

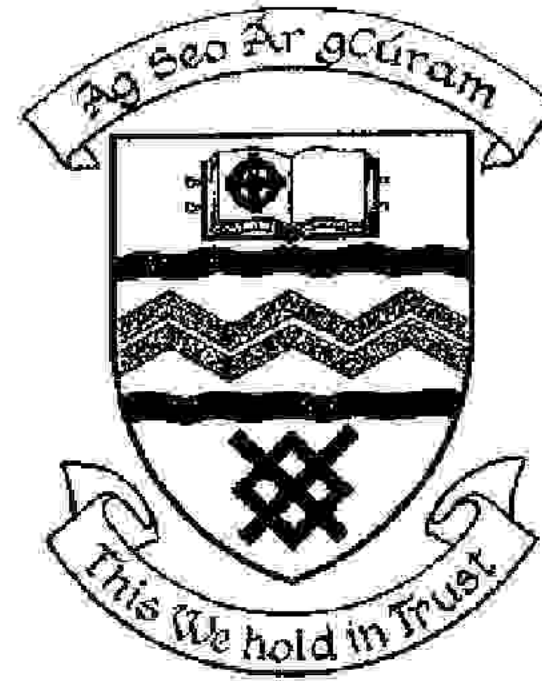
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0047/C1	
1. Location	No. 33A Monalea Grove, Firhouse, Dublin 24.		
2. Development	Erect a 2-storey four bed detached dwelling  Compliance re Condition No's. 3 and 8.		
3. Date of Application	25/06/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Compliance with Conditions	1.  2.	1.  2.
4. Submitted by	Name: John Quinn, Address: 13 Walkinstown Parade, Dublin 12.		
5. Applicant	Name: John Quinn Address: 13 Walkinstown Parade, Dublin 12.		
6. Decision	O.C.M. No. Date	Effect	
7. Grant	O.C.M. No. Date	Effect	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. .... Registrar	..... Date	..... Receipt No.	

M.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

Telefon: 01-414 9000  
Facs: 01-414 9104



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DEPARTMENT**  
County Hall,  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 0919	Date of Decision 03/05/2001
Register Reference S01A/0047	Date: 01/02/01

Applicant John Quinn

Development Erect a 2-storey four bed detached dwelling

Location No. 33A Monalea Grove, Firhouse, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 27/02/2001 /07/03/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 18 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

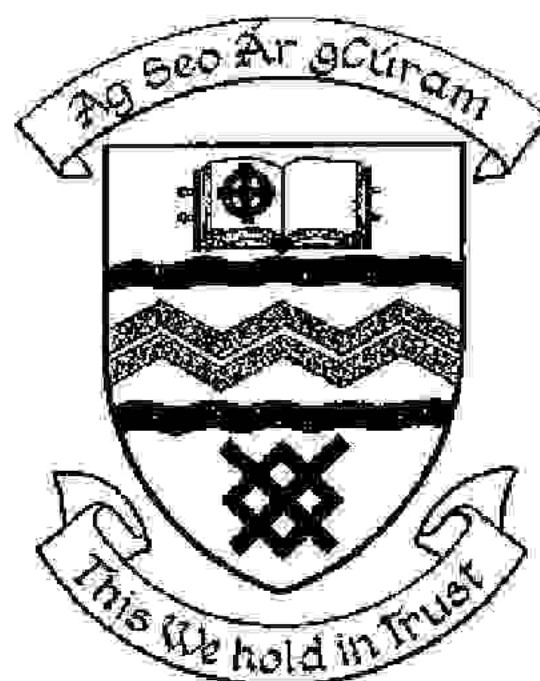
..... 03/05/01  
for SENIOR ADMINISTRATIVE OFFICER

John Quinn,  
13 Walkinstown Parade,  
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REG REF, S01A/0047

**Conditions and Reasons**

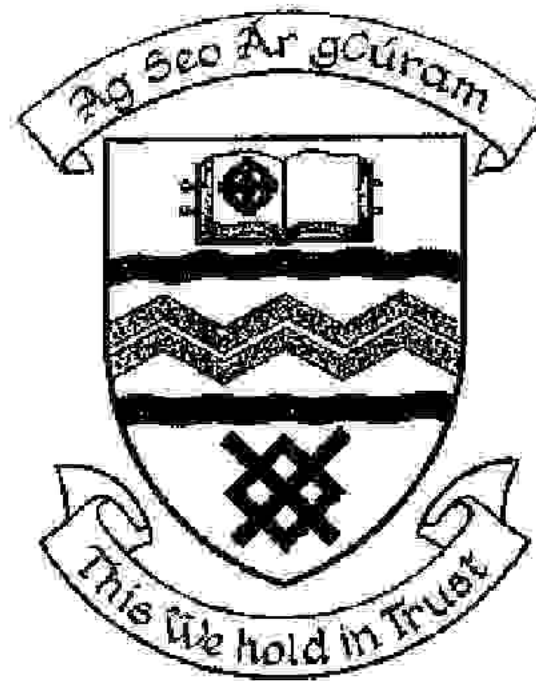
- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 Prior to the commencement of development, the applicant shall submit revised front elevation drawings for the proposed dwelling omitting the first floor bay window and pitched roof over and replacing it with a flat window. A pitched roof shall be shown over the ground floor bay window.  
REASON:  
In the interest of visual amenity.
- 4 That all external finishes harmonise in colour and texture with the existing premises.  
REASON:  
In the interest of visual amenity.
- 5 The footpath and kerb shall be dished and the new driveway constructed to the satisfaction of the Area Engineer, Roads Maintenance.  
REASON:  
In the interests of public safety.
- 6 The applicant shall satisfy the following requirements of the Environmental Services Department.
  - (i) The applicant shall ensure the full and complete separation of foul and surface water systems.
  - (ii) No building shall lie within 5m of a public foul sewer or a public surface water sewer or any sewer with the potential to be taken in charge.
  - (iii) All pipes shall be laid with a minimum cover of 1.2m



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- in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (iv) The property shall provide its own individual service connection to the public watermain and individual 24hour storage.
- (v) The connection and tapping of the Council's watermains are to be carried out by South Dublin County Council Personnel at the applicants prior expense.

REASON:

In the interest of public health.

- 7 The existing boundary wall to the side of the site facing onto Ballycullen Road shall not be removed or re-aligned until planning permission to do so has been granted.

REASON:

In the interests of the proper planning and development of the area.

- 8 Details of boundary treatment, including landscaping shall be submitted to and approved by the Planning Authority prior to the commencement of development.

REASON:

In the interest of residential and visual amenity.

- 9 The proposed window at first floor level in the western elevation of the dwelling shall be constructed of obscured glazing.

REASON:

In order to protect residential amenity.

- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

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- 11 All public services to the proposed dwelling including electrical, telephone cables and equipment shall be located underground throughout the entire site.

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In the interest of the proper planning and development of the area.

- 12 The dwellinghouse shall not be occupied until all services have been connected thereto and are operational.

REASON:

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- 13 The applicant shall take due care and attention to ensure the preservation and protection of the existing street tree located on the margin outside the house. In this regard, no excavation is to take place within the canopy of the tree and no materials of any kind - including oil, tar, bitumen, cement, rubble and excavated materials likely to be injurious to the tree, should be permitted within 2 metres of its base.

REASON:

In the interest of the amenity of the area.

- 14 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

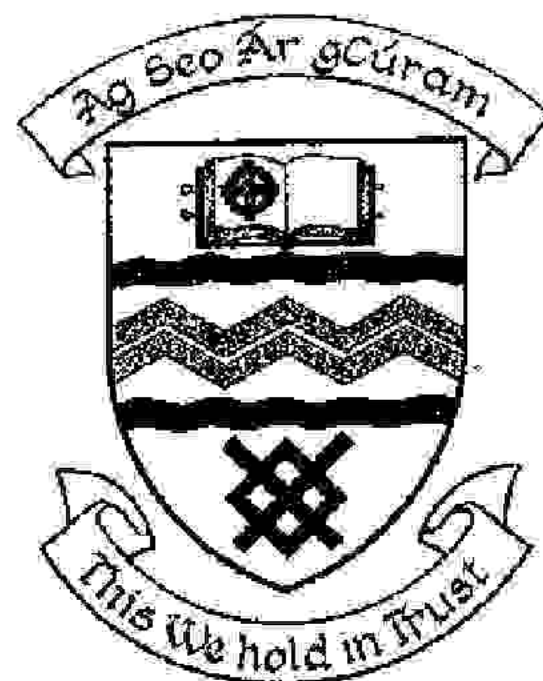
- 15 That a financial contribution in the sum of £2,100 (two thousand and one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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- 16 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 17 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

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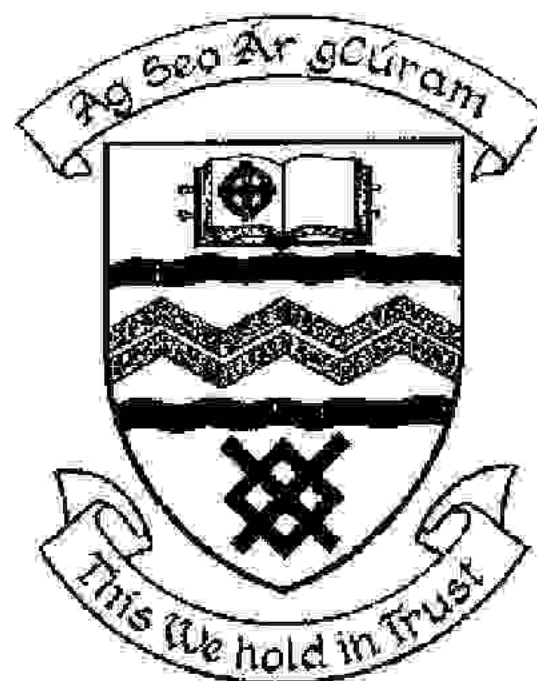
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
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Decision Order Number 0919	Date of Decision 03/05/2001
Register Reference S01A/0047	Date: 01/02/01

Applicant John Quinn

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Location No. 33A Monalea Grove, Firhouse, Dublin 24.

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Time extension(s) up to and including

Additional Information Requested/Received 27/02/2001 /07/03/2001

Clarification of Additional Information Requested/Received /

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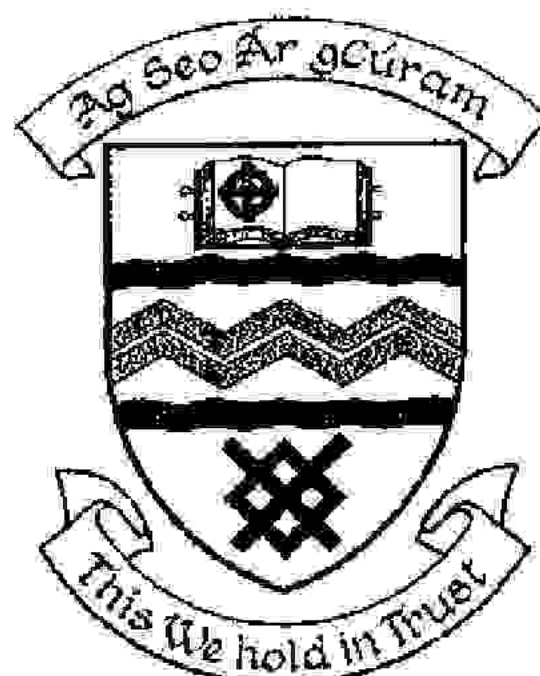
John Quinn,  
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**Conditions and Reasons**

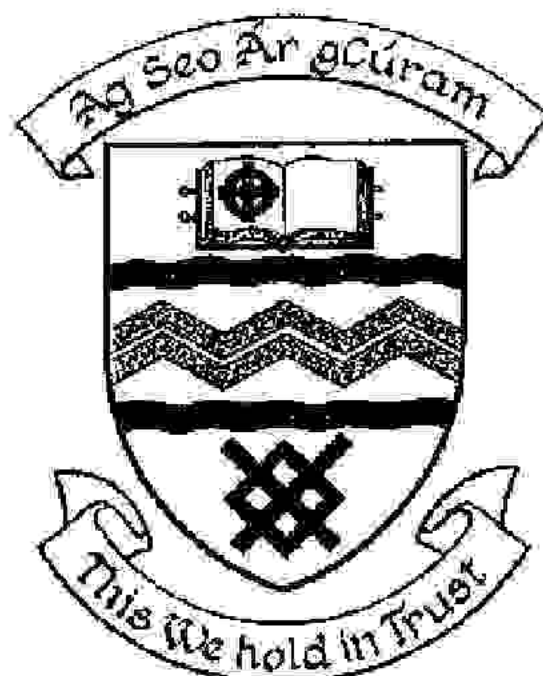
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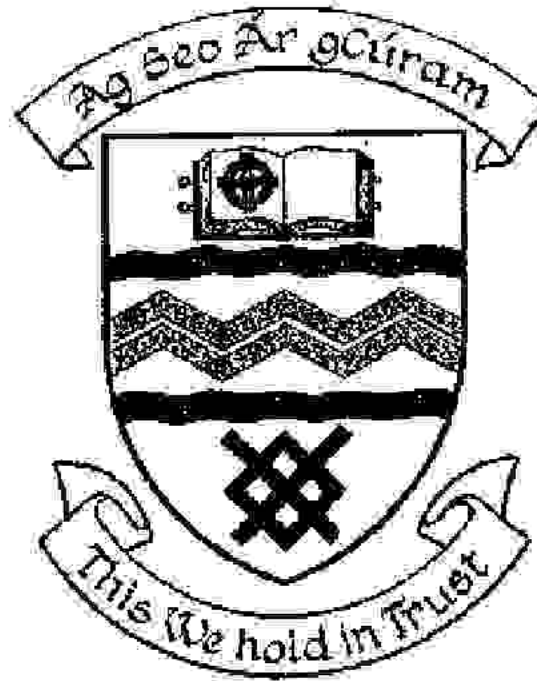
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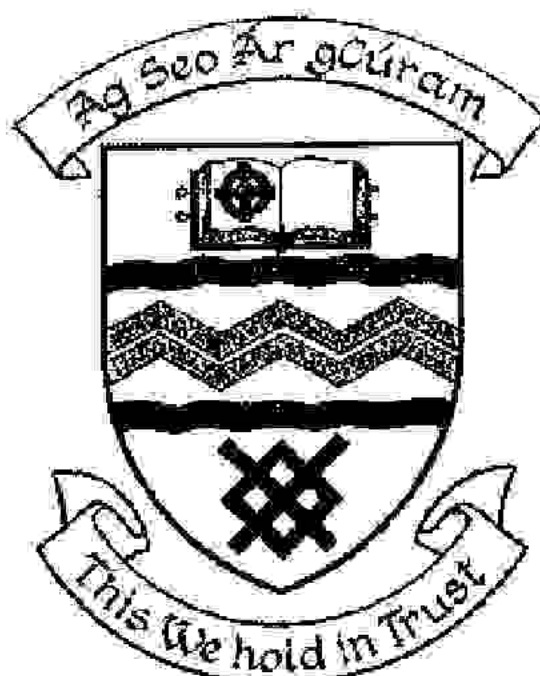
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- 18 That an acceptable name/house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0047	
1. Location	No. 33A Monalea Grove, Firhouse, Dublin 24.		
2. Development	Erect a 2-storey four bed detached dwelling		
3. Date of Application	01/02/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 27/02/2001 2.	1. 07/03/2001 2.
4. Submitted by	Name: John Quinn, Address: 13 Walkinstown Parade, Dublin 12.		
5. Applicant	Name: John Quinn Address: 13 Walkinstown Parade, Dublin 12.		
6. Decision	O.C.M. No. 0919  Date 03/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2187  Date 19/06/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
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12. Revocation or Amendment			
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14. Registrar Date Receipt No.			



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John Quinn,  
13 Walkinstown Parade,  
Dublin 12.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2187	Date of Final Grant 19/06/2001
Decision Order Number 0919	Date of Decision 03/05/2001
Register Reference S01A/0047	Date 07/03/01

**Applicant** John Quinn

**Development** Erect a 2-storey four bed detached dwelling

**Location** No. 33A Monalea Grove, Firhouse, Dublin 24.

**Floor Area** 0.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 27/02/2001 /07/03/2001

A Permission has been granted for the development described above,  
subject to the following (18) Conditions.

**SOUTH DUBLIN COUNTY COUNCIL**  
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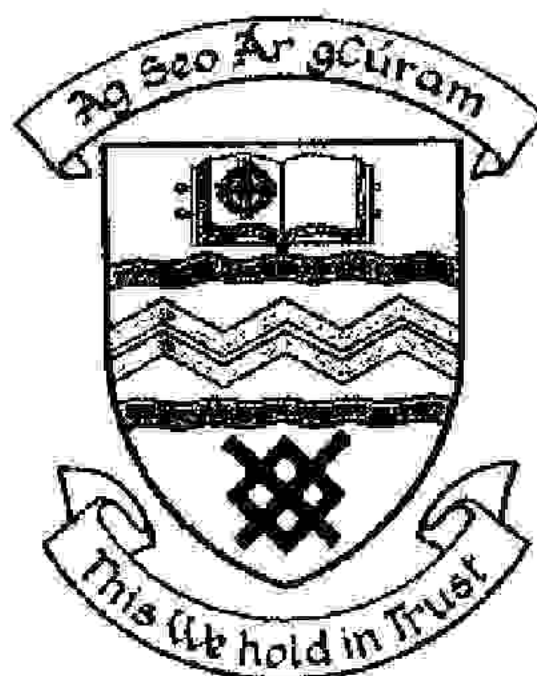
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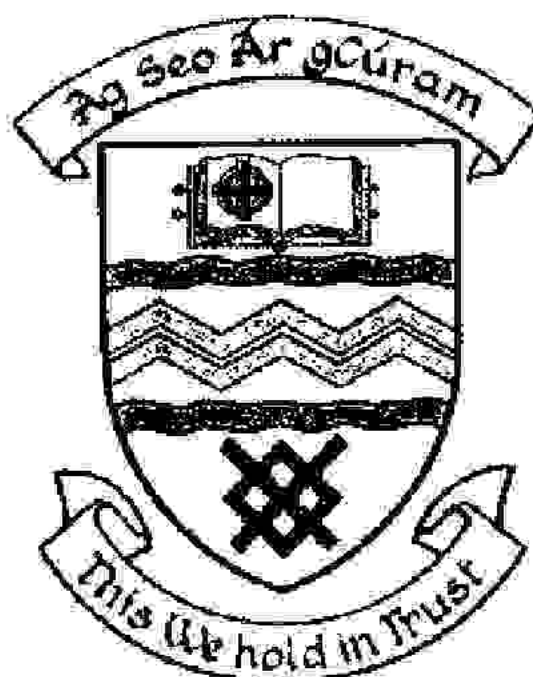
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 the preservation and protection of the existing street tree  
 located on the margin outside the house. In this regard, no  
 excavation is to take place within the canopy of the tree

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



**PLANNING  
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and no materials of any kind - including oil, tar, bitumen, cement, rubble and excavated materials likely to be injurious to the tree, should be permitted within 2 metres of its base.

**REASON:**

In the interest of the amenity of the area.

- 14 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 15 That a financial contribution in the sum of £2,100 (two thousand and one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 16 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.



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- 17 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 18 That an acceptable name/house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.

**REASON:**

In the interest of the proper planning and development of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

*gk* .....20/06/01  
for SENIOR ADMINISTRATIVE OFFICER