

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0051	
1. Location	Citywest Golf Club, Saggart, Co. Dublin.		
2. Development	Twenty number hotel suites apartments arranged in crescent shape, 3 storey block, new access via previously permitted development plan reference No. S95A/0477, S97A/0293 and subsequent permission, with associated access road, parking, landscaping, siteworks and service		
3. Date of Application	02/02/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 29/03/2001 2.	1. 13/06/2001 2.
4. Submitted by	Name: Project Architects, Address: The Priory, John Street West,		
5. Applicant	Name: H.S.S. Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 2630 Date 09/08/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2967 Date 21/09/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

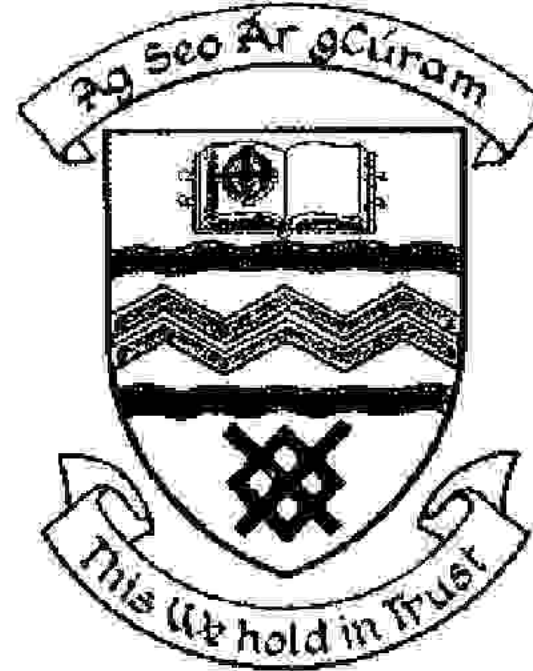
14.

Registrar

Date

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Project Architects,
The Priory,
John Street West,
Dublin 8.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 2967	Date of Final Grant 21/09/2001
Decision Order Number 2630	Date of Decision 09/08/2001
Register Reference S01A/0051	Date 13/06/01

Applicant H.S.S. Ltd.,

Development Twenty number hotel suites apartments arranged in crescent shape, 3 storey block, new access via previously permitted development plan reference No. S95A/0477, S97A/0293 and subsequent permission, with associated access road, parking, landscaping, siteworks and service

Location Citywest Golf Club, Saggart, Co. Dublin.

Floor Area 1860.00 Sq Metres

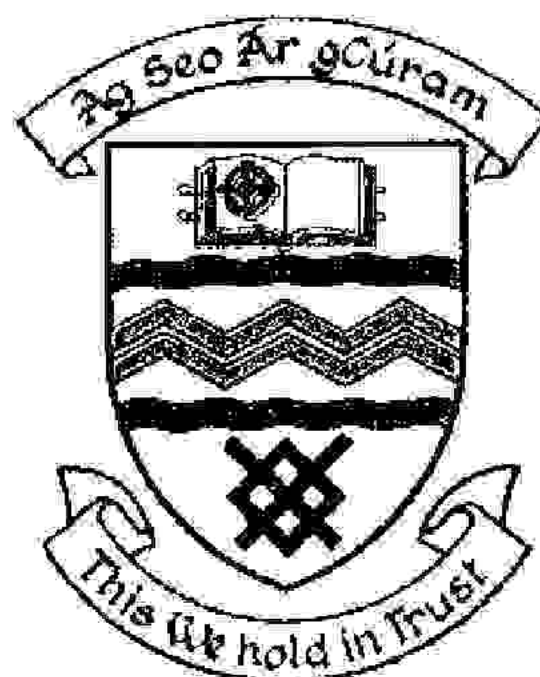
Time extension(s) up to and including

Additional Information Requested/Received 29/03/2001 /13/06/2001

A Permission has been granted for the development described above,
subject to the following (17) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, altered for additional information received 13/06/01 save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the external finishes shall match those of the existing buildings on site.
Reason: In the interest of architectural harmony and visual amenity.

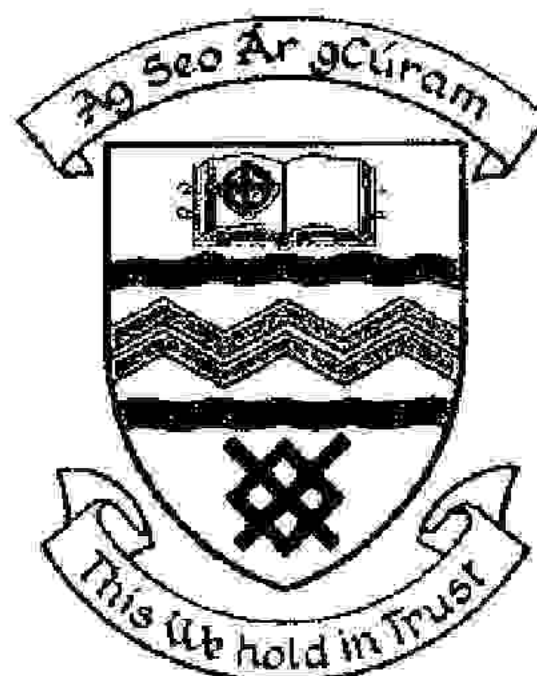
- 3 The water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect
 - i) The applicant is proposing to drain the foul effluent from the development through new existing and sewers via City West Golf Course and into 300mm diameter sewer in City Business Park. As this sewer is not in charge the applicant shall submit written consent from the owner of this sewer to discharge foul effluent from the development into it.
 - ii) The maximum amount of development permitted to discharge foul effluent into this sewer is as follows:

A	Golf Course Development Proposed	45
	Houses	
B	Social Housing Proposed	21
	Houses	
C	Melbury Apartments - Phase 1	Under Construction
	84 Apartments	
D	Golf Club House	Proposed
E	Melbury Apartments - Phase 2	Proposed 127
	Apartments	
F	Roundgarden Apartments Existing	32
	Apartments	
G	City West Hotel Existing	350 Bedrooms
H	Hotel / Apartments Existing	120
	Bedrooms	
J	Hotel / Apartments Proposed	20
	Bedrooms	

iii) The 'proposed' developments listed above will be subject to the normal planning process and the Environmental Services Department's requirements with regard to foul & surface water drainage and water supply.

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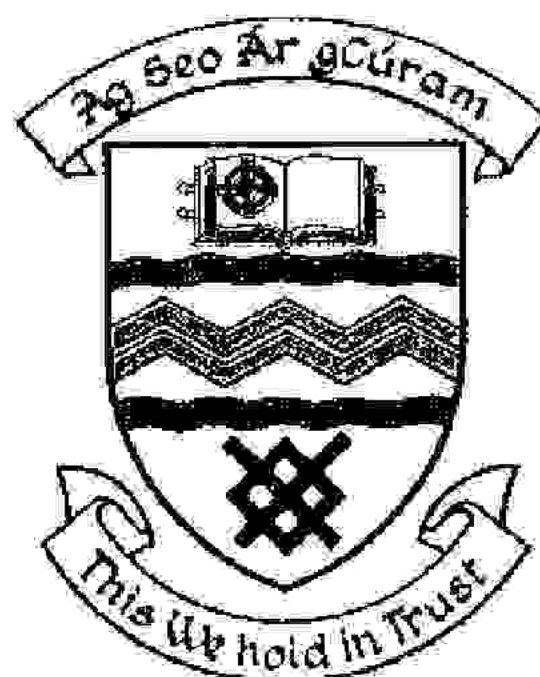
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- iv) All new and existing sewer lines will have the minimum gradients detailed in the drawings and calculations provided.
- v) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- vi) Applicant shall provide completely separate of foul and surface water drainage systems, as detailed in the Consulting Engineer's drawings and report, and not a combined systems as shown in the site layout plan (Drawing Number: K049 PA1-0001).
- vii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- viii) No surface water outfall from the site shall be constructed until written agreement has been reached between the applicant and the South Dublin County Council Roads Department and the Drainage Area Engineer (Deansrath Depot: Telephone: 4570784) in relation to their requirements. These may include cleaning, jetting, CCTV surveying, culverting or piping sections of the streams, ditches and culverts adjoining the site, to ensure adequate capacity exists for the surface water run-off for the development.
- ix) The water supply to the development shall be commercially metered.
- x) The development shall have full 24hour water storage.
- xi) The connection to and tapping of public water mains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason: In order to comply with the Sanitary Services Acts, 1878-1964.

- 4 The requirements of the Parks and Landscape Services Department shall be strictly adhered to. In this respect:
- i) A detailed tree survey to be prepared by an arboriculturalist and submitted for agreement by this department prior to the commencement of works on site, indicating the location, species, age, condition, crown spread and height of existing trees. Information should be given on the proposals for removal/retention of these trees and measures proposed to protect them during the course of the development.
 - ii) Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification. This plan to include grading, topsoiling, seeding, paths, boundary

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treatment and planting.

Reason: In the interest of amenity and the proper planning and development of the area.

- 5 That all road side boundary planting and mounding be retained in full for the full length of the Naas Road and Garters Lane site boundaries.

Reason: In the interest of visual amenity.

- 6 That the proposed development shall be occupied and used only as part of the existing hotel complex on the extended site. Individual units within the complex shall be used for short term tourist accommodation lettings only. Any change will require a grant of planning permission from the Planning Authority or An Bord Pleanála on appeal.

Reason: To meet the specific tourism requirements of the development as set out in this application and to ensure that the hotel suites are used solely for tourist accommodation and not sold or occupied as residential units independent of the hotel complex in the interests of amenity and the proper planning and development of the area.

- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 8 That no unit be occupied until a public lighting scheme is provided to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 9 That no advertising sign or structure be erected, except those which are exempted development, without prior permission of Planning Authority or An Bord Pleanála on appeal.

REASON:

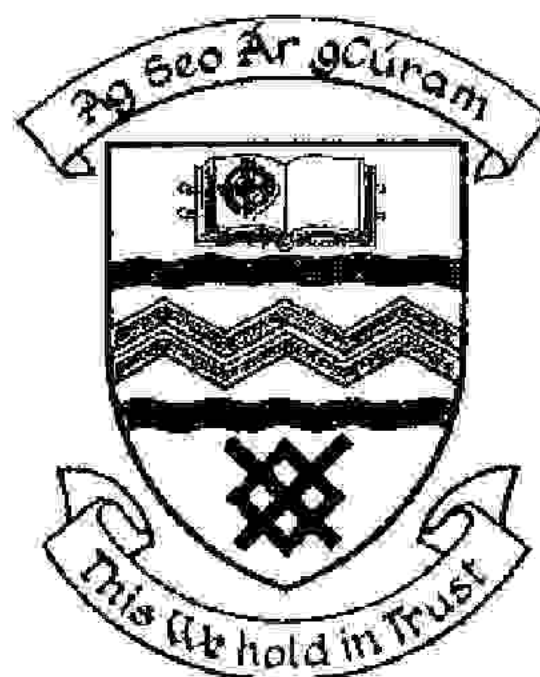
In the interest of the proper planning and development of the area.

- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

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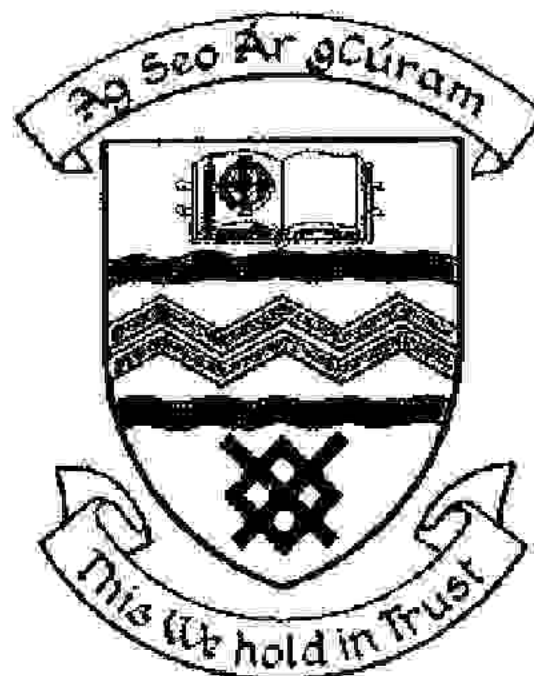
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- 11 A public footpath shall be provided, at the applicant's expense, along the Garters Lane site boundary between the entrance to the overall hotel complex and the Naas Dual Carriageway to the satisfaction of the Planning Authority.
 REASON:
 In the interest of pedestrian and traffic safety.
- 12 Prior to the commencement of development details regarding treatment of surface water drainage along the Garters Lane frontage of the site to be agreed with the Planning Authority.
 REASON:
 In the interest of proper planning and development.
- 13 Prior to the commencement of development proposals shall be submitted to the Planning Authority indicating revisions to both gable ends of the development, given their relationship and proximity to both the N7 Naas Road and Garters Lane. Details should include photomontages of proposals showing how it is proposed to minimise the visual impact of the development.
 REASON:
 It is considered reasonable and in the interest of visual amenity and the proper planning and development of the area that bulk and design of the building be revised due to its proximity to the public roads.
- 14 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development adjoining the site.
 REASON:
 In the interest of safety and the avoidance of fire hazard.
- 15 That a financial contribution in the sum of £15,016 (fifteen thousand and sixteen pounds) EUR 19,067 (nineteen thousand and sixty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
 REASON:
 The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 16 That a financial contribution in the sum of £39,060 (thirty nine thousand and sixty pounds) EUR 49,565 (forty nine thousand five hundred and sixty five euros) shall be paid by

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the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 17 That a financial contribution in the sum of £7,533 (seven thousand five hundred and thirty three pounds) EUR 9,565 (nine thousand five hundred and sixty five euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council,

.....
 for SENIOR ADMINISTRATIVE OFFICER

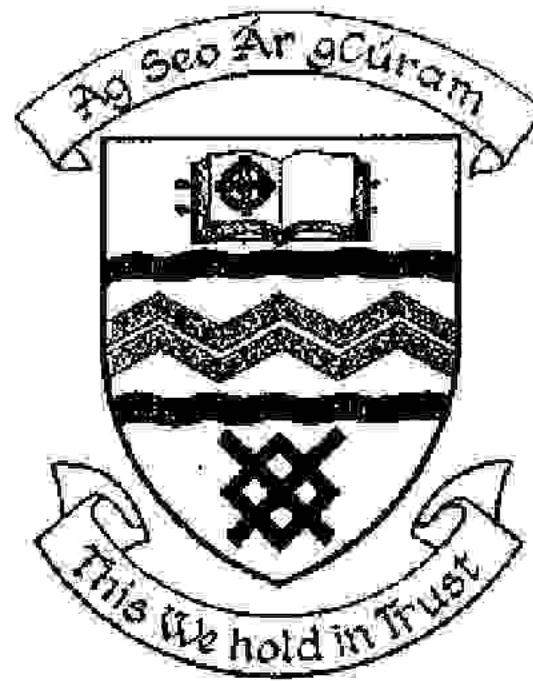
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0051	
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2. Development	Twenty number hotel suites apartments arranged in crescent shape, 3 storey block, new access via previously permitted development plan reference No. S95A/0477, S97A/0293 and subsequent permission, with associated access road, parking, landscaping, siteworks and service		
3. Date of Application	02/02/01	Date Further Particulars (a) Requested (b) Received	
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4. Submitted by	Name: Project Architects, Address: The Priory, John Street West,		
5. Applicant	Name: H.S.S. Ltd., Address: Keatings Park, Rathcoole, Co. Dublin.		
6. Decision	O.C.M. No. 2630 Date 09/08/2001	Effect AP GRANT PERMISSION	
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14. Registrar	Date	Receipt No.	

C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2630	Date of Decision 09/08/2001
Register Reference S01A/0051	Date: 02/02/01

Applicant H.S.S. Ltd.,

Development Twenty number hotel suites apartments arranged in crescent shape, 3 storey block, new access via previously permitted development plan reference No. S95A/0477, S97A/0293 and subsequent permission, with associated access road, parking, landscaping, siteworks and service

Location Citywest Golf Club, Saggart, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 29/03/2001 /13/06/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (17) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

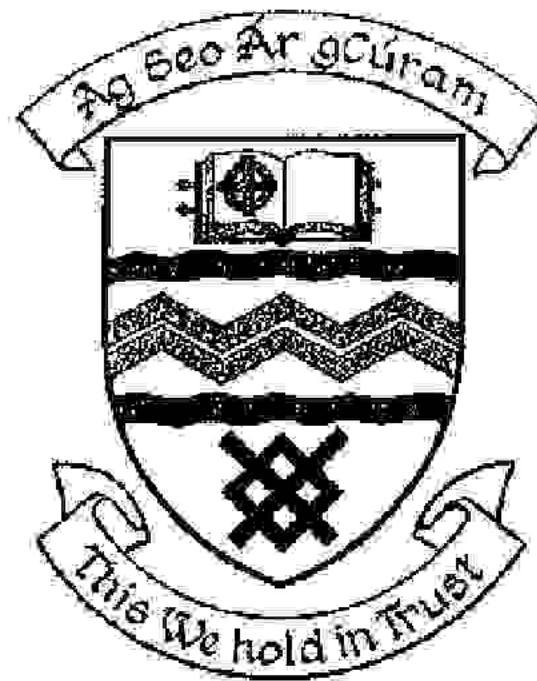

..... 10/08/01
for SENIOR ADMINISTRATIVE OFFICER

Project Architects,
The Priory,
John Street West,
Dublin 8.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, altered for additional information received 13/06/01 save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the external finishes shall match those of the existing buildings on site.

Reason: In the interest of architectural harmony and visual amenity.

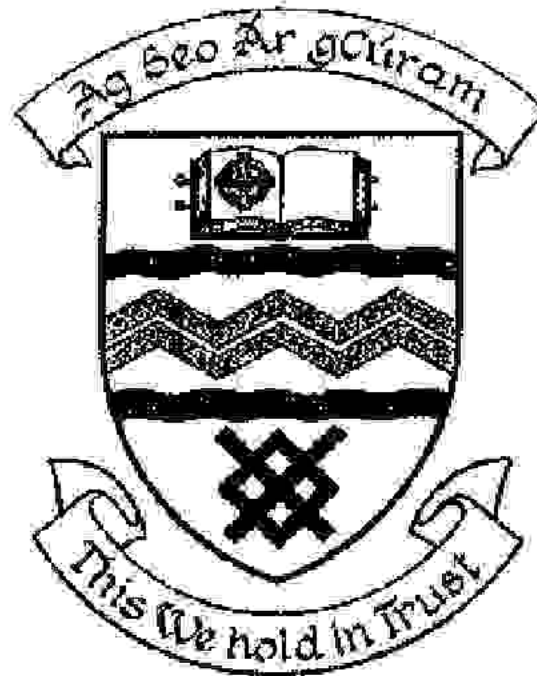
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G	City West Hotel Existing	350 Bedrooms
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	Bedrooms	

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J	Hotel / Apartments	Proposed	20
	Bedrooms		

iii) The 'proposed' developments listed above will be subject to the normal planning process and the Environmental Services Department's requirements with regard to foul & surface water drainage and water supply.

iv) All new and existing sewer lines will have the minimum gradients detailed in the drawings and calculations provided.

v) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

vi) Applicant shall provide completely separate of foul and surface water drainage systems, as detailed in the Consulting Engineer's drawings and report, and not a combined systems as shown in the site layout plan (Drawing Number: K049 PA1-0001).

vii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

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ix) The water supply to the development shall be commercially metered.

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Reason: In order to comply with the Sanitary Services Acts, 1878-1964.

4 The requirements of the Parks and Landscape Services Department shall be strictly adhered to. In this respect:

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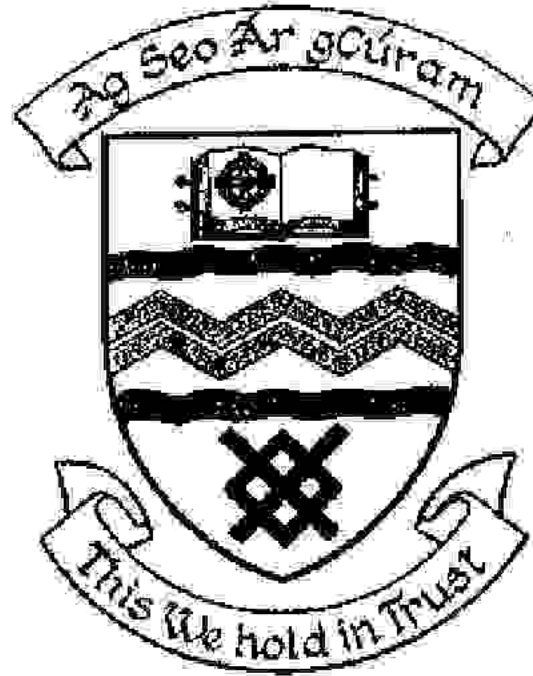
REG REF. S01A/0051

- i) A detailed tree survey to be prepared by an arboriculturalist and submitted for agreement by this department prior to the commencement of works on site, indicating the location, species, age, condition, crown spread and height of existing trees. Information should be given on the proposals for removal/retention of these trees and measures proposed to protect them during the course of the development.
- ii) Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification. This plan to include grading, topsoiling, seeding, paths, boundary treatment and planting.
- Reason: In the interest of amenity and the proper planning and development of the area.
- 5 That all road side boundary planting and mounding be retained in full for the full length of the Naas Road and Garters Lane site boundaries.
- Reason: In the interest of visual amenity.
- 6 That the proposed development shall be occupied and used only as part of the existing hotel complex on the extended site. Individual units within the complex shall be used for short term tourist accommodation lettings only. Any change will require a grant of planning permission from the Planning Authority or An Bord Pleanála on appeal.
- Reason: To meet the specific tourism requirements of the development as set out in this application and to ensure that the hotel suites are used solely for tourist accommodation and not sold or occupied as residential units independent of the hotel complex in the interests of amenity and the proper planning and development of the area.
- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
- REASON:
In the interest of amenity.

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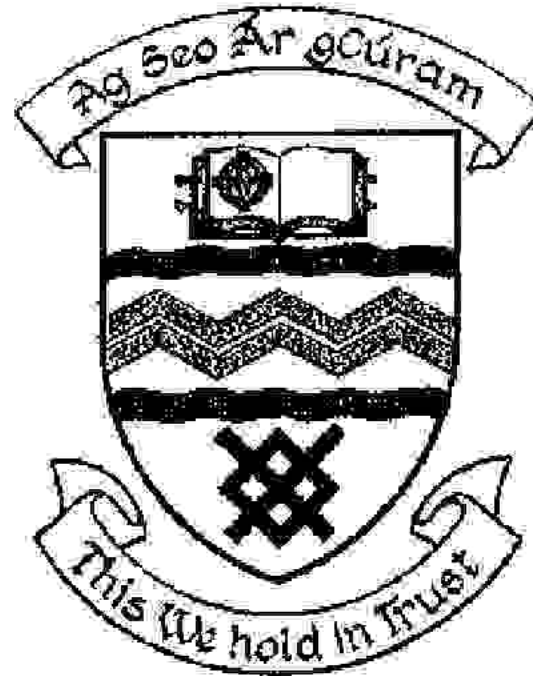
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REG. REF. S01A/0051

- 8 That no unit be occupied until a public lighting scheme is provided to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.
- 9 That no advertising sign or structure be erected, except those which are exempted development, without prior permission of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 10 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 11 A public footpath shall be provided, at the applicant's expense, along the Garters Lane site boundary between the entrance to the overall hotel complex and the Naas Dual Carriageway to the satisfaction of the Planning Authority.
REASON:
In the interest of pedestrian and traffic safety.
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REASON:
In the interest of proper planning and development.
- 13 Prior to the commencement of development proposals shall be submitted to the Planning Authority indicating revisions to both gable ends of the development, given their relationship and proximity to both the N7 Naas Road and Garters Lane. Details should include photomontages of proposals showing how it is proposed to minimise the visual impact of the development.
REASON:

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- 14 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development adjoining the site.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 15 That a financial contribution in the sum of £15,016 (fifteen thousand and sixteen pounds) EUR 19,067 (nineteen thousand and sixty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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REASON:

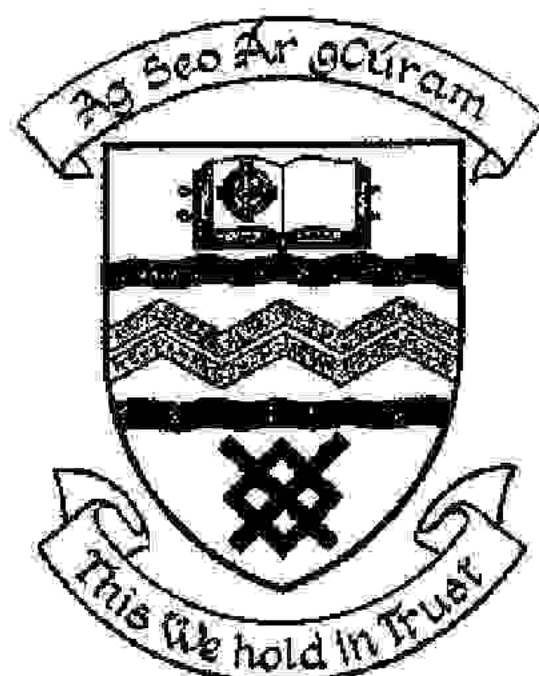
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- 17 That a financial contribution in the sum of £7,533 (seven thousand five hundred and thirty three pounds) EUR 9,565 (nine thousand five hundred and sixty five euros) be paid by the proposer to South Dublin County Council towards the cost

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
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**PLANNING
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REG. REF. S01A/0051

of the Boherboy Water Supply Scheme which serves this
development.

REASON:

The provision of such services in the area by the Council
will facilitate the proposed development. It is considered
reasonable that the developer should contribute towards the
cost of the works.