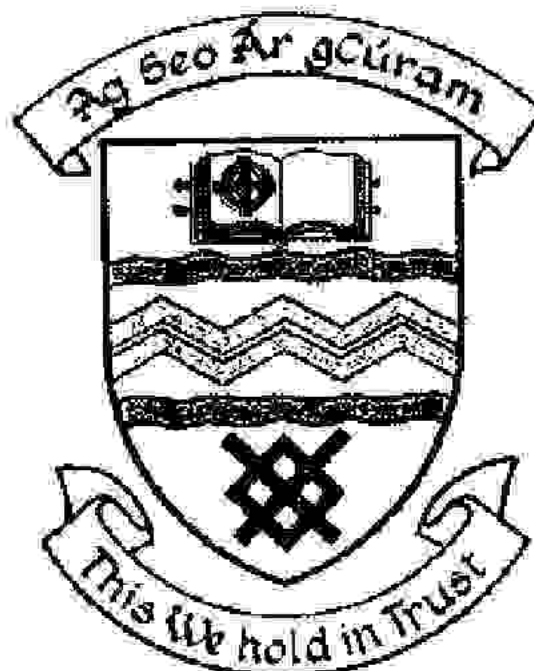
Additional Information Requested/Received /14/03/2001

A Permission has been granted for the development described above,
subject to the following (12) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by Additional Information received 14/03/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 4 That an acceptable house numbering scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed houses.
REASON:
In the interest of the proper planning and development of the area.
- 5 At least one third of the front garden area of the proposed and existing development shall be retained as green space or landscaped area.
Reason: In the interest of the protection of residential amenity, the maintenance of visual amenity and the proper planning and development of the are.
- 6 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 7 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.

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- 8 The applicant shall comply with the requirements of the Environmental Services Department with regard to the following ;
- (a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (b) Applicant to ensure full and complete separation of foul and surface water systems.
 - (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (d) Any drains that run under proposed buildings shall comply with the Building Regulations 1997 Technical Guidance Document H (Drainage and Wastewater Disposal). Measures shall be taken to protect surface water drain including constructing foundations beneath the level of the drain bed.
 - (e) The proposed development shall provide its own individual service connection to the public watermain and 24hour storage.
 - (f) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Act, 1878-1964, in the interest of public health and the proper planning and development of the area.

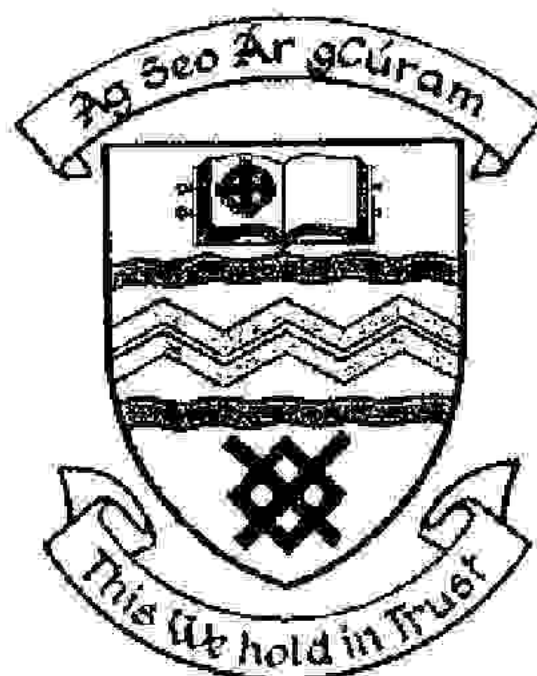
- 9 The applicant shall comply with the requirements of the Roads Department, SDCC, with regard to the following ;
- (a) Footpath and kerb to be dished and the new driveway constructed for both existing/proposed house to the satisfaction of the Area Engineer, Roads Maintenance
 - (b) Relocation of Yield sign/pole to be at applicant's own expense if necessary.
 - (c) Alterations to Eircom manhole cover to be at applicant's own expense if necessary.
 - (d) Alteration to side gully to be at applicant's own expense if necessary.

REASON:

In the interest of the proper planning and development of the area.

- 10 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty

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two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £2,100 (two thousand and one hundred pounds) EUR 2,666 (two thousand and six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

22/06/01
for SENIOR ADMINISTRATIVE OFFICER