

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No. S00A/0912	
1. Location	Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.		
2. Development	4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097		
3. Date of Application	22/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 21/02/2001 2.	1. 13/08/2001 2.
4. Submitted by	Name: Fenton Simons Ltd. Address: 29 Fitwilliam Place, Dublin 2.		
5. Applicant	Name: Rockbriar Ltd. Address: Ballymount House, Ballymount Rd, Kingswood, D.24		
6. Decision	O.C.M. No. 0346 Date 13/02/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0657 Date 28/03/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

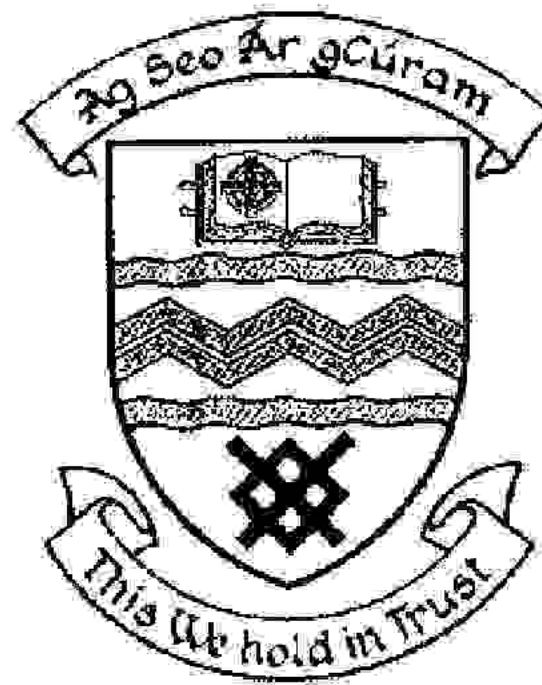
14.

Registrar

Date

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

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Fenton Simons Ltd.
29 Fitwilliam Place,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0657	Date of Final Grant 28/03/2002
Decision Order Number 0346	Date of Decision 13/02/2002
Register Reference S00A/0912	Date 13/08/01

Applicant Rockbriar Ltd.

Development 4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097

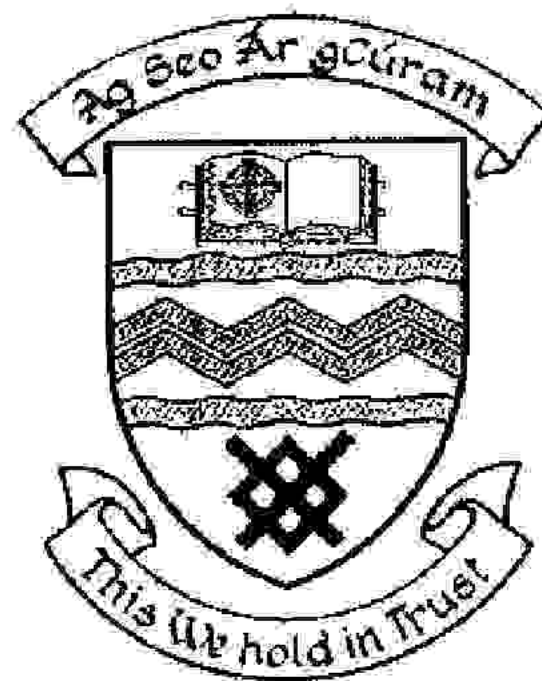
Location Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.

Floor Area 0.00 Sq Metres
Time extension(s) up to and including 15/02/2002
Additional Information Requested/Received 21/02/2001 /13/08/2001

A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 13/08/01 and Unsolicited Additional Information received on 19/12/01, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

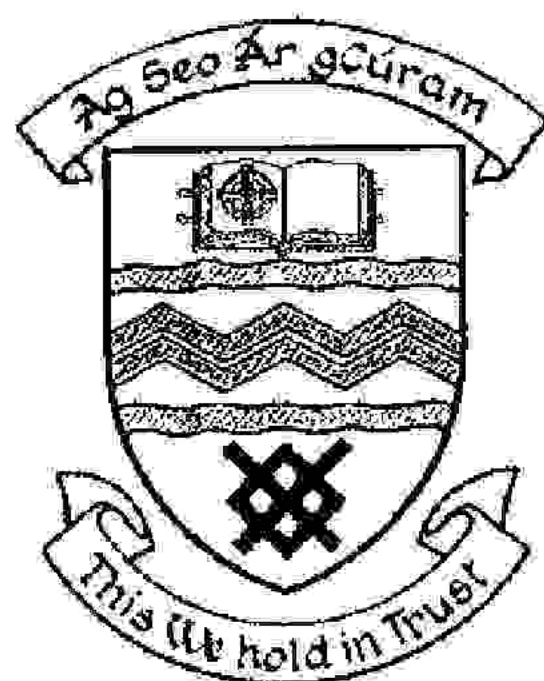
- 2 The proposed development shall otherwise strictly accord with the terms and conditions of the grant of planning permission ref.reg.S95A/0097.

REASON:

In the interest of the proper planning and development of the area.

- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:-
 - i) All sewers with the potential to be taken in charge shall be a minimum of 225mm in diameter, not closer than 5m to the nearest building and be located in roads, footpaths or public open space.
 - ii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - iv) Prior to the commencement of development the applicant shall submit for approval to the Water Services Area Engineer (Deansrath Depot: 457 0784) a revised watermain layout for the proposed development. The layout and the provision of the proposed watermain shall comply with Part B of the 1997 Building Regulations Technical Guidance Documents. The watermain shall be a minimum of 100mm in diameter. No part of any building shall be closer than 5m to the watermain or more than 46 m from the nearest hydrant. The new watermain shall be looped or interconnected, to facilitate self-cleansing, rather than terminating in duckfoot hydrants.
 - v) Each property shall have its own individual service connection to the public watermain and 24hour storage.
 - vi) The connection to and tapping of public watermains shall

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be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 4 The requirements of the Roads Department shall be strictly adhered to. In this respect:
 - i) The site boundary shall be set back to the Road Reservation line. The reservation line shall be set out on site and agreed in writing with the Roads Engineer, Roads Planning Division prior to commencement of development.
 - ii) The area of land between the Reservation line and the existing road boundary shall be kept free of development.
 - iii) The applicant shall construct a boundary wall along the reservation line for the extended Tallaght By-Pass. Prior to the commencement of development the applicant shall submit drawings and details of said boundary wall for the written approval of the Planning Authority.

REASON:

In the interest of traffic safety and the proper planning and development of the area.

- 5 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 6 That public lighting be provided throughout the site prior to any of the residential units being occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 7 That no residential unit be occupied until all the services have been connected thereto and are operational.

REASON:

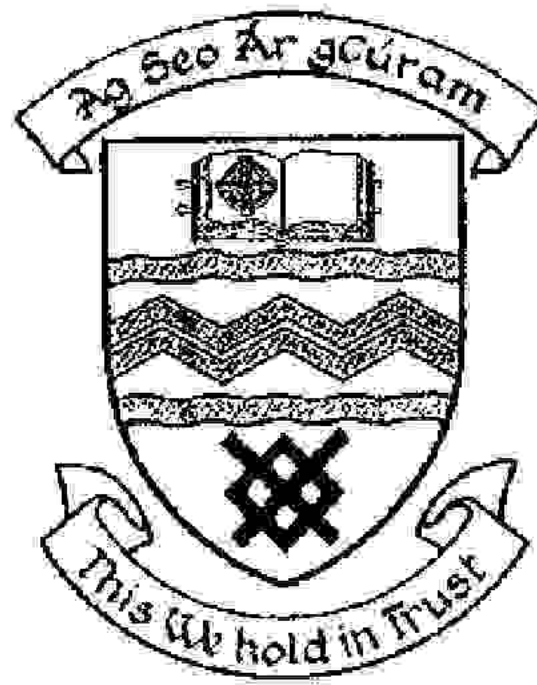
In the interest of the proper planning and development of the area.

- 8 That an acceptable apartment numbering/naming scheme be submitted to and approved by the South Dublin County Council

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REG REF. S002/01/12

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before any constructional work takes place on the proposed units.

REASON:

In the interest of the proper planning and development of the area.

- 9 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 11 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 12 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 13 Roof tiles shall be dark in colour, while render shall be painted in a pale colour.

REASON:

In the interest of visual amenity.

- 14 The requirements of the Parks and Landscape Services Department shall be strictly adhered to in this respect:

- i) Precise details regarding the treatment of the southern and western boundaries of the site and the boundary between the areas of private open space shall be agreed with the Parks and Landscape Department prior to the commencement of any works on site.
- ii) Prior to the commencement of works on site the developer shall agree with the Parks and Landscape Services Department and submit to the Planning

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REG. REF. S008/004

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Department a detailed landscape plan with full works specification for the development of the public and private open spaces within the development. This plan shall include grading, topsoiling, seeding, paths, drainage, boundary treatment, planting and street tree planting. These works shall be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department.

- iii) The developer shall submit a 'Management Plan' and 'Agreement' for the long-term maintenance of the private open space and planting. This area shall be maintained by a properly constituted Landscape Management Company, evidence of which shall be submitted to the Planning Department, for the approval of this department prior to the commencement of works on site.

REASON:

In the interest of amenity and the proper planning and development of the area.

- 15 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No's. 3 and 29 of Register Reference S95A/0097 (An Bord Pleanála Order No. PL.06S.098035) and Condition No's. 8, 9 and 10 of Reg. Ref. S98A/0393 be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

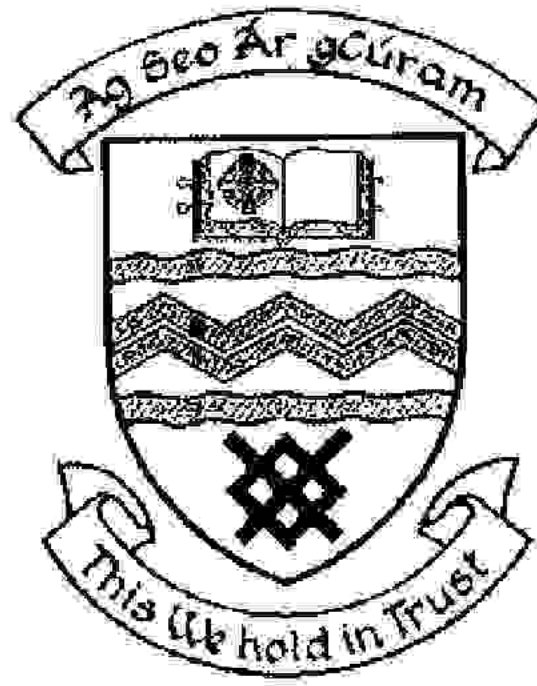
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced

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REG REF. S001/02/0001 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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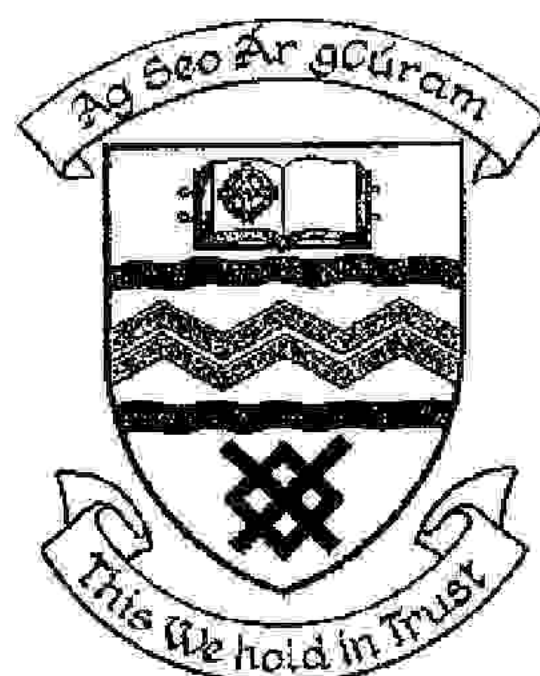
Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....28/03/02
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0346	Date of Decision 13/02/2002
Register Reference S00A/0912	Date: 22/12/00

Applicant Rockbriar Ltd.

Development 4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097

Location Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.

Floor Area Sq Metres


Time extension(s) up to and including 15/02/2002

Additional Information Requested/Received 21/02/2001 /13/08/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (15) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

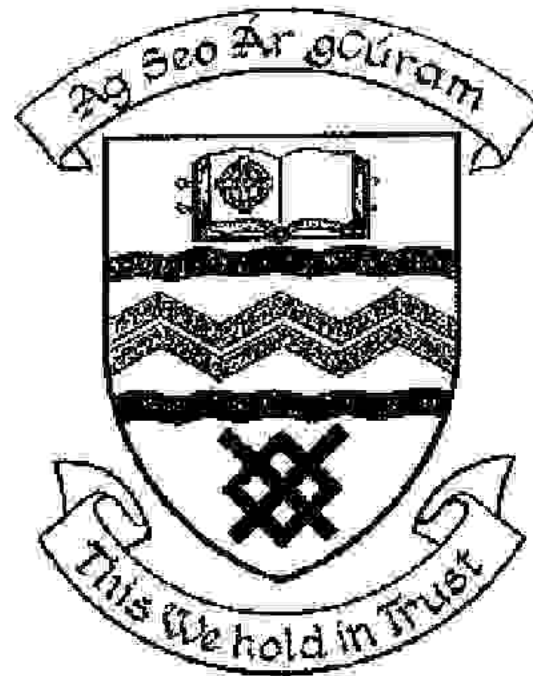

..... 14/02/02
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons Ltd.
29 Fitwilliam Place,
Dublin 2.

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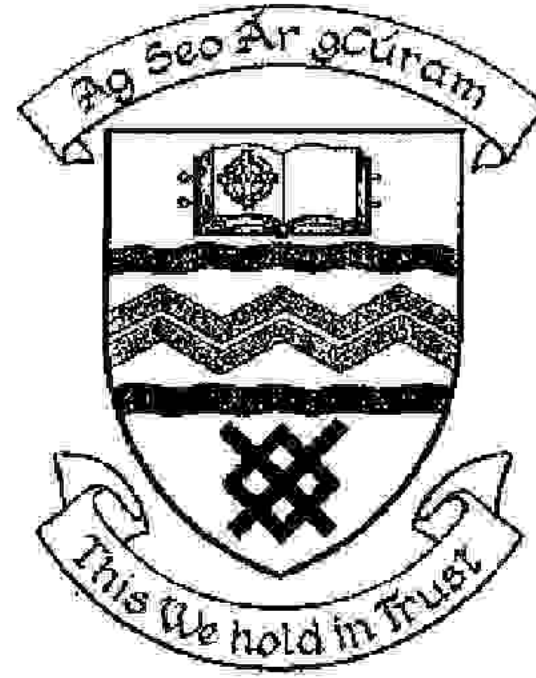
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REG REF. S00A/0912

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 13/08/01 and Unsolicited Additional Information received on 19/12/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The proposed development shall otherwise strictly accord with the terms and conditions of the grant of planning permission ref.reg.S95A/0097.
REASON:
In the interest of the proper planning and development of the area.
- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:-
 - i) All sewers with the potential to be taken in charge shall be a minimum of 225mm in diameter, not closer than 5m to the nearest building and be located in roads, footpaths or public open space.
 - ii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - iv) Prior to the commencement of development the applicant shall submit for approval to the Water Services Area Engineer (Deansrath Depot: 457 0784) a revised watermain layout for the proposed development. The layout and the provision of the proposed watermain shall comply with Part B of the 1997 Building Regulations Technical Guidance Documents. The watermain shall be a minimum of 100mm in diameter. No part of any building shall be closer than 5m to

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REG. REF. S00A/0912

the watermain or more than 46 m from the nearest hydrant.
The new watermain shall be looped or interconnected, to
facilitate self-cleansing, rather than terminating in
duckfoot hydrants.

v) Each property shall have its own individual service
connection to the public watermain and 24hour storage.

vi) The connection to and tapping of public watermains shall
be carried out by South Dublin County Council personnel at
the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-
1964.

4. The requirements of the Roads Department shall be strictly
adhered to. In this respect:

- i) The site boundary shall be set back to the Road
Reservation line. The reservation line shall be set
out on site and agreed in writing with the Roads
Engineer, Roads Planning Division prior to
commencement of development.
- ii) The area of land between the Reservation line and
the existing road boundary shall be kept free of
development.
- iii) The applicant shall construct a boundary wall along
the reservation line for the extended Tallaght By-
Pass. Prior to the commencement of development the
applicant shall submit drawings and details of said
boundary wall for the written approval of the
Planning Authority.

REASON:

In the interest of traffic safety and the proper planning
and development of the area.

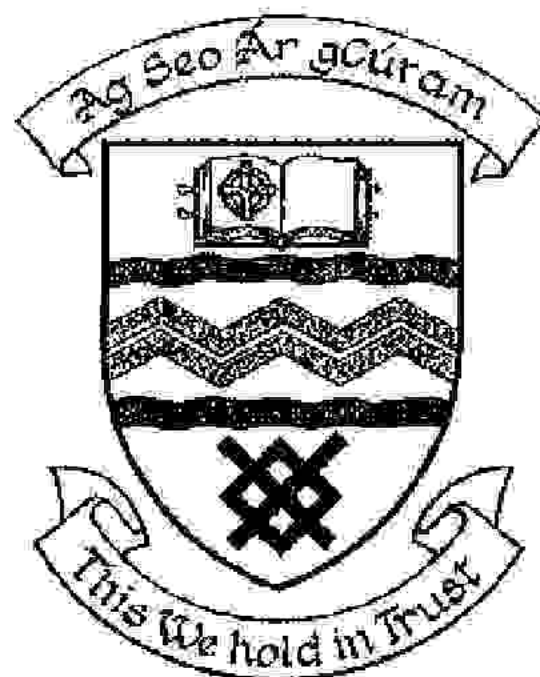
5. That all public services to the proposed development,
including electrical, telephone cables and equipment be
located underground throughout the entire site.

REASON:

In the interest of amenity.

6. That public lighting be provided throughout the site prior
to any of the residential units being occupied in accordance
with a scheme to be approved by the County Council so as to

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REG REF. S00A/0912

provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 7 That no residential unit be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 8 That an acceptable apartment numbering/naming scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed units.

REASON:

In the interest of the proper planning and development of the area.

- 9 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

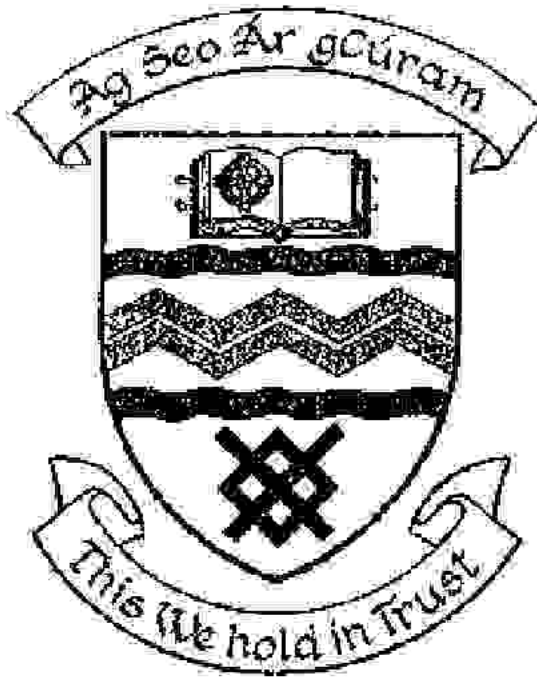
- 11 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 12 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

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REG. REF. S00A/0912

REASON:

In the interest of safety and the avoidance of fire hazard.

- 13 Roof tiles shall be dark in colour, while render shall be painted in a pale colour.

REASON:

In the interest of visual amenity.

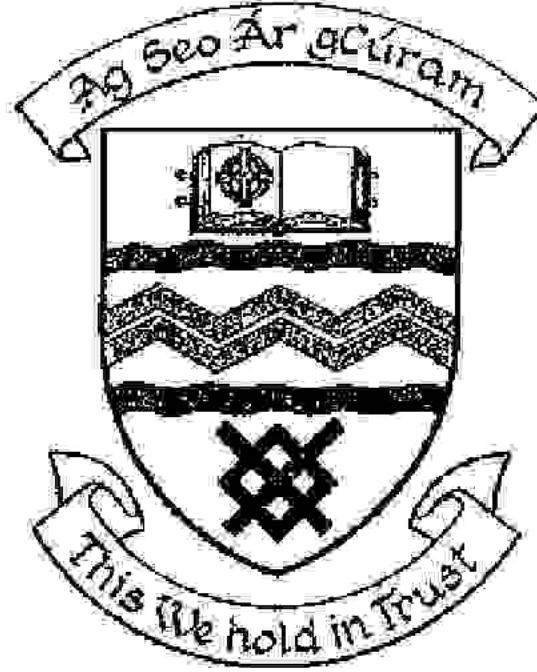
- 14 The requirements of the Parks and Landscape Services Department shall be strictly adhered to in this respect:

- i) Precise details regarding the treatment of the southern and western boundaries of the site and the boundary between the areas of private open space shall be agreed with the Parks and Landscape Department prior to the commencement of any works on site.
- ii) Prior to the commencement of works on site the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification for the development of the public and private open spaces within the development. This plan shall include grading, topsoiling, seeding, paths, drainage, boundary treatment, planting and street tree-planting. These works shall be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department.
- iii) The developer shall submit a 'Management Plan' and 'Agreement' for the long-term maintenance of the private open space and planting. This area shall be maintained by a properly constituted Landscape Management Company, evidence of which shall be submitted to the Planning Department, for the approval of this department prior to the commencement of works on site.

REASON:

In the interest of amenity and the proper planning and development of the area.

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REG REF, S00A/0912

- 15 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No's. 3, and 29 of Register Reference S95A/0097 (An Bord Pleanála Order No. PL.06S.098035) and Condition No's. 8, 9 and 10 of Reg. Ref. S98A/0393 be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that already sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0084	Date of Decision 11/01/2002
Register Reference S00A/0912	Date 22/12/00

Applicant Rockbriar Ltd.
App. Type Permission
Development 4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097

Location Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 15/02/2002

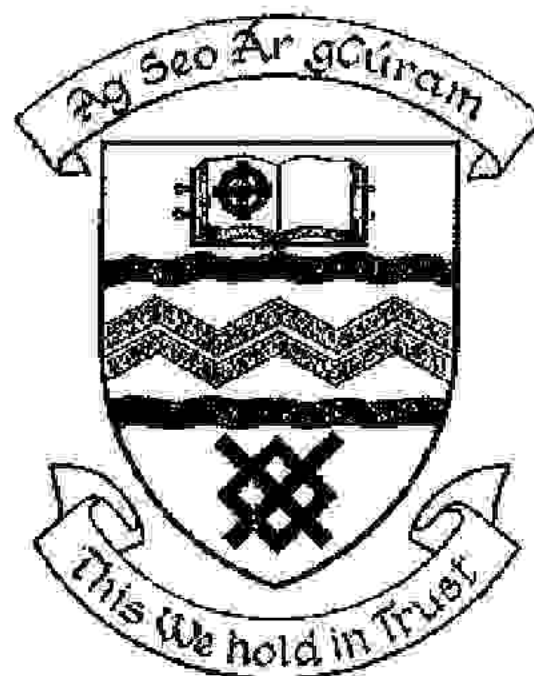
Yours faithfully

..... 11/01/02
for SENIOR ADMINISTRATIVE OFFICER

Fenton Simons Ltd.
29 Fitwilliam Place,
Dublin 2.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1993 Planning Register (Part 1)	Plan Register No. S00A/0912	
1. Location	Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.		
2. Development	4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097		
3. Date of Application	22/12/00	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Fenton Simons Ltd. Address: 29 Fitwilliam Place, Dublin 2.		
5. Applicant	Name: Rockbriar Ltd. Address: Ballymount House, Ballymount Rd, Kingswood, D.24		
6. Decision	O.C.M. No. 0426 Date 21/02/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
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Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0426	Date of Decision 21/02/2001
Register Reference S00A/0912	Date: 22/12/00

Applicant Rockbriar Ltd.
Development 4 No. 2 bed apartments in 1 No. two storey block, including all associated site works, private open space and car parking on site of previously approved 4 No. 3 bed semi detached houses adjacent to No. 91 and the Blessington Road. Previous Reg. Ref. S95A/0097

Location Development known as Hazelgrove, Blessington Road, Killinarden, Tallaght.

App. Type Permission

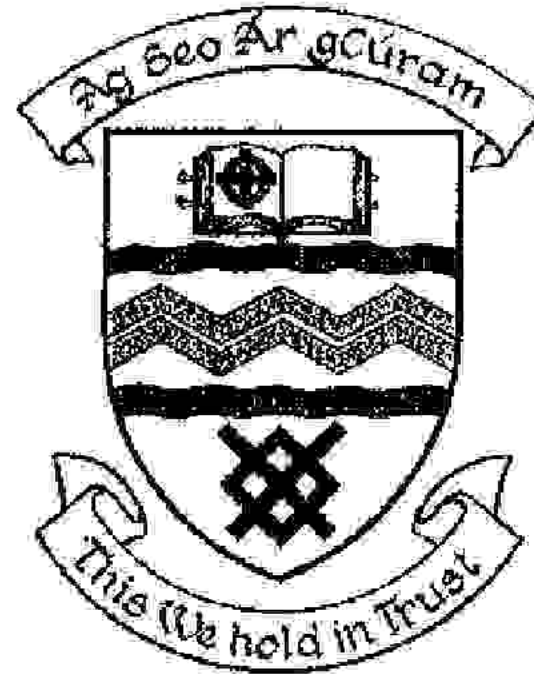
Dear Sir/Madam,

With reference to your planning application, received on 22/12/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1993, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The proposal to provide a row of 8 parking spaces to the front of the development is considered to be unacceptable. The applicant is requested to submit a revised site layout detailing revised car parking proposals, dividing the proposed parking area up into at least two separate groups of spaces with adequate landscaping of the area in between.
- 2 The applicant is requested to submit details of the provision of adequate space for refuse bins, fuel storage, clothes drying and cycle storage in accordance with Development Plan Policy. These facilities should be suitably located and adequately screened.
- 3 The applicant is requested to submit a fully detailed boundary treatment, landscaping and planting scheme, with full works specification. This plan to include grading,

Fenton Simons Ltd.
29 Fitwilliam Place,
Dublin 2.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

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REG REF. S00A/0912

topsoiling, seeding, paths, drainage, boundary treatment and planting. These works to be in accordance with South Dublin County Council's 'Guidelines for Open Space Development and Taking in Charge' available from the Parks and Landscape Services Department. The applicant is also requested to submit a management plan and 'agreement' for the long term maintenance of the private open space and planting.

- 4 The applicant has indicated that there is an existing 2m screen wall subdividing the proposed development site. The applicant is requested to clarify:
- i) What purpose does/will the said wall serve?
 - ii) What is the proposed use for the area north of the screen wall?
 - iii) Will the said area form part of the private open space for the prospective occupants of the proposed development?
 - iv) If so how is it proposed to facilitate access to the said area?
- 5 The application site is affected by the line for the Tallaght By-Pass extension, up to a maximum depth of 6.5m, which has not been correctly shown on the site layout map. The applicant is requested to submit a revised site layout map accurately setting out the reservation line of the proposed bypass extension.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

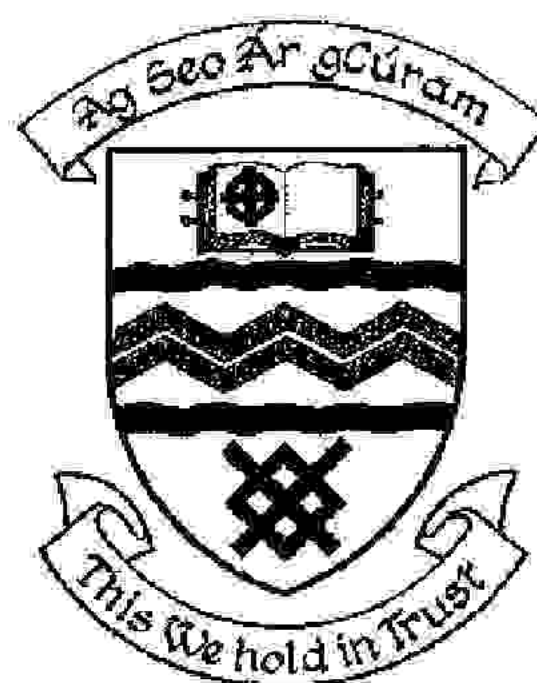
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SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0262	Date of Decision 31/01/2002
Register Reference S00A/0910	Date 22/12/00

Applicant Fairleigh Ltd.,
App. Type Permission
Development Reduction of the approved two storey licensed premises (Plan Reg. Ref. S96A/0014) to one storey, the addition of storage and additional car parking at a new basement level, new offices in three blocks each, 3, 4 and 5 stories above the remaining ground floor licensed premises.

Location Monastery Road, at the Red Cow Roundabout, Clondalkin, Dublin 22.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 30/06/2002

Yours faithfully

 05/02/02
for SENIOR ADMINISTRATIVE OFFICER

John O'Neill & Associates,
3 Irishtown Road,
Dublin 4.