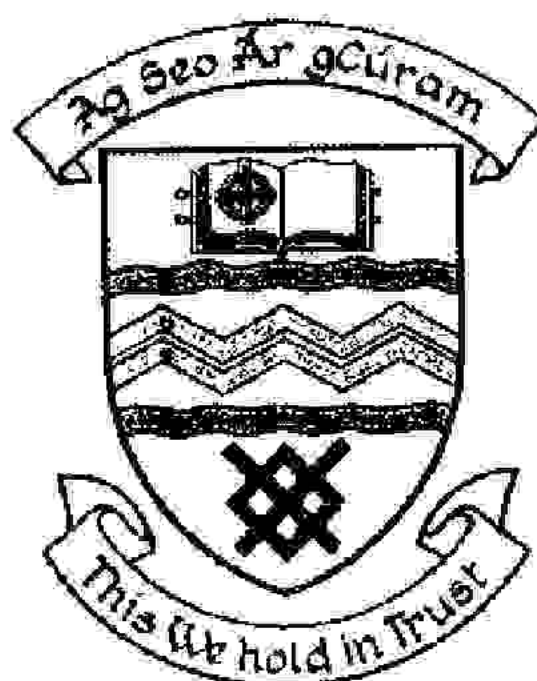


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0050	
1. Location	Grange Golf Club, Rathfarnham, Dublin 14.		
2. Development	The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.		
3. Date of Application	02/02/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Paul O'Toole Architects, Address: 9 Clarinda Park North, Dun Laoghaire,		
5. Applicant	Name: The Trustees, Grange Golf Club, Address: Grange Golf Club, Rathfarnham, Dublin 14.		
6. Decision	O.C.M. No. 0910  Date 03/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2187  Date 19/06/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			

'14.	.....	.....	.....
	Registrar	Date	Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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Paul O'Toole Architects,  
9 Clarinda Park North,  
Dun Laoghaire,  
Co. Dublin.

**NOTIFICATION OF GRANT OF Permission**

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2187	Date of Final Grant 19/06/2001
Decision Order Number 0910	Date of Decision 03/05/2001
Register Reference S01A/0050	Date 02/02/01

**Applicant** The Trustees, Grange Golf Club,

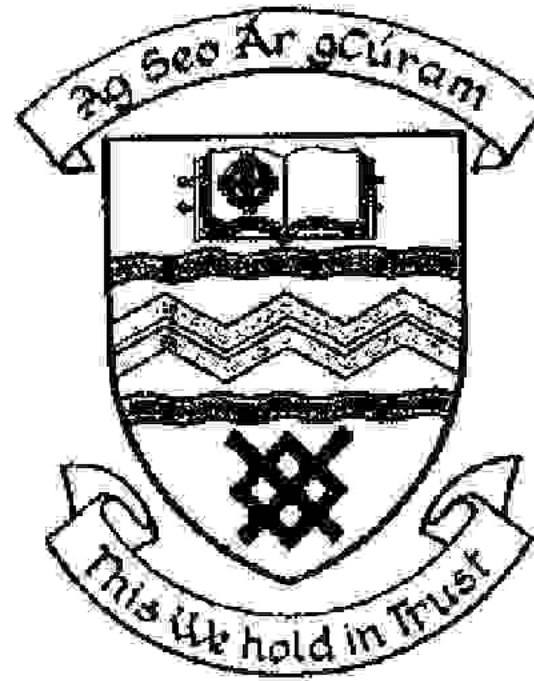
**Development** The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.

**Location** Grange Golf Club, Rathfarnham, Dublin 14.

**Floor Area** 1247.00 Sq Metres  
**Time extension(s) up to and including** 03/05/2001  
**Additional Information Requested/Received** /

A Permission has been granted for the development described above,  
subject to the following (13) Conditions.

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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and save unsolicited additional information received 09/03/2001 save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The requirements of the Parks Department shall be strictly adhered to. In this respect:

(i) Prior to the commencement of development the applicant shall submit revised drawings omitting the proposed culvert and showing a single-span bridge to accord with the general character of those existing bridge crossings on the application site. The precise design, location materials and width of the service yard access bridge is to be agreed in writing with the Planning Authority, prior to the commencement of any works on site.

(ii) Prior to the commencement of the development, the applicant shall submit a plan indicating clearly the trees for removal or retention in the vicinity of the proposed service access bridge and the proposed pedestrian bridge.

(iii) Prior to the commencement of works, the applicant shall submit a revised drawing indicating the relocation of the proposed protective fencing to surround the crown spread of trees T-827, T-806 and T-292 indicated in the applicant's tree survey, and the precise location of the fencing to be erected to protect the riverside landscape. This fencing shall be erected by the developer and inspected and agreed by an official from the Parks Department prior to the commencement of development on site and shall be kept in place for the duration of site works.

(iv) The proposed location of the site compound must be indicated on a drawing superimposed on the tree survey plan. These details are to be submitted to and agreed with the Planning Authority Department prior to the commencement of any works, so as to minimise damage to trees which would inevitably result from excavation works and storage of materials.

(v) A scheme of tree-felling and surgery works based on the applicant's tree survey shall be carried out prior to

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the commencement of development on site. The trees should be monitored by a qualified arboriculturalist while construction works are in progress and again on completion of works.

(vi) Prior to the commencement of works on site, the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification.

- 3 Prior to the commencement of development the applicant shall submit revised site layout plans, for the written agreement of the Planning Authority, showing:

(i) That area of land constituting the road reservation, required for the proposed road improvement scheme along Taylor's Lane, reserved free from development.

(ii) The car parking layout, including access thereto, being completely independent of the said road reservation.

(iii) How the future access to the club, as shown on the design plans for the proposed road improvement, can serve the new parking layout.

(iv) The relocation of those parking spaces displaced by the new building and by the road reservation provided elsewhere on site.

- 4 Details of materials, including samples, shall be submitted to and approved by the Planning Authority prior to the commencement of development.

**REASON:**

In the interest of the proper planning and development of the area.

- 5 Access for people with disabilities shall be provided to the premises. In particular, an access ramp shall be provided at the entrance, while disabled toilet facilities shall be provided along with any necessary alterations to the internal arrangements (door widths, etc.) to facilitate disabled access. Drawings showing the necessary alterations shall be submitted for the written agreement of the Planning Authority prior to commencement of development. The minimum requirements shall be as per Part M of the Building Regulations.

**REASON:**

In the interest of the proper planning and development of the area.

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- 6 (i) During demolition works on the site, all necessary steps to contain dust arising from the demolition shall be taken so as to prevent a nuisance being caused to occupiers of other buildings in the locality. This shall include covering skips and slack-heaps, daily washing down of pavements or other public areas, use of water spray at demolition site to suppress dust any other precautions necessary to prevent dust nuisances. During the demolition phase the proposed development shall comply with BS 6187 Code of Practice for Demolition.
- (ii) During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S 5228 Noise Control on Construction and Open sites.
- (iii) No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc, shall be operated on or adjacent to the site before 08.00 hrs. on weekdays and 09.00 hrs. on Saturdays nor after 18.00 hrs. on weekdays and 13.00 hrs. on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.
- (iv) All rooms, passageways, sanitary accommodation and lobbies shall be ventiled to the external air.
- (v) Full consultation shall take place with the Environmental Health Department prior to the commencement of the development in relation to the preparation and serving of food on the premises.
- (vi) A suitable location for the storage of refuse shall be provided.

- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
 REASON:  
 To protect the amenities of the area.

- 8 The applicant shall ensure that the requirements of the Eastern Regional Fisheries Board (ERFB) are adhered to: In particular, a method statement for the bridge

# SOUTH DUBLIN COUNTY COUNCIL

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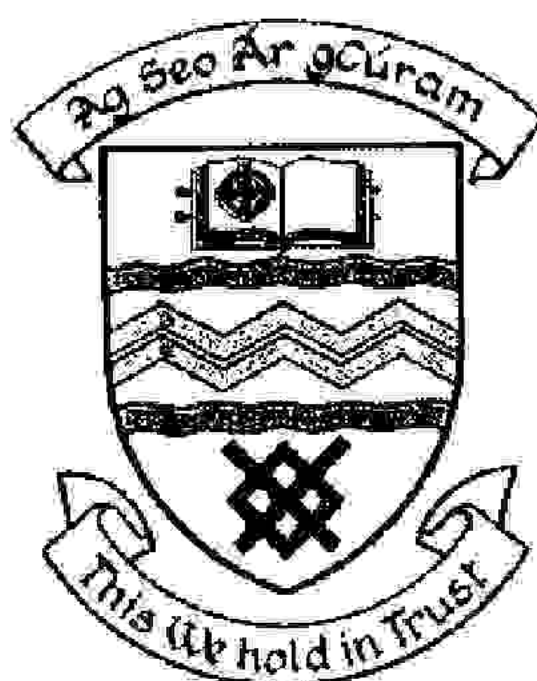
construction shall be agreed with the ERFB prior to the commencement of development.

**REASON:**

In the interest of the proper planning and development of the area.

- 9 The requirements of the Environmental Services Department shall be strictly adhered to. In this respect:
- (i) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
  - (ii) Applicant shall ensure full and complete separation of foul and surface water systems.
  - (iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
  - (iv) All wastewater from the kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
  - (v) Applicant is proposing to utilise an existing foul pumping system. Prior to the commencement of development, full 'as constructed' details of this system are required. These shall include detailed plans, cross sections and calculations for the design of the pumping system. Information shall be provided on the type, number and configuration of the pumps, as well as on the size, routing and construction of the rising main, up to and including connection to the public foul sewer. Adequate provision shall also be allowed for a storage facility (minimum 24-hour storage) in the event of pump failure. No overflow from the pumping station or foul drainage system will be permitted to the river and in this regard the applicant shall clarify the destination of the 'overflow' shown on drawing 1014/1 provided.
  - (vi) Prior to the commencement of development full details of the surface water outfall to the Whitechurch Stream shall be submitted for approval. The following points shall be noted:
    - (a) There shall only be one surface water outfall point on either side of the river.
    - (b) The invert level of the outfall should be 200mm above the normal water levels.
    - (c) If backflooding is likely a non-return valve should be fitted.
    - (d) The outfall should be so formed as to avoid, or provide against, local erosion and should be so angled as to discharge in the direction

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- (e) of flow of the watercourse.  
 Outfall details must include headwall, wing walls and apron, to an appropriate design in visual terms, which shall be agreed with the Parks Department.

(vii) Prior to the commencement of development the applicant shall submit revised drawings omitting the proposed culvert, and providing full details of, a single span bridge over the Whitechurch Stream. These details shall include all levels, plans, and cross-sections of any proposed work. Full design calculations for the bridge shall be included. These will clearly show that flow in the river will not be constricted or reduced during any major storm event.

(viii) The quality of the water downstream of the outfall shall be monitored in conjunction with Parks and Environmental Services Departments of South Dublin County Council and if necessary a stone filter shall be installed in the stream.

(ix) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the river.

(x) Prior to the commencement of development the applicant shall submit a detailed watermain layout for the development. The layout shall clearly show watermain size, valve, meter and hydrant location, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations.

(xi) If not already the case the water supply to the golf club shall be metered.

(xii) The clubhouse shall have its own individual service connection to the public watermain and full 24hour storage.

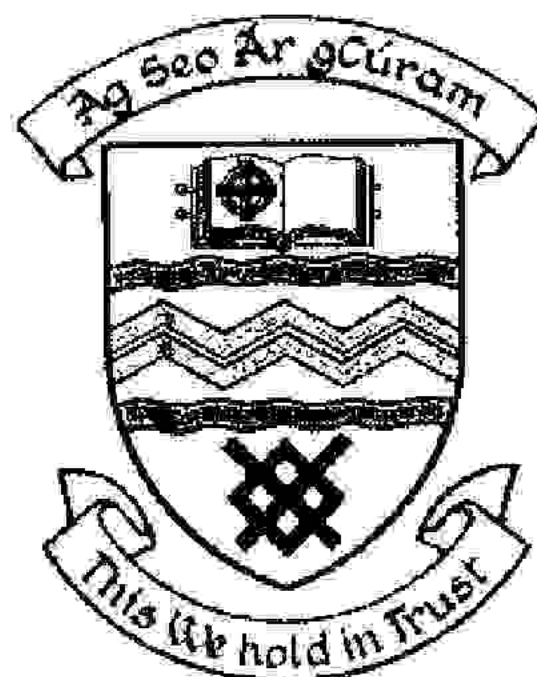
(xiii) The connection, and tapping of the Council's watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

- 10 That a financial contribution in the sum of £5,223 (five thousand two hundred and twenty three pounds) EUR 6,632 (six thousand six hundred and thirty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £13,587 (Thirteen Thousand Five Hundred and Eighty Seven) EUR 17,252 (Seventeen Thousand Two Hundred and Fifty Two Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of £2,620 (two thousand six hundred and twenty pounds) EUR 3,327 (three thousand three hundred and twenty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 13 That a Bond or Cash Lodgement of £30,000 (thirty thousand pounds) 38,092 (thirty eight thousand and ninety two euros) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

**REASON:**

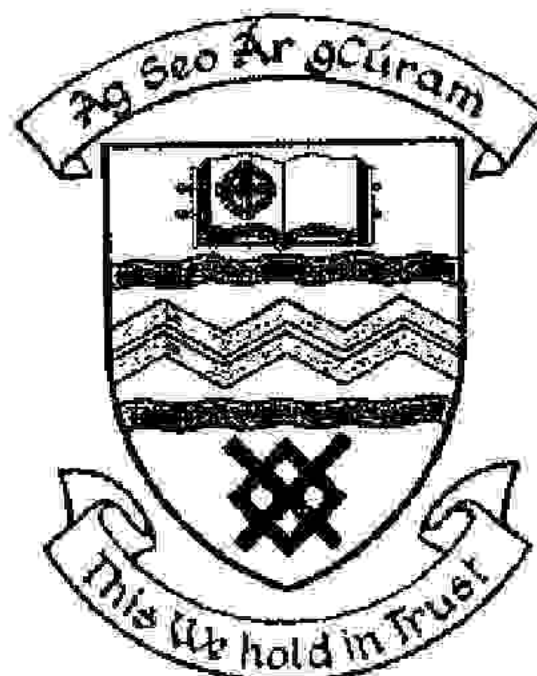
In the interest of the proper planning and development of the area.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....*gk*.....20/06/01  
for SENIOR ADMINISTRATIVE OFFICER

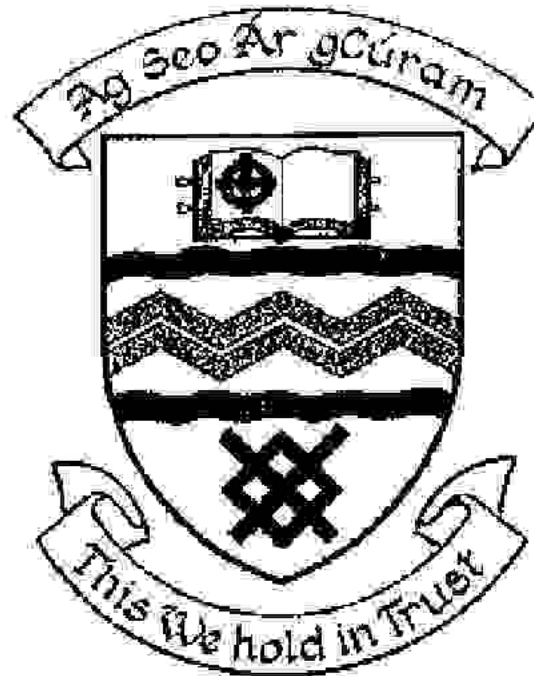
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0050	
1. Location	Grange Golf Club, Rathfarnham, Dublin 14.		
2. Development	The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.		
3. Date of Application	02/02/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Paul O'Toole Architects, Address: 9 Clarinda Park North, Dun Laoghaire,		
5. Applicant	Name: The Trustees, Grange Golf Club, Address: Grange Golf Club, Rathfarnham, Dublin 14.		
6. Decision	O.C.M. No. 0910  Date 03/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2187  Date 19/06/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

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**NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 0910	Date of Decision 03/05/2001
Register Reference S01A/0050	Date: 02/02/01

**Applicant** The Trustees,

**Development** The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.

**Location** Grange Golf Club, Rathfarnham, Dublin 14.

**Floor Area** Sq Metres

**Time extension(s) up to and including** 03/05/2001

**Additional Information Requested/Received** /

**Clarification of Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 13 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

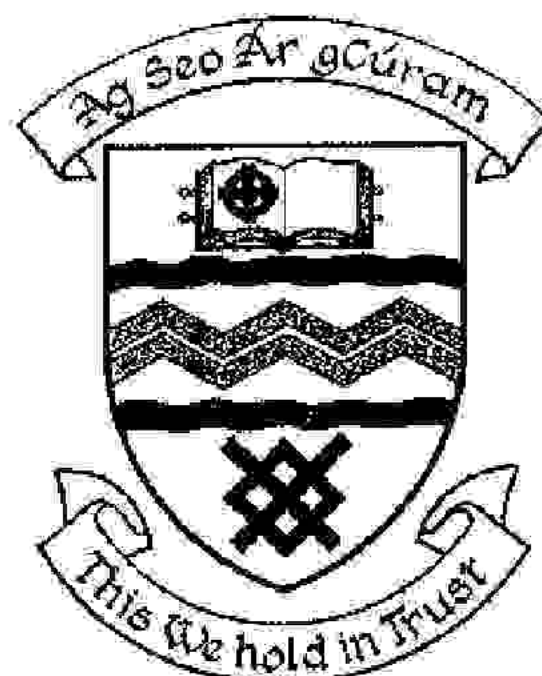
 ..... 03/05/01  
for SENIOR ADMINISTRATIVE OFFICER

Paul O'Toole Architects,  
9 Clarinda Park North,  
Dun Laoghaire,  
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**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and save unsolicited additional information received 09/03/2001 save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The requirements of the Parks Department shall be strictly adhered to. In this respect:

(i) Prior to the commencement of development the applicant shall submit revised drawings omitting the proposed culvert and showing a single-span bridge to accord with the general character of those existing bridge crossings on the application site. The precise design, location materials and width of the service yard access bridge is to be agreed in writing with the Planning Authority, prior to the commencement of any works on site.

(ii) Prior to the commencement of the development, the applicant shall submit a plan indicating clearly the trees for removal or retention in the vicinity of the proposed service access bridge and the proposed pedestrian bridge.

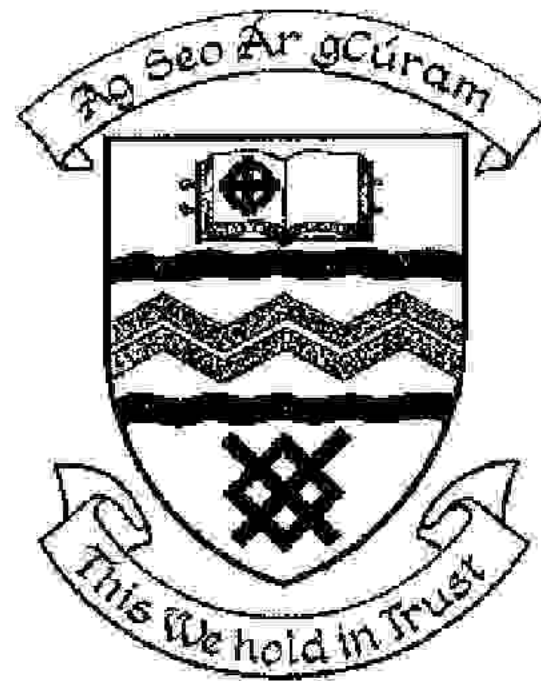
(iii) Prior to the commencement of works, the applicant shall submit a revised drawing indicating the relocation of the proposed protective fencing to surround the crown spread of trees T-827, T-806 and T-292 indicated in the applicant's tree survey, and the precise location of the fencing to be erected to protect the riverside landscape. This fencing shall be erected by the developer and inspected and agreed by an official from the Parks Department prior to the commencement of development on site and shall be kept in place for the duration of site works.

(iv) The proposed location of the site compound must be indicated on a drawing superimposed on the tree survey plan. These details are to be submitted to and agreed with the

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REG. REF. S01A/0050

Planning Authority Department prior to the commencement of any works, so as to minimise damage to trees which would inevitably result from excavation works and storage of materials.

(v) A scheme of tree-felling and surgery works based on the applicant's tree survey shall be carried out prior to the commencement of development on site. The trees should be monitored by a qualified arboriculturalist while construction works are in progress and again on completion of works.

(vi) Prior to the commencement of works on site, the developer shall agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification.

3 Prior to the commencement of development the applicant shall submit revised site layout plans, for the written agreement of the Planning Authority, showing:

(i) That area of land constituting the road reservation, required for the proposed road improvement scheme along Taylor's Lane, reserved free from development.

(ii) The car parking layout, including access thereto, being completely independent of the said road reservation.

(iii) How the future access to the club, as shown on the design plans for the proposed road improvement, can serve the new parking layout.

(iv) The relocation of those parking spaces displaced by the new building and by the road reservation provided elsewhere on site.

4 Details of materials, including samples, shall be submitted to and approved by the Planning Authority prior to the commencement of development.

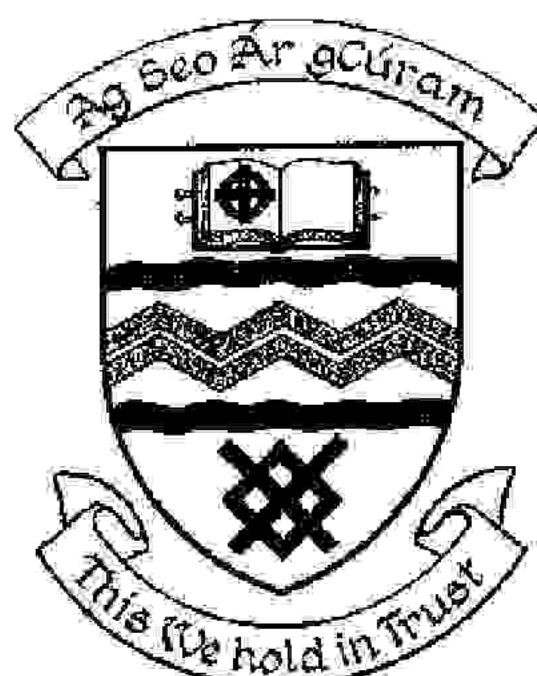
REASON:

In the interest of the proper planning and development of the area.

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- 5 Access for people with disabilities shall be provided to the premises. In particular, an access ramp shall be provided at the entrance, while disabled toilet facilities shall be provided along with any necessary alterations to the internal arrangements (door widths, etc.) to facilitate disabled access. Drawings showing the necessary alterations shall be submitted for the written agreement of the Planning Authority prior to commencement of development. The minimum requirements shall be as per Part M of the Building Regulations.

**REASON:**

In the interest of the proper planning and development of the area.

- 6 (i) During demolition works on the site, all necessary steps to contain dust arising from the demolition shall be taken so as to prevent a nuisance being caused to occupiers of other buildings in the locality. This shall include covering skips and slack-heaps, daily washing down of pavements or other public areas, use of water spray at demolition site to suppress dust any other precautions necessary to prevent dust nuisances. During the demolition phase the proposed development shall comply with BS 6187 Code of Practice for Demolition.
- (ii) During the construction phase of the development, Best Practicable Means shall be employed to minimise air blown dust being emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements or other public areas, and any other precautions necessary to prevent dust nuisances. There must be compliance with British Standard B.S 5228 Noise Control on Construction and Open sites.
- (iii) No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc, shall be operated on or adjacent to the site before 08.00 hrs. on weekdays and 09.00 hrs. on Saturdays nor after 18.00 hrs. on weekdays and 13.00 hrs. on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.

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(iv) All rooms, passageways, sanitary accommodation and lobbies shall be ventiled to the external air.

(v) Full consultation shall take place with the Environmental Health Department prior to the commencement of the development in relation to the preparation and serving of food on the premises.

(vi) A suitable location for the storage of refuse shall be provided.

- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 8 The applicant shall ensure that the requirements of the Eastern Regional Fisheries Board (ERFB) are adhered to: In particular, a method statement for the bridge construction shall be agreed with the ERFB prior to the commencement of development.

REASON:

In the interest of the proper planning and development of the area.

- 9 The requirements of the Environmental Services Department shall be strictly adhered to. In this respect:

(i) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

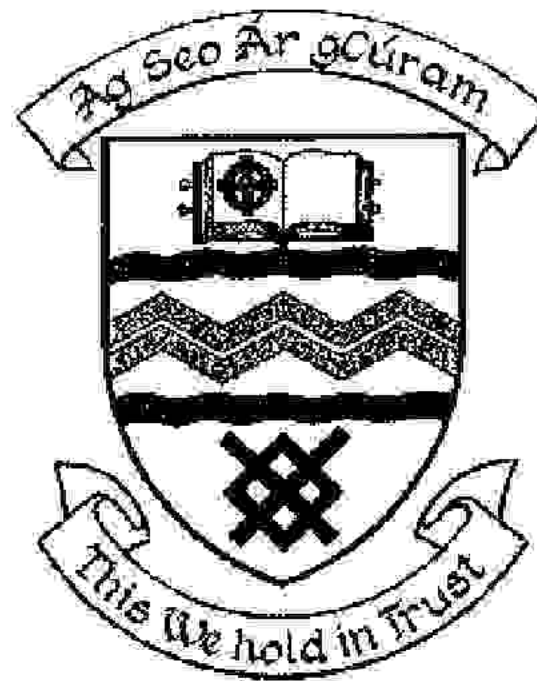
(ii) Applicant shall ensure full and complete separation of foul and surface water systems.

(iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

(iv) All wastewater from the kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.

(v) Applicant is proposing to utilise an existing foul

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pumping system. Prior to the commencement of development, full 'as constructed' details of this system are required. These shall include detailed plans, cross sections and calculations for the design of the pumping system. Information shall be provided on the type, number and configuration of the pumps, as well as on the size, routing and construction of the rising main, up to and including connection to the public foul sewer. Adequate provision shall also be allowed for a storage facility (minimum 24-hour storage) in the event of pump failure. No overflow from the pumping station or foul drainage system will be permitted to the river and in this regard the applicant shall clarify the destination of the 'overflow' shown on drawing 1014/1 provided.

(vi) Prior to the commencement of development full details of the surface water outfall to the Whitechurch Stream shall be submitted for approval. The following points shall be noted:

- (a) There shall only be one surface water outfall point on either side of the river.
- (b) The invert level of the outfall should be 200mm above the normal water levels.
- (c) If backflooding is likely a non-return valve should be fitted.
- (d) The outfall should be so formed as to avoid, or provide against, local erosion and should be so angled as to discharge in the direction of flow of the watercourse.
- (e) Outfall details must include headwall, wing walls and apron, to an appropriate design in visual terms, which shall be agreed with the Parks Department.

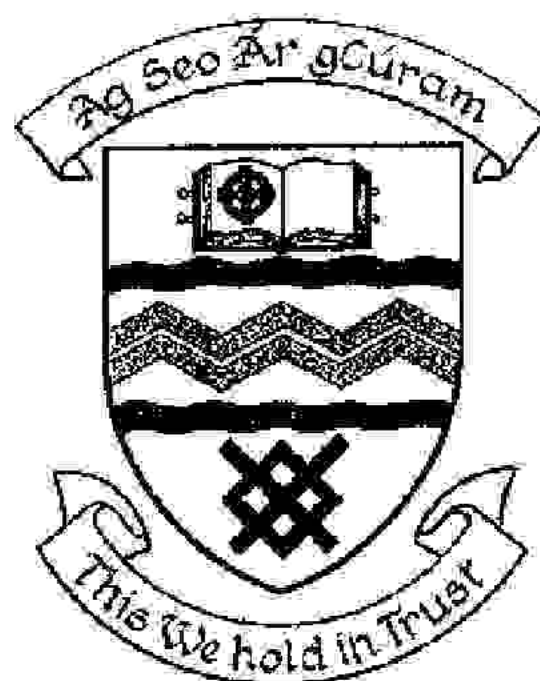
(vii) Prior to the commencement of development the applicant shall submit revised drawings omitting the proposed culvert, and providing full details of, a single span bridge over the Whitechurch Stream. These details shall include all levels, plans, and cross-sections of any proposed work. Full design calculations for the bridge shall be included. These will clearly show that flow in the river will not be constricted or reduced during any major storm event.

(viii) The quality of the water downstream of the outfall

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shall be monitored in conjunction with Parks and Environmental Services Departments of South Dublin County Council and if necessary a stone filter shall be installed in the stream.

(ix) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the river.

(x) Prior to the commencement of development the applicant shall submit a detailed watermain layout for the development. The layout shall clearly show watermain size, valve, meter and hydrant location, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations.

(xi) If not already the case the water supply to the golf club shall be metered.

(xii) The clubhouse shall have its own individual service connection to the public watermain and full 24hour storage.

(xiii) The connection, and tapping of the Council's watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

- 10 That a financial contribution in the sum of £5,223 (five thousand two hundred and twenty three pounds) EUR 6,632 (six thousand six hundred and thirty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

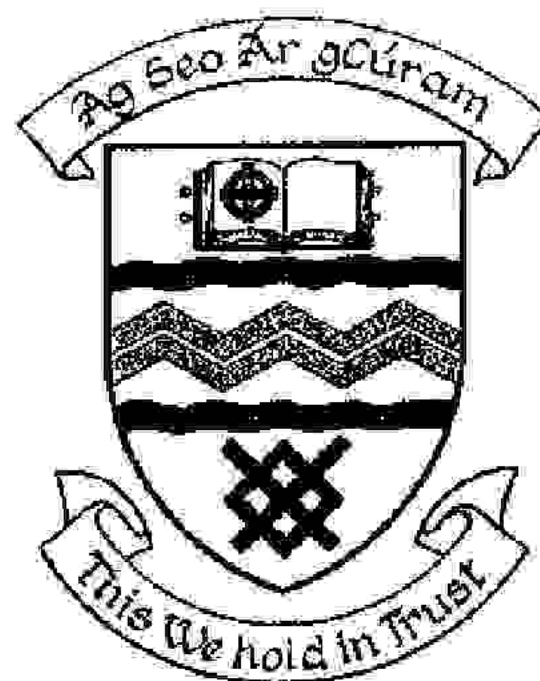
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of £13,587 (Thirteen Thousand Five Hundred and Eighty Seven) EUR 17,252 (Seventeen Thousand Two Hundred and Fifty Two Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of £2,620 (two thousand six hundred and twenty pounds) EUR 3,327 (three thousand three hundred and twenty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 13 That a Bond or Cash Lodgement of £30,000 (thirty thousand pounds) 38,092 (thirty eight thousand and ninety two euros) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

**REASON:**

In the interest of the proper planning and development of the area.

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  SD1A/0050	
1. Location	Grange Golf Club, Rathfarnham, Dublin 14.		
2. Development	The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.		
3. Date of Application	02/02/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: Paul O'Toole Architects, Address: 9 Clarinda Park North, Dun Laoghaire,		
5. Applicant	Name: The Trustees, Grange Golf Club, Address: Grange Golf Club, Rathfarnham, Dublin 14.		
6. Decision	O.C.M. No. 0910  Date 03/05/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2187  Date 19/06/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

14.

Registrar

Date

Receipt No.

M

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1993

Decision Order Number 0637	Date of Decision 29/03/2001
Register Reference S01A/0050	Date 02/02/01

Applicant The Trustees,  
App. Type Permission  
Development The demolition of part of the existing clubhouse and for the erection of a two storey hipped roof clubhouse consisting of male and female changing rooms, pro shop, offices and storerooms at ground floor and bar, diningroom, snooker room kitchen and ancillary spaces at first floor, together with new parking area.

Location Grange Golf Club, Rathfarnham, Dublin 14.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 03/05/2001

Yours faithfully

..... M9 ..... 29/03/01  
for SENIOR ADMINISTRATIVE OFFICER

Paul O'Toole Architects,  
9 Clarinda Park North,  
Dun Laoghaire,  
Co. Dublin.