

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S00A/0907
1. Location	Willsbrook Woods with access off existing roundabout at Willsbrook Woods and Elmbrook, Lucan, Co. Dublin.	
2. Development	Residential development of 96 units consisting of 80 No. 2-3 bed town houses and 8 No. 3 bed duplex units over 8 No. 2 bed apartments including all associated site development works, open spaces and car parking on site of circa 6.4 acres with on lands.	
3. Date of Application	22/12/00	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2.
4. Submitted by	Name: Fenton-Simons Ltd., Address: 29 Fitzwilliam Place, Dublin 2.	1. 2.
5. Applicant	Name: Fitzbiggon Brothers Ltd., Address: Bishopstown, Cork.	1. 2.
6. Decision	O.C.M. No. 0434 Date 23/02/2001	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. 0731 Date 06/04/2001	Effect AP GRANT PERMISSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal

14.

Registrar

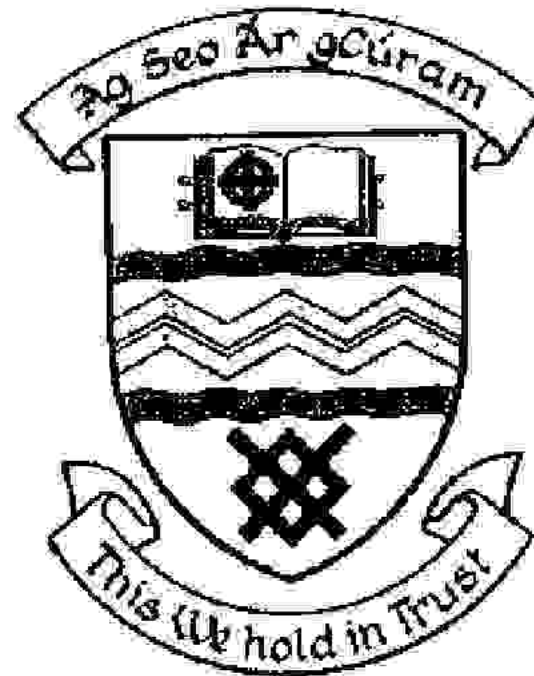
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Date

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Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
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Fenton-Simons Ltd.,
29 Fitzwilliam Place,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0731	Date of Final Grant 06/04/2001
Decision Order Number 0434	Date of Decision 23/02/2001
Register Reference S00A/0907	Date 22/12/00

Applicant Fitzbiggon Brothers Ltd.,

Development Residential development of 96 units consisting of 80 No. 2-3 bed town houses and 8 No. 3 bed duplex units over 8 No. 2 bed apartments including all associated site development works, open spaces and car parking on site of circa 6.4 acres with on lands.

Location Willsbrook Woods with access off existing roundabout at Willsbrook Woods and Elmbrook, Lucan, Co. Dublin.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including 27/02/2001

Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (24) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The proposed development shall adhere to the terms and conditions of permission granted under S96A/0398 as it relates to the site, save as amended by other conditions attached hereto.

REASON:

In the interest of the proper planning and development of the area.

- 3 That each house and apartment unit to be used as single dwelling units.

REASON:

To prevent unauthorised development.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 6 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

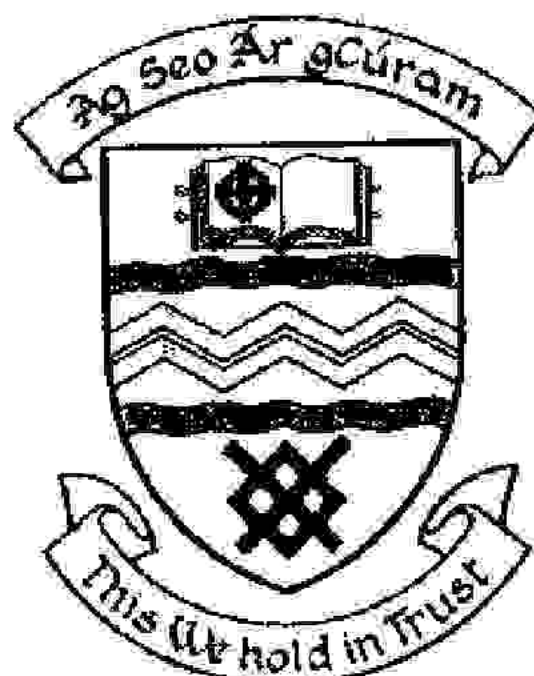
- 7 That no dwelling be occupied until all services have been connected thereto and are operational.

REASON:

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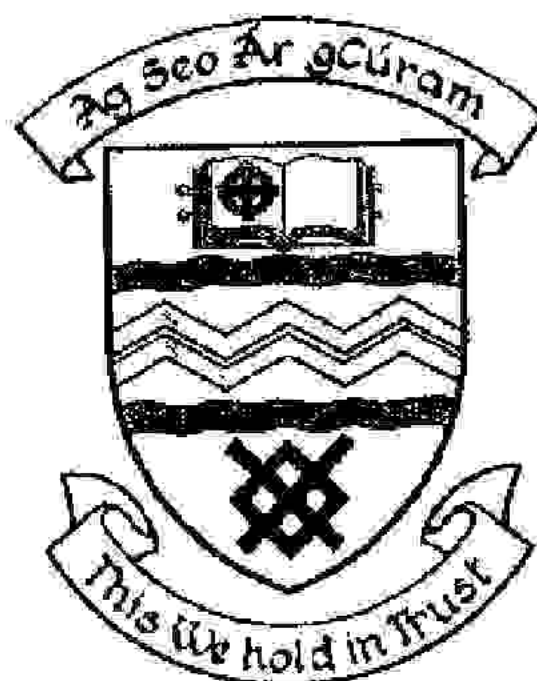
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In the interest of the proper planning and development of the area.

- 8 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
 REASON:
 In the interest of the proper planning and development of the area.
- 9 That an acceptable street naming and numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.
 REASON:
 In the interest of the proper planning and development of the area.
- 10 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.
 REASON:
 In the interest of visual amenity.
- 11 That boundary treatment to rear gardens shall comprise of robust timber panel fencing and concrete base and supports to an overall height of not less than 2 metres, except where screen walls are required in accordance with Condition no 10 above.
 REASON:
 In the interest of amenity.
- 12 Before development commences, the applicant shall submit for agreement by the Planning Authority revised foul drainage proposals to incorporate the following:

- A layout showing the location of all proposed drains, sewers, manholes and AJs within the site, including 'as constructed' drawings of Phase 1 of the development. This to be in compliance with Part H of the 1997 Building Regulations and shall clearly show pipe sizes, gradients, cover, invert and

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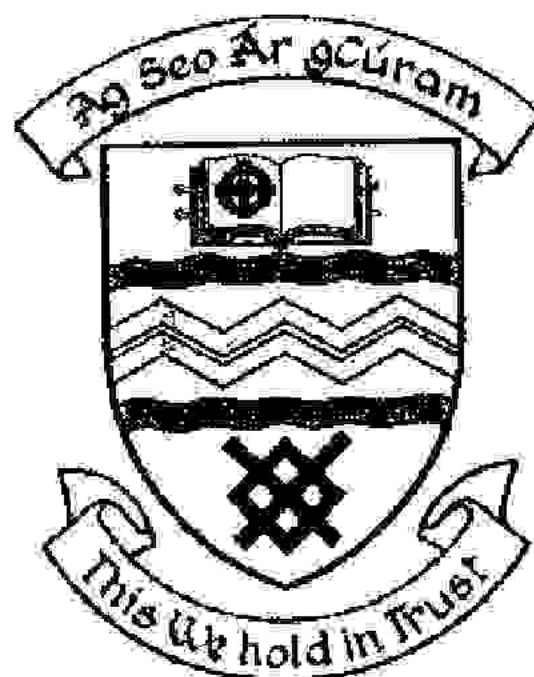
finished floor levels, up to and including connection to public sewer.

- A longitudinal section of all the foul drainage clearly showing pipe sizes.
- Design calculations for the foul drainage layout.
- The applicant is proposing to discharge to a foul sewer which is not yet in charge. In this regard he shall submit written consent from the owner of this sewer to discharge foul effluent from the development into it.
- The applicant shall ensure full and complete separation of foul and surface water systems.
- The applicant shall note that no buildings shall be erected within 5m of a public sewer or any sewer with the potential to be taken in charge.

13 Before development commences, the applicant shall submit for agreement by the Planning Authority revised surface water drainage proposals to incorporate the following:

- A layout showing the location of all proposed drains, sewers, gullies, petrol interceptors, manholes and AJs within the site, including 'as constructed' drawings of Phase 1 of development. This shall be in compliance with Part H of the 1997 Building Regulations and shall clearly show pipe sizes, gradients, cover, invert and finished floor levels, up to and including connection to public sewer.
- A longitudinal section of the surface water drainage clearly showing pipe sizes, gradients, cover and invert level, up to and including connection to public sewer.
- The applicant is proposing to discharge to a surface water sewer, which is not yet in charge. In this regard he shall submit written consent from the owner of this sewer to discharge surface water from the development into it.
- All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.
- Design calculations for the surface water drainage layout which should indicate the impervious roads areas contributing to runoff separately from the contributing from housing.
- Surface water discharges from the site shall be limited to a maximum discharge of 6 litres per second per hectare of site area. The applicant shall submit details indicating surface water

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attenuation facilities (i.e storage ponds or other such facility) and flow control mechanism necessary to limit surface water discharges based on rainfall intensity for a 20 year period, of 2 hour duration. Details to include discharge calculations, pipe sizes, invert levels and gradients, manhole locations, required storm water storage volume, location of storm water storage area together with a cross section of the storm water storage area showing details of both inlets and outlets. Details of proposed flow control mechanisms to limit surface water discharges to the equivalent of 6 litres per second per hectare shall also be submitted.

- The applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

REASON:

In the interest of health and amenity.

- 14 Before development commences, the applicant shall clarify with the Planning Authority the ownership of both the 150mm and 225mm watermains to which they are proposing to connect. Where necessary, they shall submit written consent from the owner(s) of these watermains to connect to them.

REASON:

In the interest of the proper planning and development of the area.

- 15 In relation to water supply, the following requirements of the Environmental Services Department shall be satisfied:

- Each property shall have its own individual service connection and 24hr storage.
- Buildings of 3 storeys shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

REASON:

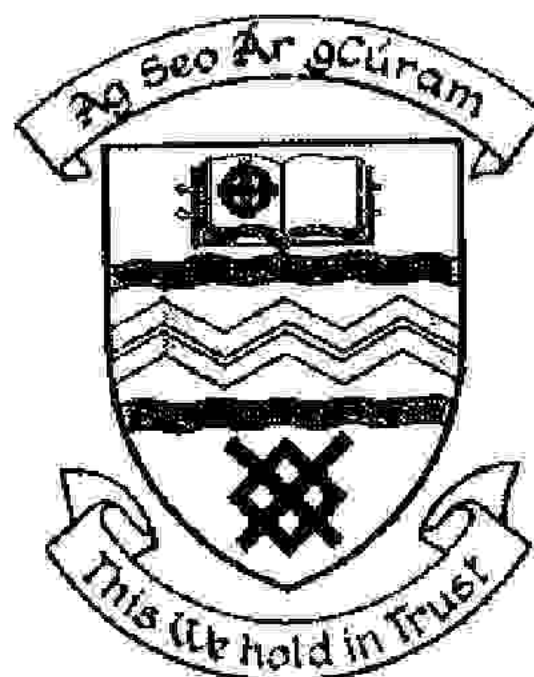
In the interest of the proper planning and development of the area.

- 16 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

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- 17 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 18 Throughout the scheme, the on street car parking layout shall be amended to incorporate additional areas of incidental landscaping in lieu of individual parking spaces. Generally, the applicant shall attempt to punctuate the parking with these landscaped areas to correspond with breaks between buildings. At least every six car parking spaces shall be punctuated in this manner. Before development commences, the applicant shall submit for agreement by the Planning Authority a revised layout in this regard.

REASON:

To reduce the dominance of surface car parking on the overall appearance of the scheme in the interest of achieving a more satisfactory development.

- 19 The following requirements of the Parks Department to be satisfied in the development:

- The existing ditch situated on the north eastern boundary to be piped, filled and regraded so as to tie in with the level of the adjoining open space at St. Andrews estate.
- The 2m high railings proposed along the southern boundary to be omitted to facilitate the retention of existing trees on site and the future linkage of open spaces at this location.
- A scheme of tree felling/surgery works based on the tree survey to be carried out prior to the commencement of works on site.

REASON:

In the interest of the proper planning and development of the area.

- 20 Prior to the commencement of work, the developer shall submit for agreement by the Planning Authority a detailed landscape plan with full works specification for the development and maintenance of the area of private and public open space. The plan to include proposals for footpaths, grass seeding, boundary treatments including the installation of bollards to prevent unauthorised parking/ access to the areas of open space, and all planting

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including street tree planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. A management agreement for the future maintenance of private open space should be submitted.

REASON:

To ensure the provision of adequate landscaping to serve the development.

- 21 The proposed location of the site compound and the exact routes of services to be marked out on site and agreed with the County Council prior to the commencement of any works.

REASON:

To minimise damage to trees and areas of open space.

- 22 That prior to development commencing full details of the proposed treatment to the site boundary to the Outer Ring Road be submitted for the written agreement of the Planning Authority, in accordance with the detailed requirements of the Parks and Landscape Services Department, South Dublin County Council.

REASON:

In the interest of amenity.

- 23 That notwithstanding the provisions of the Local Government (Planning and Development) Regulations, 2000, no extensions shall be erected to the rear of the proposed terraced houses (types A and B) unless a specific planning permission is granted by the Planning Authority or by An Bord Pleanála for such development. This condition to be brought to the attention of any proposed purchasers and included in Contracts of Sale.

REASON:

To enable effective control to be maintained, having regard to the narrow width of such houses, in the interest of residential amenity.

- 24 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No.s 3 and 4 of Register Reference S96A/0398 be strictly adhered to in respect of this development.

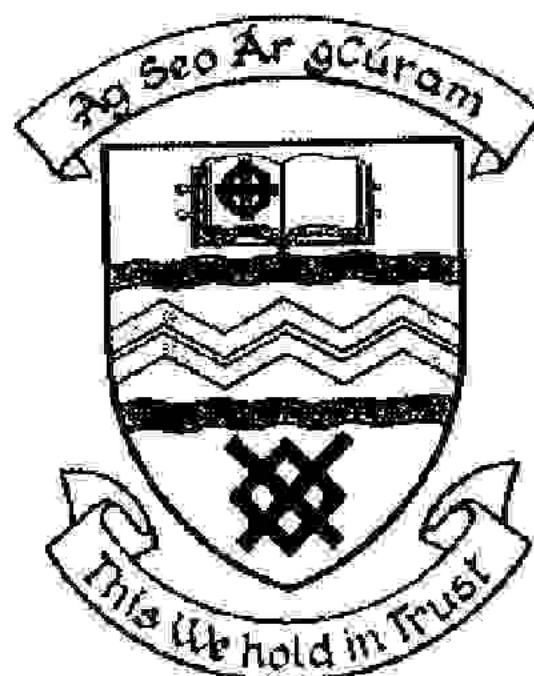
REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
 - (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
 - (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
 - (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

g.d.09/04/01
for SENIOR ADMINISTRATIVE OFFICER