

|                            |  |              |  |                     |
|----------------------------|--|--------------|--|---------------------|
|                            | South Dublin County Council<br>Local Government<br>(Planning & Development)<br>Acts 1963 to 1999<br>and Planning & Development<br>Act 2000<br>Planning Register (Part 1)   |              | Plan Register No.<br><br>S01A/0111                     |                     |
| 1. Location                | Junction of Monastery Road and Monastery Park, Clondalkin, Dublin 22.  |              |  |                     |
| 2. Development             | 44 No. 2 bed apartments contained in 2 No. 4 storey blocks and 14 No. 2 storey 2 bed mews houses with underground car parking, landscaped open spaces and all other site development works including demolition of existing house known as Lexington House with access off Monastery Park. The development is subject to a request for Additional Information on a current application for the development of the site Reg. Ref. S01A/0111. The development includes an extension to the rear of Clondalkin Library, which is a Protected Structure (partly on applicants land and Library land) on an overall site of approx 1.2 acres. |              |  |                     |
| 3. Date of Application     | 26/02/01   |              | Date Further Particulars<br>(a) Requested (b) Received |                     |
| 3a. Type of Application    | Permission   |              | 1. 25/04/2001<br>2.                                    | 1. 30/05/2001<br>2. |
| 4. Submitted by            | Name: Fenton-Simons<br>Address: 29 Fitzwilliam Place, Dublin 2.  |              |  |                     |
| 5. Applicant               | Name: Lexington Partnership,<br>Address: 29 Fitzwilliam Place, Dublin 2.   |              |  |                     |
| 6. Decision                | O.C.M. No. 2683<br><br>Date 16/08/2001   |              | Effect<br>AP GRANT PERMISSION                          |                     |
| 7. Grant                   | O.C.M. No.<br>Date   |              | Effect<br>AP GRANT PERMISSION                          |                     |
| 8. Appeal Lodged           |  |              |  |                     |
| 9. Appeal Decision         |  |              |  |                     |
| 10. Material Contravention |  |              |  |                     |
| 11. Enforcement            |  |              |  |                     |
|                            |  | Compensation |  | Purchase Notice     |

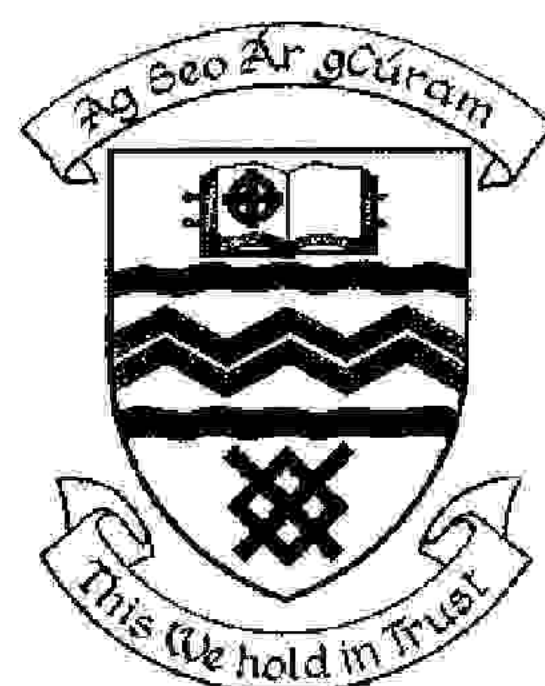
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| 12... Revocation or Amendment |                 |                      |
| 13. E.I.S. Requested          | E.I.S. Received | E.I.S. Appeal        |
| 14. ....<br>Registrar         | .....<br>Date   | .....<br>Receipt No. |

C

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

|                              |                             |
|------------------------------|-----------------------------|
| Decision Order Number 2683   | Date of Decision 16/08/2001 |
| Register Reference S01A/0111 | Date: 26/02/01              |

**Applicant** Lexington Partnership,

**Development** 44 No. 2 bed apartments contained in 2 No. 4 storey blocks and 14 No. 2 storey 2 bed mews houses with underground car parking, landscaped open spaces and all other site development works including demolition of existing house known as Lexington House with access off Monastery Park. The development is subject to a request for Additional Information on a current application for the development of the site Reg. Ref. S01A/0111. The development includes an extension to the rear of Clondalkin Library, which is a Protected Structure (partly on applicants land and Library land) on an overall site of approx 1.2 acres.

**Location** Junction of Monastery Road and Monastery Park, Clondalkin, Dublin 22.

**Floor Area** Sq Metres

**Time extension(s) up to and including** 18/08/2001

**Additional Information Requested/Received** 25/04/2001 /30/05/2001

**Clarification of Additional Information Requested/Received** /

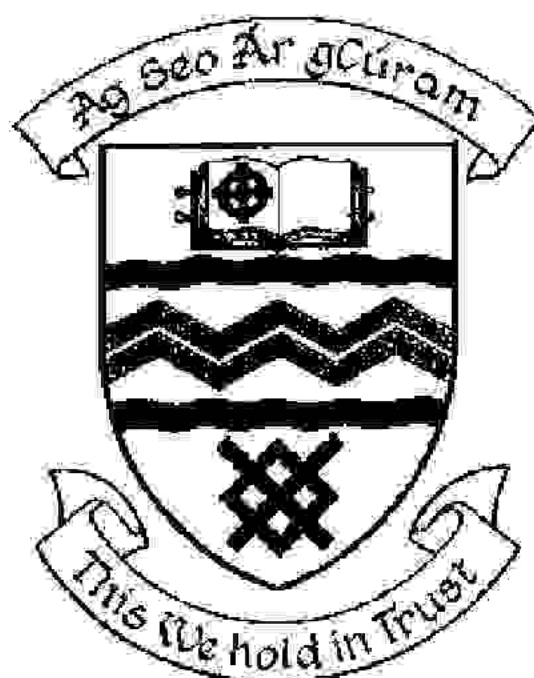
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Fenton-Simons  
29 Fitzwilliam Place,  
Dublin 2.

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Subject to the conditions ( 22 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... 16/08/01  
for SENIOR ADMINISTRATIVE OFFICER

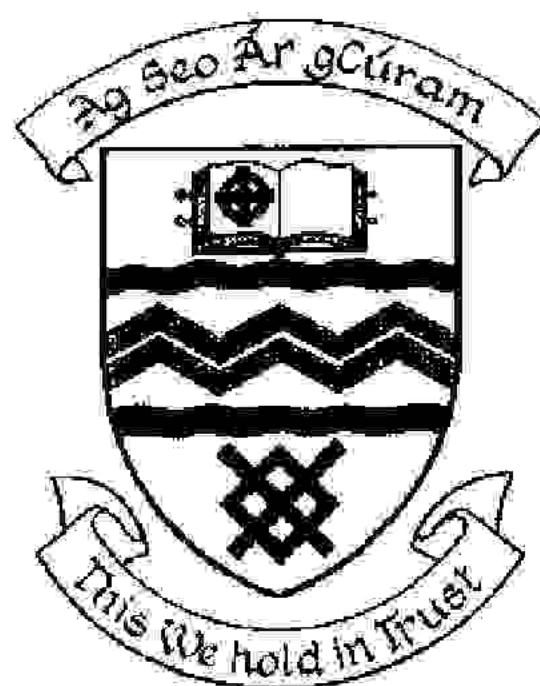
**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by Additional Information received 30/05/2001 and unsolicited Additional Information received on 30/07/2001 save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Block 1 shall be repositioned on the site (DRWG. No SW01). Block 1 shall be repositioned southwards by 2.5 metres towards Monastery Road (9 metres from the site boundary at Monastery Road). Prior to the commencement of development the applicant shall submit revised plans particulars and details for the written agreement of the Planning Authority.  
REASON: In the interest of visual amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.

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- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 5 That public lighting be provided as each street is occupied in accordance with a scheme to be approved by the County Council so as to provide street lighting to the standard required by South Dublin County Council.

REASON:

In the interest of amenity and public safety.

- 6 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 7 That an acceptable naming and numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed units.

REASON:

In the interest of the proper planning and development of the area.

- 8 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

REASON:

In the interest of visual amenity.

- 9 The applicant shall comply with the requirements of the Environmental Services Department, South Dublin County Council, with regard to the following:

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- No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge. All foul sewers serving the development, with the potential to be taken in charge, shall be a minimum of 225mm in diameter.
- Applicant to ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- As per the applicant's proposal the surface water discharges from the site shall be attenuated by the provision of 41m of 1200mm diameter surface water pipes fitted with a hydrobrake flow control such that the maximum surface water discharge from the site shall not exceed 2.43 l/s. Prior to the commencement of development the applicant shall submit details of how it is proposed to keep the surface water attenuation system free from siltation. Details submitted shall include a maintenance / cleaning program for the system.
- As drains are to be slung over the proposed basement the pump / rising mains shall discharge to the foul drainage.
- All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.
- Applicant shall ensure full and complete separation of foul and surface water systems.
- All surface water sewers serving the development, with the potential to be taken in charge, shall be a minimum of 225mm in diameter.
- Each apartment shall have its own individual service connection and 24hr storage.
- The watermain serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.
- All surface water sewers serving the development, with the potential to be taken in charge, shall be a minimum of 100mm in diameter and 5m from the nearest building.
- Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units

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to ensure adequate pressure to top storey units.

■ No building shall be more than 46m from the nearest hydrant.

Reason: In the interest of public health and in order to comply with the Sanitary Services Acts 1878-1964.

10 The applicant shall comply with the recommendations of Duchas to conduct Archaeological Assessment and Testing. No site preparation or construction work shall be carried out until after the archaeologists report has been submitted and permission to proceed has been received in writing from Duchas.

The Archaeological Assessment shall be compiled as follows:

(a) The applicant shall employ a licensed archaeologist to carry out archaeological assessment of the development site.

No- subsurface work shall be undertaken in the absence of the archaeologist without his/her express consent

(b) The archaeologist shall carry out any relevant documentary research: inspect the site and excavate test trenches at locations chosen by archaeologist, having consulted the site plans and the Licensing Section of Duchas.

(c) Having completed the work, the archaeologist shall submit a written report to the Planning Authority and to Duchas. The report shall comment on the degree to which the extent, location and levels of the basement and all proposed foundations, services trenches and other sub-surface works associated with the development will effect the archaeological remains. This should be illustrated with appropriate plans, sections, photographs etc.

(d) Duchas will make additional recommendations based on the results of the Archaeological Testing to the Planning Authority and consultant archaeologists.

Reason: In the interest of the proper planning and development of the area.

11 The applicant shall comply with requirements of the Parks and Landscape Services Department, South County Dublin with regard to the following:

(a) Prior to the commencement of works on site the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification for the treatment of

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internal courtyards and communal areas within the scheme. This plan to include details of boundary treatments, courtyard planting and street tree planting. The works to be in accordance with South Dublin County Council's Guidelines for Open Space Development & Taking in Charge, available from the Parks and Landscape Services Department.

(b) Prior to the commencement of works on site, the developer to submit for approval a detailed tree survey of the site, specifying proposals for tree surgery/felling works and tree protection measures to be put in place for the duration of construction works. The applicant should confirm the likely impact of the proposed construction works (including the underground car-park) on the future health/condition of those trees to be retained on site. The trees to be retained on site are to be protected by suitable fencing and a scheme of tree felling and surgery works based on the applicants tree survey is to be carried out prior to the commencement of works on site. An official from the Parks and Landscape Services Department will inspect the protective fencing to be erected by the developer, prior to any works commencing on site.

Reason: In the interest of the proper planning and development of the area.

- 12 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with the Council's Housing Strategy prepared in accordance with Part V of the Planning and Development Act 2000 as referred to in Section 2.2.7(ii) and as set out in "Appendix F" of the South Dublin County Development Plan 1998.

REASON:

To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

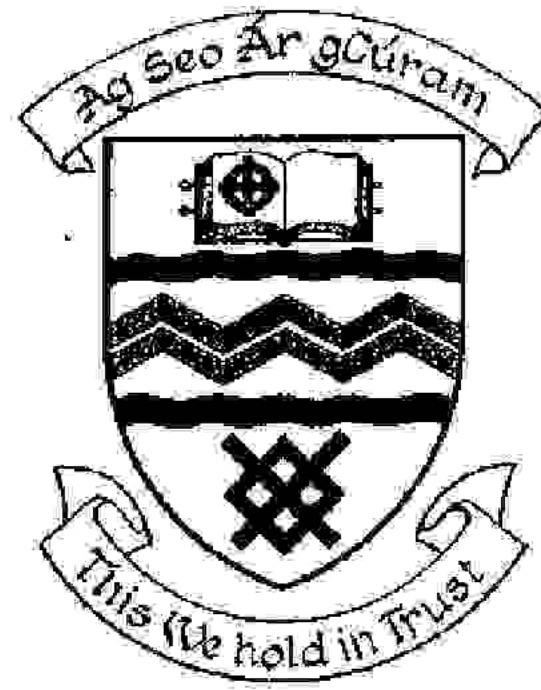
- 13 The proposed development shall comply with the requirements of the Conservation Officer with regard to the following.

(a) Revised drawings of library section c-c and first floor block plan are required prior to development commencing ensuring that the drawings correlate, showing the correct number of windows to the rear of the library building.

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(b) A statement is required to indicate how the applicant proposes to protect the library building during works on site.

(c) The applicant is requested to submit details on all selected materials and paint colour for external finishes prior to the commencement of development.

REASON: In the interest of visual amenity and the protection of a Protected Structure.

- 14 That prior to the occupation of 50% of the dwelling units permitted under this decision, the developer shall have completed and transferred to the Planning Authority the extension to the Library in accordance with the agreement entered into with the Planning Authority.

REASON:

In the interest of the proper planning and development of the area.

- 15 That the applicant, prior to the commencement of development, submit for the written agreement of the Planning Authority plans, particulars and details of railings to the site boundary, and these railings shall be constructed of cast iron/steel on secure low base not exceeding 0.3m in height.

REASON:

In the interest of visual amenity and the protection of residential amenity.

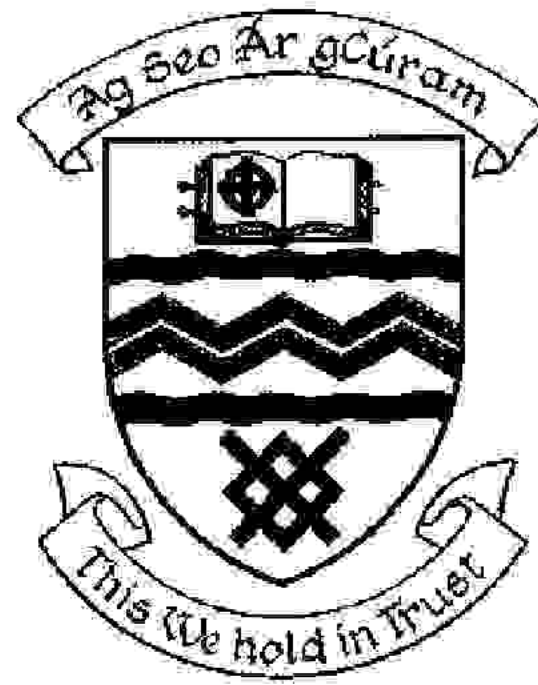
- 16 Prior to the commencement of development, the applicant shall submit details (including samples) of brick for proposed development for the written agreement of the Planning Authority.

REASON:

In the interest of visual amenity and the protection of residential amenity.

- 17 That a financial contribution in the sum of £43,500 (forty three thousand and five hundred pounds) EUR 52,234 (fifty two thousand two hundred and thirty four euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed

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development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 18 That a financial contribution in the sum of £121,800 (one hundred and twenty one thousand eight hundred pounds) EUR 154,654 (one hundred and fifty four thousand six hundred and fifty four euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

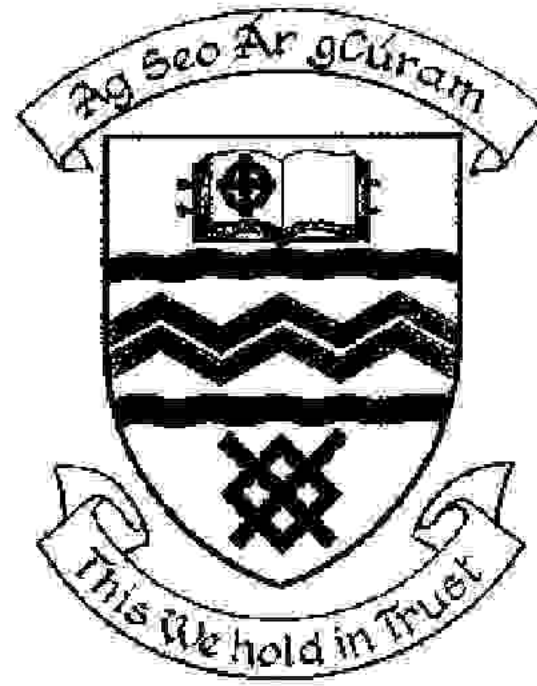
- 19 That a financial contribution in the sum of £43,500 (forty three thousand five hundred pounds) EUR 55,234 (fifty five thousand two hundred and thirty four euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 20 That a financial contribution in the sum of £8,236 (eight thousand two hundred and thirty six pounds) EUR 10,458 (ten thousand four hundred and fifty eight euros) be paid by the

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proposer to South Dublin County Council towards the cost of upgrading of Watery Lane Foul Sewer which will facilitate this development; this contribution to be paid before the commencement of development on site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 21 Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £58,000 (fifty eight thousand pounds) EUR 73,645 (seventy three thousand six hundred and forty five euros), a bond of an Insurance Company of £87,000 (eighty seven thousand pounds) EUR 110,467 (one hundred and ten thousand four hundred and sixty seven euros), or other security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development.

**REASON:**

To ensure the satisfactory completion of the development.

- 22 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

**REASON:**

In the interest of the proper planning and development of the area.