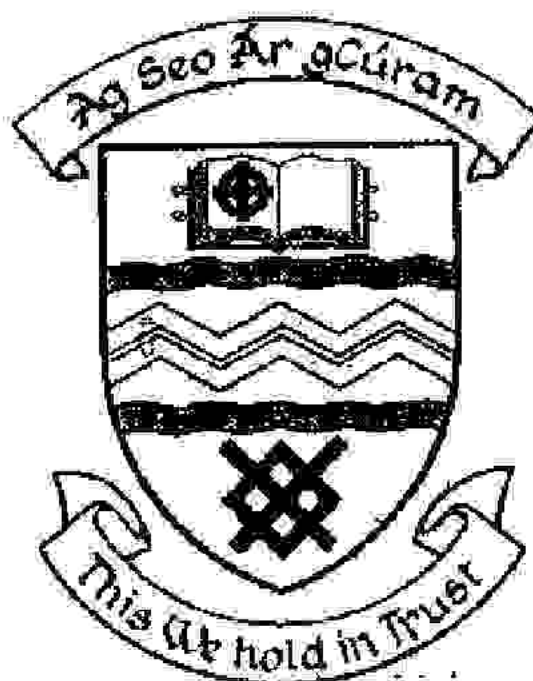


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S00A/0903	
1. Location	Unit F, Fonthill Industrial Park, Fonthill Rd, D.22		
2. Development	Single storey extension of 752 sq.m. to the existing building including ancillary, carparking and loading area.		
3. Date of Application	21/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Traynor O'Toole Partnership Address: 49 Upper Mount Street, Dublin 2.		
5. Applicant	Name: National Linen Ltd. Address: Unit F, Fonthill Industrial Park, Fonthill Rd, D.22		
6. Decision	O.C.M. No. 0384  Date 19/02/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0731  Date 06/04/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. .... Registrar	..... Date	..... Receipt No.	

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Traynor O'Toole Partnership  
49 Upper Mount Street,  
Dublin 2.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0731	Date of Final Grant 06/04/2001
Decision Order Number 0384	Date of Decision 19/02/2001
Register Reference S00A/0903	Date 21/12/00

**Applicant** National Linen Ltd.

**Development** Single storey extension of 752 sq.m. to the existing building including ancillary, carparking and loading area.

**Location** Unit F, Fonthill Industrial Park, Fonthill Rd, D.22

**Floor Area** 2777.00 Sq Metres

**Time extension(s) up to and including**

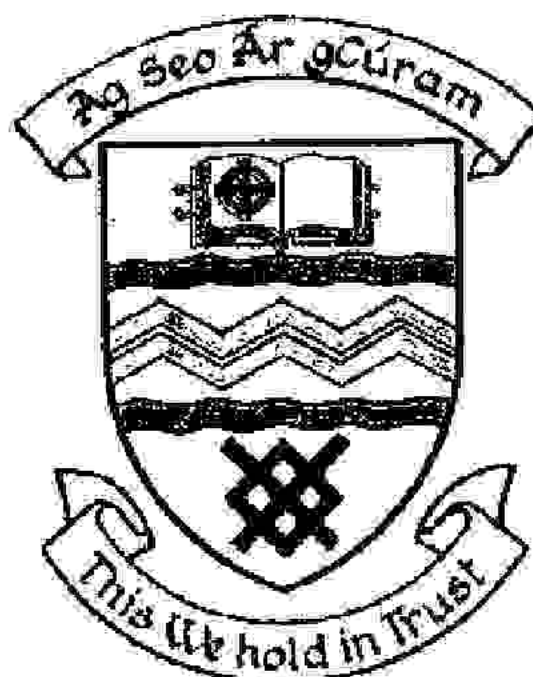
**Additional Information Requested/Received** /

A Permission has been granted for the development described above,  
subject to the following (16) Conditions.

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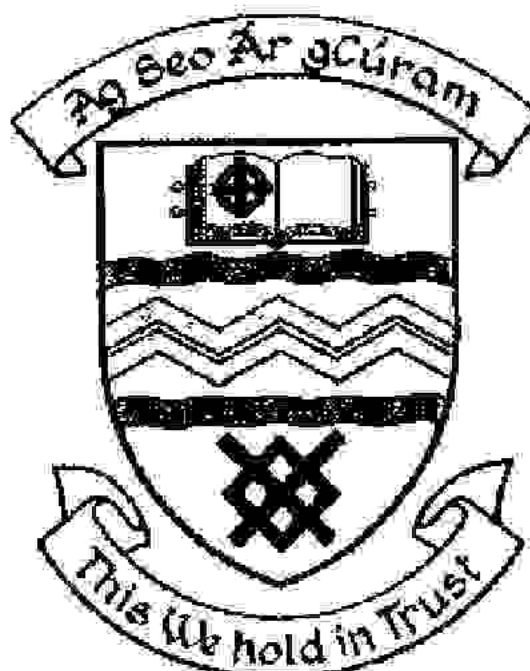
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
 REASON:  
 To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.  
 REASON:  
 In the interest of visual amenity.
- 3 The office accommodation shall be used only for purposes ancillary to the main use of the building. The proposed office accommodation shall not be used independently of the main ground floor use and no additional office floor space shall be formed within the building without a prior grant of planning permission.  
 REASON:  
 To clarify the nature of the development.
- 4 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.  
 REASON:  
 In the interest of safety and the avoidance of fire hazard.
- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.  
 REASON:  
 In the interest of health.
- 6 Full details of measures to control atmospheric emissions, shall be submitted for the written agreement of the Planning Authority, prior to development commencing.  
 REASON:  
 In the interest of the proper planning and development of the area.
- 7 Full details of landscaping and boundary treatment shall be submitted for the written agreement of the Planning Authority and work thereon completed prior to the occupation



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of the extension.

**REASON:**

In the interests of the proper planning and development of the area and the visual amenity of the area.

- 8 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

**REASON:**

In the interest of the proper planning and development of the area.

- 9 The car parking area indicated on the submitted site layout plan shall be clearly marked out and available at all times for car parking use and shall not be used for storage or display or other uses including any operation associated with the activity which shall be carried out within the building.

**REASON:**

In the interests of the proper planning and development of the area.

- 10 The noise level from the proposed development when measured outside any residence, at the boundary of any area zoned for residential use, any site for which residential development has at least outline permission, any hospital or any school shall:-

- (a) Not contain any pure tones;
- (b) Not exceed 55dB(A) 1 hour Leq between 8.00 and 18.00 hours Monday to Saturday.

A correction for impulsive character of 5dB(A) shall be added to the measured or predicted level where appropriate.

**REASON:**

In the interest of preserving the amenities of property in the vicinity.

- 11 The following environmental standards shall be complied with in full:-

- (a) During the construction/renovation phase, the proposed development shall comply with British Standard 5228 Noise Control in construction and open sites Part 1 as well as the Code of Practice;
- (b) During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack heaps,

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- netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances;
- (c) No heavy construction equipment/machinery (to include pneumatic drills, generators, etc.) shall be operated on or adjacent to the construction site before 08.00 hr on weekdays and 09.00hr. on Saturdays nor after 18.00 hr. on weekdays and 13.00hr. on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.

**REASON:**

In the interest of the proper planning and development of the area.

- 12 The applicant shall provide covered bicycle parking facilities, in addition to lockers and changing facilities.

**REASON:**

To encourage bicycle use by staff in the interest of sustainable development.

- 13 Before development commences, the applicant shall submit for agreement by the Planning Authority the following foul drainage details:

(a) Information on the typical volume of foul effluent generated in the development. This shall give current typical flows, distinguishing between process effluent and other domestic (kitchen, toilet etc.) and detailed estimates for the flows expected by the proposed extension.

(b) calculations and relevant information to show that the proposed foul drainage infrastructure will have the capacity to cater for the peak flows from the new development.

**REASON:**

In the interest of public health.

- 14 The applicant shall ensure the following requirements of the Environmental Services Department are satisfied in the development:

(a) the full and complete separation of foul and surface water systems.

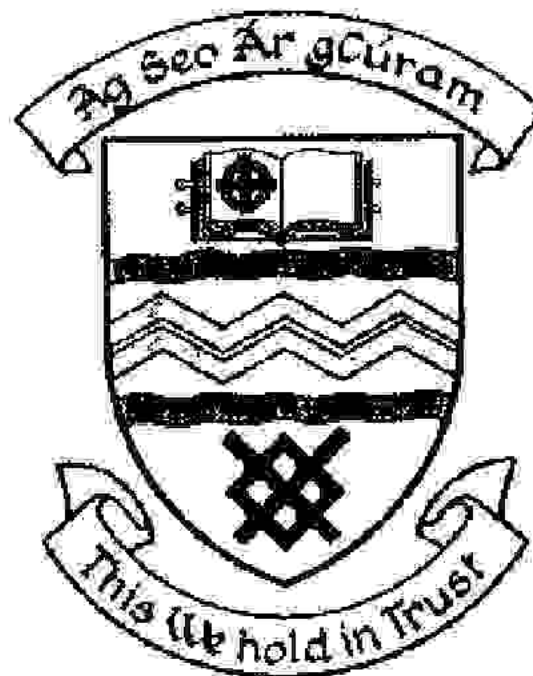
(b) no building shall lie within 5m of a public sewer or a sewer with the potential to be taken in charge.

(c) no discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department a licence under Section 16 of the Water Pollution Acts 1977-1990.

(d) all surface water runoff from vehicle parking/marshalling areas shall be routed via a petrol/oil/diesel



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interceptor before discharging to the sewer.

**REASON:**

In the interest of public health.

- 15 Before development commences, the applicant shall submit for agreement by the Planning Authority the following surface water drainage details:

- (a) design calculations for the proposed extension and revised surface water drainage layout.
- (b) surface water discharges from the unit shall be limited to a maximum discharge of 6 litres per second per hectare of site area. The applicant shall submit details indicating surface water attenuation facilities (i.e. storage ponds or other such facility) and flow control mechanism necessary to limit surface water discharges based on a rainfall intensity for a 20 year return period of 2 hour duration. Details to include discharge calculations, pipe sizes, invert levels and gradients, manhole locations, required storm water storage volume, location of storm water storage area together with a cross-section of the storm water storage area showing details of both inlets and outlets. Details of proposed flow control mechanism to limit surface water discharges to the equivalent of 6 litres per second per hectare shall also be submitted.
- (c) the applicant shall clarify the outfall location of the 300mm diameter overflow from SW MH F5 shown on drawing No. 0149/005.

**REASON:**

In the interest of public health.

- 16 Before development commences, the applicant shall submit for agreement by the Planning Authority the following details in relation to water supply:

- (a) information on the typical water usage by the development. This shall give current typical flows, distinguishing between process water and domestic water (kitchen, toilet etc.) and detailed estimates for the flows expected by the proposed extension, including both daily and peak water demand.
- (b) calculations/information to show that the proposed watermain infrastructure will have the capacity to cater for the peak demand by the new development.

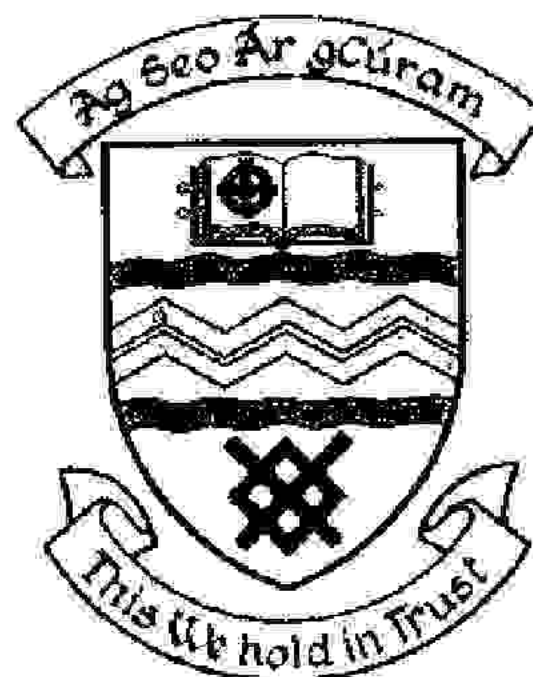
**REASON:**

To ensure an adequate water supply to serve the proposed development.

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- 
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
  - (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
  - (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
  - (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

...*JK*.....09/04/01  
for SENIOR ADMINISTRATIVE OFFICER