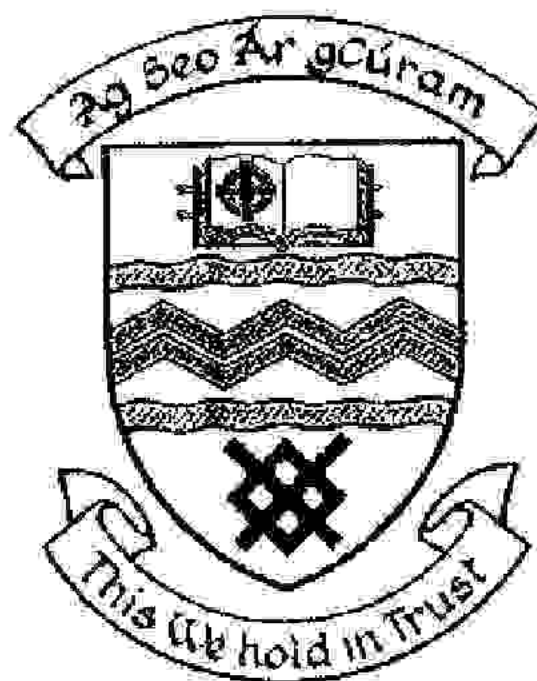


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 and Planning & Development Act 2000 and Planning Regulations Thereunder Planning Register (Part 1)	Plan Register No. S00A/0908
1. Location	Firhouse Shopping Centre, Firhouse, Dublin 24.	
2. Development	Demolition of a portion of the existing centre containing a Stock Room and erecting a four storey building with Stock Room, retail unit and foyer on ground floor, two complete floors, containing 12 2 bedroom and 4 1 bedroom apartments and penthouse level of 4 no. 2 bed apartments (revised submission 6/6/01). Total height of structure 15.3 metres, a roof garden over the existing Super Valu, use of the existing car parking by residents, temporary siting of four containers in service yard to rear for period of 12 months during construction as Stock Room, new tiled canopies, new North east, North West and South West elevation treatment.	
3. Date of Application	11-Oct-2001	Date of further particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 17-Sep-2001, 1. 2. 17-Sep-2001, 2.
4. Submitted by	Name: Gerald Cantan, Address: Unit 2 Edel House,, 51-52 Bolton Street,, Dublin 1.	
5. Applicant	Name: John Regan, Address: Supervalu, Firhouse Shopping Centre, Firhouse, Dublin 24.	
6. Decision	O.C.M. No.: 3600 Date: 10-Dec-2001	Effect: GRANT PERMISSION
7. Grant	O.C.M. No.: 2972 Date: 27-Aug-2002	Effect: GRANT PERMISSION
8. Appeal Lodged	Date: 20-Dec-2001	Appeal Type Written Evidence
9. Appeal Decision	Date: 23-Jul-2002	Appeal Decision Attach Con(s) & Remove Con(s)
10. Material Contravention		
11. Enforcement:	Compensation:	Purchase Notice:
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. _____ Registrar	_____ Date	_____ Receipt No.

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Gerald Cantan,
Unit 2 Edel House,
51-52 Bolton Street,
Dublin 1.

NOTIFICATION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1999 AND
PLANNING & DEVELOPMENT ACT, 2000

Final Grant Order No.:	2972	Date of Final Grant:	27-Aug-2002
Decision Order No.:	3600	Date of Decision:	10-Dec-2001
Register Reference:	S00A/0908	Date:	11-Oct-2001

Applicant: John Regan,

Development: Demolition of a portion of the existing centre containing a Stock Room and erecting a four storey building with Stock Room, retail unit and foyer on ground floor, two complete floors, containing 12 2 bedroom and 4 1 bedroom apartments and penthouse level of 4 no. 2 bed apartments (revised submission 6/6/01). Total height of structure 15.3 metres, a roof garden over the existing Super Valu, use of the existing car parking by residents, temporary siting of four containers in service yard to rear for period of 12 months during construction as Stock Room, new tiled canopies, new North east, North West and South West elevation treatment.

Location: Firhouse Shopping Centre, Firhouse, Dublin 24.

Floor Area:

Time extension(s) up to and including 28-Feb-2001
Additional Information Requested/Received 17-Sep-2001, /

A Permission has been granted for the development described above, subject to the following (24) conditions.

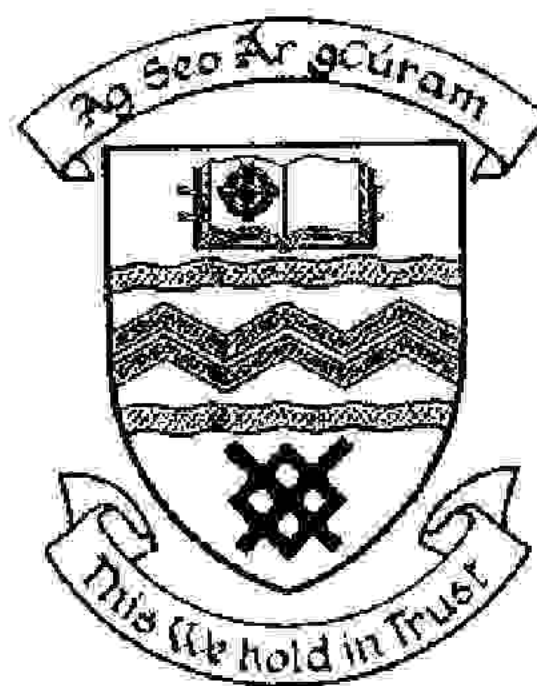
Conditions and Reasons:

1. The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 19/07/01 and Clarification of Additional Information received on 11/01/01, save as may be required by the other conditions attached hereto. REASON: To ensure that the development shall be in accordance with the permission and that effective

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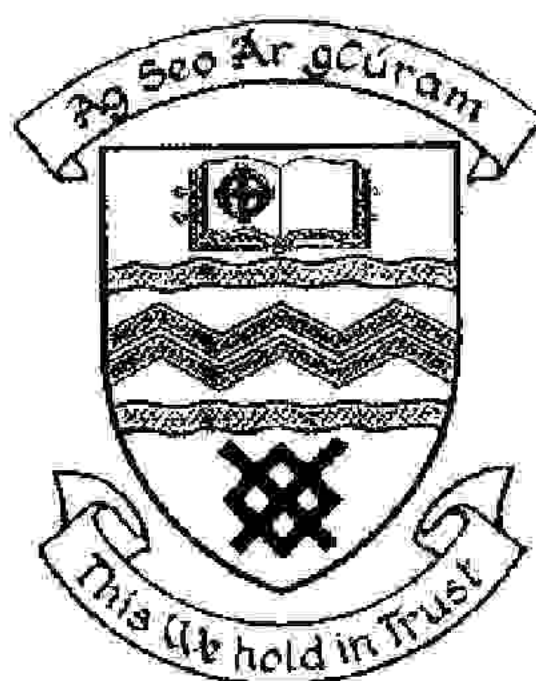
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control be maintained.

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2. One shop unit only shall be permitted in the north-east elevation adjacent to the entrance foyer to the permitted apartments. Prior to the commencement of development, the applicant shall submit revised drawings for the proposed development indicating this amendment for the written agreement of the Planning Authority. REASON: In the interest of the proper planning and development of the area.
3. Each apartment shall be used as a single dwelling unit. REASON: In the interest of the proper planning and development of the area.
4. Prior to the commencement of works on site, the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Department for written agreement a detailed Landscape Plan, Bill of Quantities and detailed Specification for the landscape treatment of the car park, roof garden, etc. All landscape works shall be completed prior to the occupation of the proposed units. REASON: In the interest of the proper planning and development of the area.
5. Prior to commencement of development the applicant shall submit for the written agreement of the Planning Authority draft 'Management Agreement' for the long-term maintenance of the proposed roof garden and landscaping scheme and for the general maintenance and control of the site. REASON: In the interest of the proper planning and development of the area.
6. Prior to commencement of development the applicant shall agree with the Parks Department and submit to the Planning Department for their written agreement detailed proposals for improvements to the boundary of the site along the Firhouse Road. REASON: In the interest of the proper planning and development of the area.
7. That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works. REASON: To protect the amenities of the area.
8. That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site. REASON: In the interest of amenity.
9. No apartment shall be occupied until all the services have been connected thereto and are operational. REASON: In the interest of the proper planning and development of the area.
10. That an acceptable complex and apartment naming and numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed

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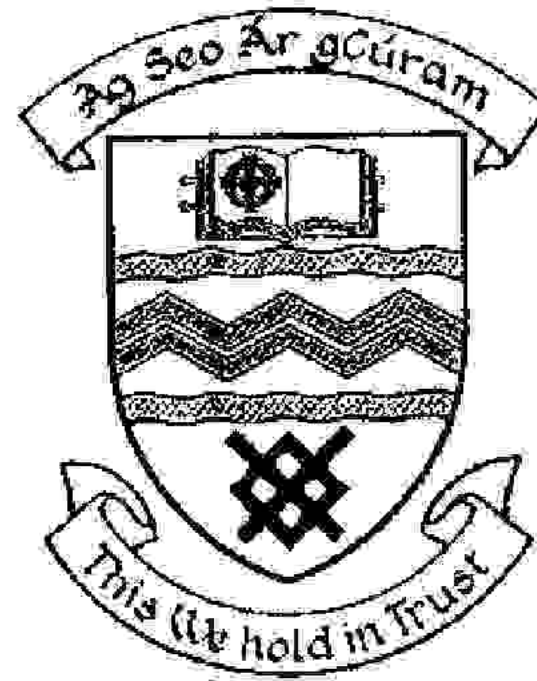
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units. REASON: In the interest of the proper planning and development of the area.

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11. That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development. REASON: In the interest of safety and the avoidance of fire hazard.
12. That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal. REASON: In the interest of the proper planning and development of the area.
13. The applicant shall submit details and samples of proposed materials and finishes to be used in the proposed development prior to the commencement of development. REASON: In the interests of visual amenity.
14. The applicant shall satisfy the following requirements of the Environmental Services Department: with respect to drainage arrangements:- . No new buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge. . The applicant shall ensure full and complete separation of foul and surface water systems. . All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick. . All wastewater from kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer. . All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the sewer. REASON: In the interest of public health.
15. The applicant shall satisfy the following requirements of the Environmental Services Department in relation to Water provision. . Each property shall its own individual service connection and 24hr water storage. . Commercial units shall be metered. . Apartments of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units. . No building to lie within 5m of public watermain less than 225mm diameter and within 8m of public watermain greater than 225mm diameter. . The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense. REASON: In the interest of public health.
16. The existing steel palisade fencing forming the side boundary of the car park for Block C, shall be removed and replaced with a dwarf wall with railings above to a total height not exceeding 2.5m. Details of the foregoing and any other proposed boundary treatment shall be submitted for the written agreement of the Planning Authority prior to the commencement of development. REASON: In the interest of amenity.

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17. That the arrangements made with regard to the payment of financial contributions and
lodgement of security in respect of the overall development, as required by Condition No's. 12,
13, 14 and 16 of Register Reference S98A/0568 and Condition No's. 6, 7, 8 and 9 of An Bord
Pleanala Order No. PL.06S.117080 (S99A/0590) be strictly adhered to in respect of this
development. REASON: It is considered reasonable that the developer should contribute
towards the cost of providing services and to ensure that a ready sanction may be available to
the Council to induce the provision of services and prevent disamenity in the development.

18. This condition was removed by An Bord Pleanala Reference No. PL. 06S.127915 dated 23rd
July 2002.

That financial contributions to be determined by the Planning Authority on submission of
detailed plans per Condition 2 be paid by the applicant to South Dublin County Council in
respect of public services, road improvement and traffic management, Boherboy Water Supply
Scheme and the Dodder Valley Catchment Improvement works in relation to the proposed
shop unit; these contributions to be paid before the commencement of development on site.
REASON: It is considered reasonable that the developer should contribute towards the
expenditure that was incurred and/or that is proposed to be incurred by the Council on the
provision of services in the area which will facilitate the proposed development.

19. This condition was attached by decision of An Bord Pleanala Reference PL06S.127915 dated
23rd July 2002.

That a financial contribution in the sum of £14,400 (fourteen thousand four hundred pounds)
EUR 18,284 (eighteen thousand two hundred and eighty four euros) be paid by the proposer to
South Dublin County Council towards the cost of provision of public services in the area of
the proposed development and which facilitate this development; this contribution to be paid
before the commencement of development on the site. REASON: The provision of such
services in the area by the Council will facilitate the proposed development. It is considered
reasonable that the developer should contribute towards the cost of providing the services.

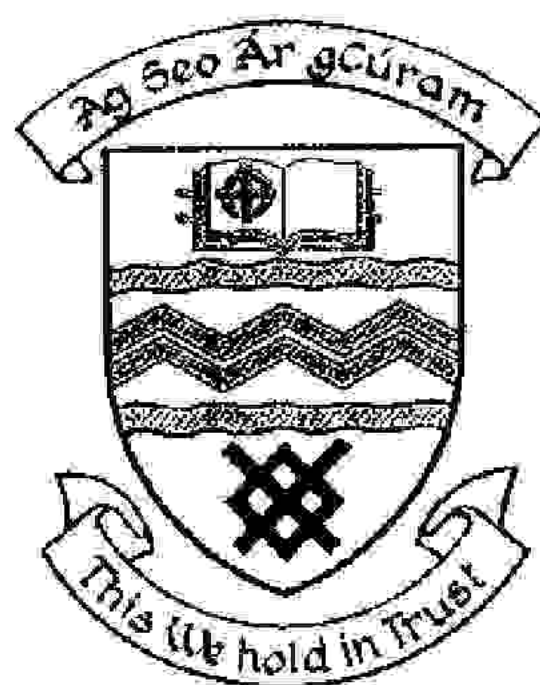
20. This condition was attached by decision of An Bord Pleanala Reference PL06S.127915 dated
23rd July 2002.

That a financial contribution in the sum of £37,800 (thirty seven thousand eight hundred
pounds) EUR 47,996 (forty seven thousand nine hundred and ninety six euros) shall be paid by
the proposer to South Dublin County Council towards the cost of roads improvements and
traffic management in the area of the proposed development and which facilitates this
development; this contribution to be paid before the commencement of development on the
site. REASON: It is considered reasonable that the developer should contribute towards the

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expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development. E-Mail: planning.dept@southdubco.ie

21. That a financial contribution in the sum of £13,500 (thirteen thousand five hundred pounds) EUR 17,141 (seventeen thousand one hundred and forty one euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site. REASON: It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.
22. This condition was attached by decision of An Bord Pleanála Reference PL06S.127915 dated 23rd July 2002.

That a financial contribution in the sum of £12,148 (twelve thousand one hundred and forty eight pounds) EUR 15,425 (fifteen thousand four hundred and twenty five euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

23. This condition was attached by decision of An Bord Pleanála Reference PL06S.127915 dated 23rd July 2002.

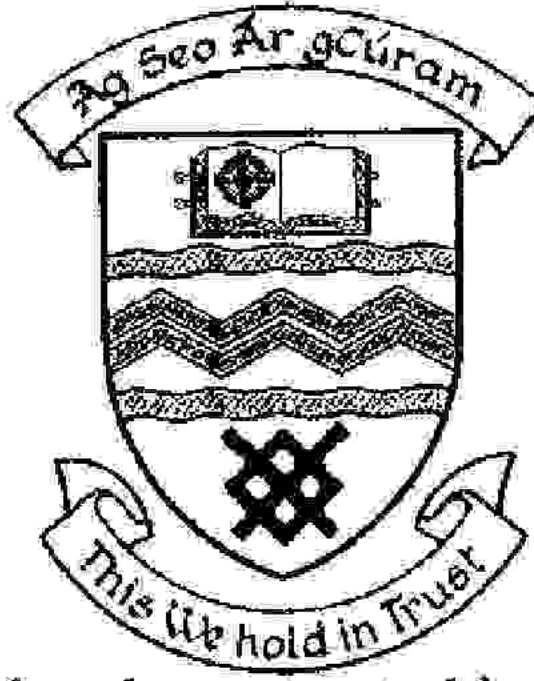
That a financial contribution in the sum of £20,572 (twenty thousand five hundred and seventy two pounds) EUR 26,121 (twenty six thousand one hundred and twenty one euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development. REASON: The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

24. Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £20,000 (twenty thousand pounds) EUR 25,395 (twenty five thousand three hundred and ninety five euros), a bond of an Insurance Company of £30,000 (thirty thousand pounds) EUR 38,092 (thirty eight thousand and ninety two euros), or other security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development. REASON: To ensure the satisfactory completion of the development.

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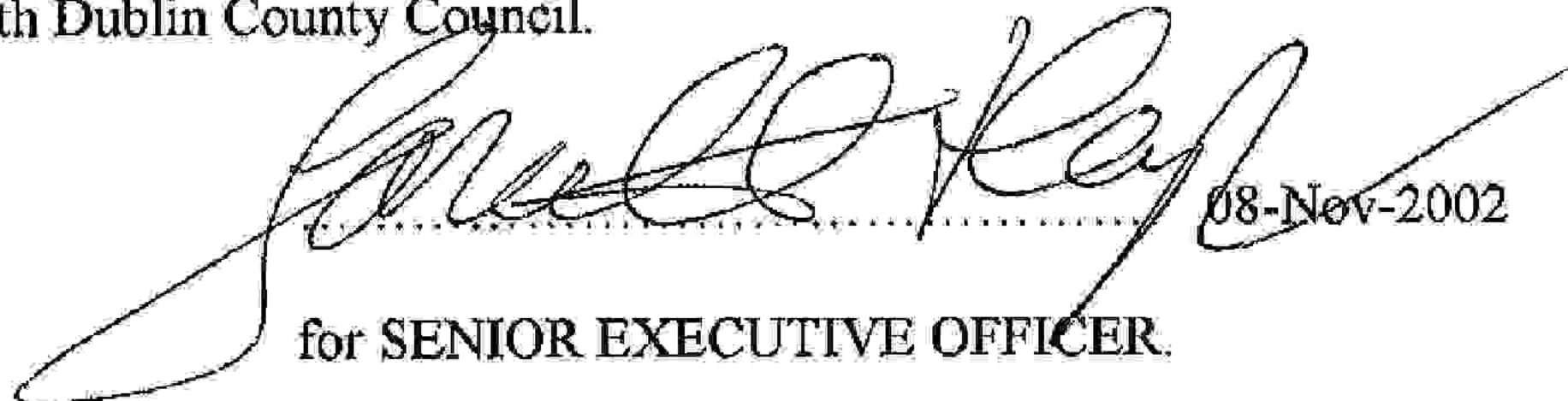


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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997. E-Mail: planning.dept@sdublincoco.ie
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of reinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.


08-Nov-2002
for SENIOR EXECUTIVE OFFICER.