

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0113	
1. Location	Ballyowen Lane, Ballyowen, Lucan, Co. Dublin.		
2. Development	Total proposed development comprising c. 1989 square metres contained in 2 no. 2 storey buildings comprising 24 no. 2 bedroom apartments with 32 no. associated car-parking spaces, perimeter fencing, site works and drainage. The demolition of existing residential dwelling and all associated buildings within the site curtilage		
3. Date of Application	01/03/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 31/05/2001 2.	1. 2.
4. Submitted by	Name: Project Architects Address: The Priory, Johns Street West,		
5. Applicant	Name: Ballymore Properties Ltd Address: 35/38 St. Stephen's Green, Dublin 2.		
6. Decision	O.C.M. No. 2070 Date 31/05/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

14.

Registrar

Date

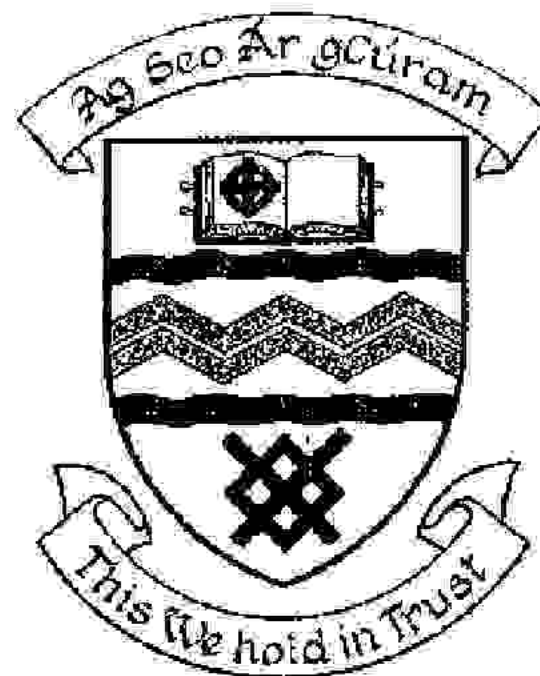
Receipt No.

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SOUTH DUBLIN COUNTY COUNCIL
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2070	Date of Decision 31/05/2001
Register Reference S01A/0113	Date: 01/03/00

Applicant Ballymore Properties Ltd
Development Total proposed development comprising c. 1989 square metres contained in 2 no. 2 storey buildings comprising 24 no. 2 bedroom apartments with 32 no. associated car-parking spaces, perimeter fencing, site works and drainage. The demolition of existing residential dwelling and all associated buildings within the site curtilage

Location Ballyowen Lane, Ballyowen, Lucan, Co. Dublin.

App. Type Permission

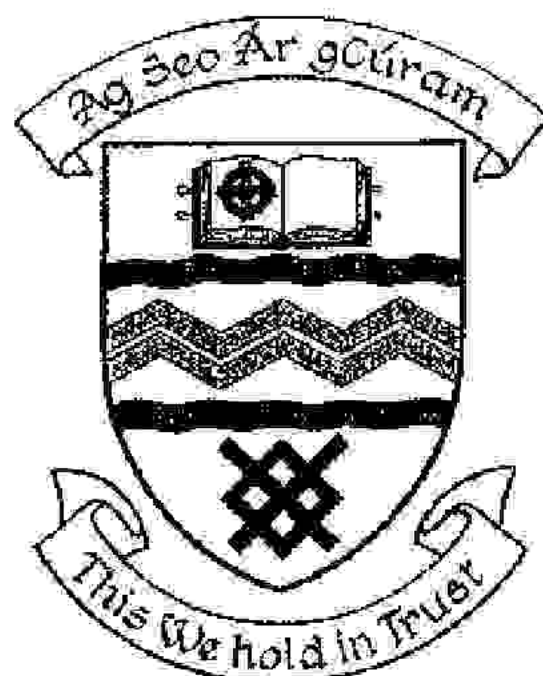
Dear Sir/Madam,

With reference to your planning application, received on 01/03/00 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following ADDITIONAL INFORMATION must be submitted in quadruplicate:

- 1 The foul drainage information provided with this application is not adequate. The applicant is required to submit the following details to satisfy the requirements of the Environmental Services Dept:
(a) A revised foul drainage layout showing the location of all existing and proposed drains, sewers, manholes and AJs serving the site. This shall be in compliance with Part H of the 1997 Building Regulations. It shall clearly show pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer. It shall clearly identify which sections of the existing sewer are to be upsized.
(b) A longitudinal section of the foul drainage clearly showing pipe sizes, gradients, cover and invert levels, up

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to and including connection to public sewer.

(c) Design calculations for the foul drainage layout. Sufficient detail shall be included in these calculations to demonstrate that the receiving system can accept the additional flows from the development without surcharge i.e. Calculations to include estimated flows into the existing private sewers from surrounding properties.

(d) The applicant is proposing to discharge effluent into an existing manhole/sewer that is not in charge. They shall submit written consent from the owner of this sewer to discharge foul effluent from the development into it.

(e) The applicant shall ensure full and complete separation of foul and surface water systems.

(f) The applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

2 The surface water drainage information provided with this application is not adequate. The applicant is required to submit the following details to satisfy the requirements of the Environmental Services Dept:

(a) A revised surface water drainage layout showing the location of all existing and proposed drains, sewers, gullies, petrol interceptors, manholes and AJs serving the site. This shall be in compliance with Part H of the 1997 Building Regulations and shall clearly show pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer. It shall clearly identify any sections of the existing sewer to be upsized.

(b) A longitudinal section of the surface water drainage clearly showing pipe sizes, gradients, cover and invert levels, up to and including connection to public sewer.

(c) The applicant is proposing to discharge surface water into an

existing manhole/sewer that is not in charge. They shall submit written consent from the owner of this sewer to discharge surface water from the development into it.

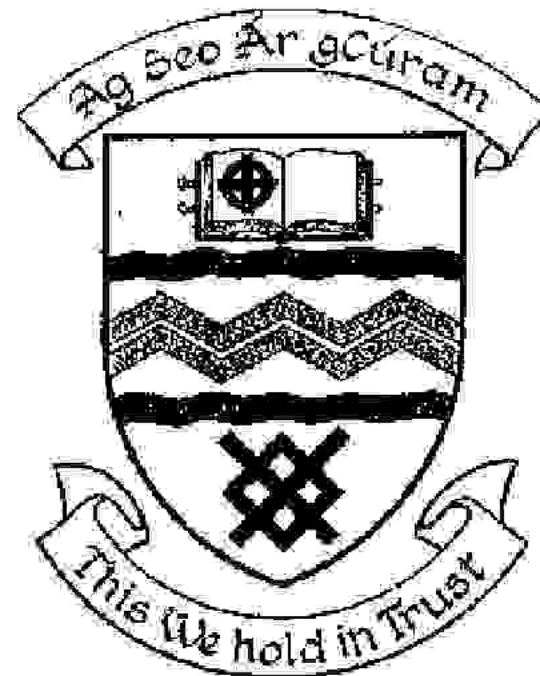
(d) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.

(e) Design calculations for the surface water drainage layout which should indicate the impervious roads areas contributing to runoff separately from that contributing from buildings. Sufficient detail shall be included in these

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calculations to demonstrate that the receiving system can accept the additional flows from the development without surcharge i.e. Calculations to include estimated flows into the existing private sewers from surrounding properties.

(f) Surface water discharges from the site shall be limited to a maximum discharge of 6 litres per second per hectare of site area. The applicant shall submit details indicating surface water attenuation facilities (i.e. storage ponds or other such facility) and flow control mechanism necessary to limit surface water discharges based on a rainfall intensity for a 20 year return period, of 2 hour duration. Details to include discharge calculations, pipe sizes, invert levels and gradients, manhole locations, required storm water storage volume, location of storm water storage area together with a cross-section of the storm water storage area showing details of both inlets and outlets. Details of proposed flow control mechanisms to limit surface water discharges to the equivalent of 6 litres per second per hectare shall also be submitted.

(g) The applicant shall ensure full and complete separation of foul and surface water systems.

(h) The applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge

3 It is understood that the applicant has entered negotiations with the County Council regarding the possibility of purchasing the adjoining site to the west. The applicant is requested to address the possibility of revising the current proposal to allow for an integrated development proposal with the adjoining site.

4 In the event of failing to achieve an integrated development proposal with the adjoining site, the applicant is requested to provide an alternative layout for the subject site, which provides the following:

(a) adequate vehicular access to the adjoining site to the west.

(b) An arrangement of buildings, which avoids the possibility of compromising the development potential of the adjoining site. In this regard, the Planning Authority is concerned that the proximity of Block 2 to the western boundary may limit the development potential of the adjoining site, because of the need for satisfactory

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separation distances to minimise the possible impact of overlooking.

(c) Revised drawings are required showing a more satisfactory separation distance between the northern gable of Block 2 and the adjoining residential properties.

- 5 The applicant is requested to propose an alternative location for the refuse storage area, which avoids proximity to the residential properties to the north.
- 6 The applicant shall note that the Roads Dept require the provision of car parking at a rate of 2 spaces per unit. The applicant is requested to consider providing additional car parking spaces within the site.
- 7 The applicant is required to submit the following details to satisfy the requirements of the Roads Dept
 - (a) details of a turning circle (hammerhead) at the end of the vehicular right of way on Ballyowen Lane to replace the one being incorporated into the adjoining site
 - (b) details of the treatment of the pedestrian/cycleway route between the end of Ballyowen Lane and the shopping centre.
- 8 The applicant is requested to consider the provision of balconies/private patio areas. Any such proposal shall avoid the possibility of undue overlooking of existing residences.
- 9 The provision of car parking at the eastern corner of the site will cause extensive damage to the roots of existing mature trees situated on the northern boundary of the site, which are proposed for retention. The layout of the parking area should therefore be amended to ensure that no damage is caused to the trees.

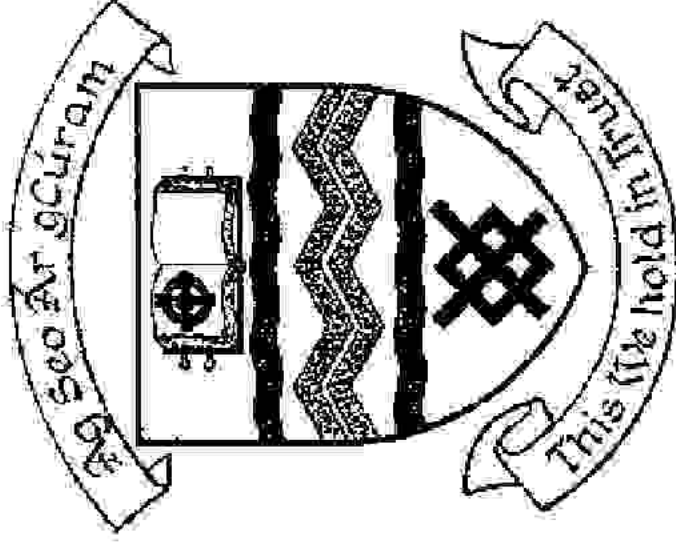
Note: The applicant shall note that any material alterations to the proposed development would require revised public notification procedures i.e. site and newspaper notices).

Signed on behalf of South Dublin County Council

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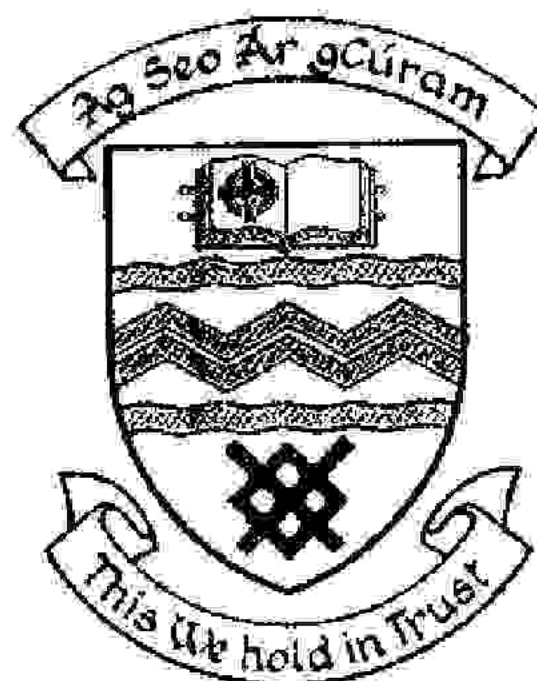
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.....
for Senior Administrative Officer

31/05/01

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Project Architects
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NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 2154	Date of Final Grant 07/06/2002
Decision Order Number 0442	Date of Decision 22/02/2002
Register Reference S01A/0113	Date 19/11/01

Applicant Ballymore Properties Ltd

Development Development of 1750 sq. m comprising of 22 residential units consisting of 11 no. 2 bedroom apartments, 11 no. 2 bedroom duplex houses, and 33 no. associated car-parking spaces, perimeter fencing, site works and drainage including revised site layout and the demolition of existing residential dwelling on the site

Location Ballyowen Lane, Ballyowen, Lucan, Co. Dublin.

Floor Area 1989.00 Sq Metres
Time extension(s) up to and including 25/02/2002
Additional Information Requested/Received 31/05/2001 /19/11/2001

A Permission has been granted for the development described above,
subject to the following (23) Conditions.

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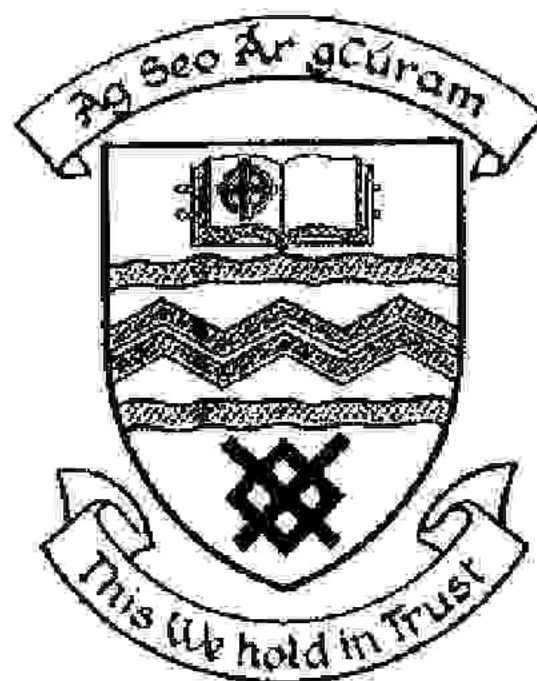
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 19/11/01, and Unsolicited Additional Information received on the 24/01/02 and 08/02/02, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 4 Prior to occupation of the units public lighting shall be provided as each street is occupied in accordance with a scheme to be agreed by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.
- 5 That no unit be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.
REASON:
In the interest of the proper planning and development of the area.

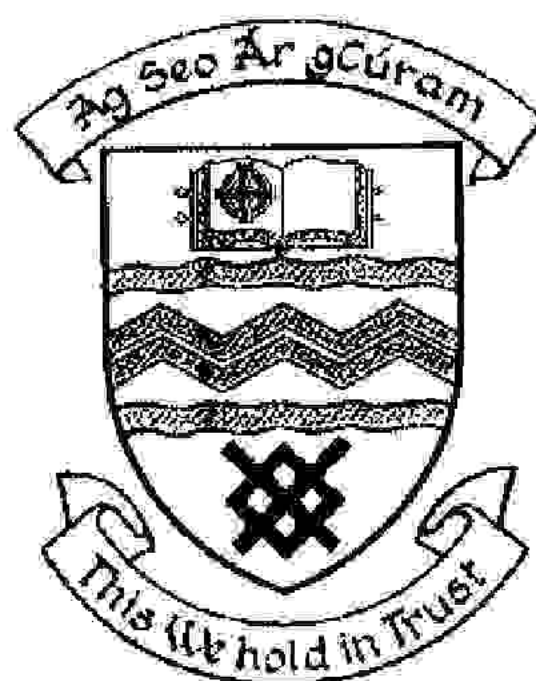
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REG. REF. S014/0111

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- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- (a) The applicant is proposing to discharge effluent, via the proposed adjoining development, into existing manhole/sewer in the existing pub. Prior to the commencement of development they shall submit written consent from the owner of this sewer to discharge foul effluent from the development into it.
 - (b) Applicant shall ensure full and complete separation of foul and surface water systems.
 - (c) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (d) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (e) The surface water discharges from the site shall be attenuated by the provision of 107m³ of storage fitted with a hydrobrake flow control such that the maximum surface water discharge from the site shall not exceed 6 l/s/ha.
 - (f) Prior to the commencement of development the applicant shall submit details of how it is proposed to keep the surface water attenuation system free from siltation. Details submitted shall include a maintenance/cleaning program for the system.
 - (g) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.
 - (h) Each apartment shall have its own individual service connection and 24hr storage.
 - (i) The watermain serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.
 - (j) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.
 - (k) No building shall be more than 46m from the nearest hydrant.
 - (l) All connections, swabbing, chlorination and tappings of County Council mains to be carried out by South Dublin County Council personnel at applicant's prior expense.

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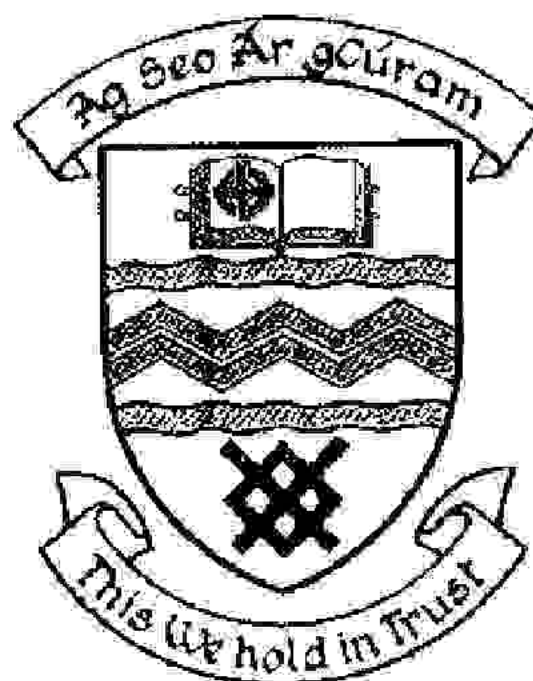
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REASON:

In order to comply with the Sanitary Services Acts, 1878-1964,

- 8 That an acceptable naming and unit numbering scheme be submitted to and agreed by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 9 That car parking facilities be provided in accordance with the Development Plan Standards.

REASON:

In the interest of the proper planning and development of the area.

- 10 Prior to the commencement of development the applicant shall submit for the written approval of the planning authority details including samples of external elevational and roofing materials to be used. The applicant shall submit a sample of the railing to be used. The type of railing to be used shall be a 20mm bow topped solid bar railing which is powder coating and galvanised.

REASON:

In the interest of proper planning and development of the area.

- 11 The trees to be retained on the site are to be protected for the duration of site development works and are to be enclosed by post and rail fencing, to be located 5m from the area covered by the crown spread of the trees, precise details to be agreed on site with the Parks Department. This fencing will be inspected on a regular basis by an official from the Parks and Landscape Services Department and is to be kept intact for the duration of site works.

REASON:

In the interest of the proper planning and development of the area.

- 12 Prior to the commencement of the development a scheme of tree felling and surgery works is to be agreed with the Parks Department and carried out

REASON:

In the interest of proper planning and development of the area.

- 13 Prior to the commencement of works on site a tree bond of EUR 63,487 (sixty three thousand four hundred and eighty

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REG. REF. S01001111 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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seven euro) to be lodged with South Dublin County Council to ensure the protection of trees to be retained on site. This bond will be released twelve months after the completion of all site works once it has been ascertained that all trees specified for retention have been preserved.

REASON:

In the interest of proper planning and development of the area.

- 14 Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification. This plan to include details in relation to the development and maintenance of the areas of private open space surrounding the apartment blocks and car park, boundary treatment, grass seeding, planting and street tree planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. A Management Agreement for the future maintenance of the areas of private open space should also be forwarded for approval.

REASON:

In the interest of proper planning and development of the area.

- 15 Prior to the commencement of any works, the proposed location of the site compound and the exact routes of all water mains, foul and surface water sewers are to be marked out on site and agreed with the Parks Department so as to minimise damage to trees which would inevitably result from excavation works and storage of materials.

REASON:

In the interest of proper planning and development of the area.

- 16 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with The Council's Housing Strategy prepared in accordance with Part V of the Planning and development Act 2000 as referred to in Section 2.2.7 (ii) and set out in "Appendix F" of the South Dublin Development Plan 1998.

REASON:

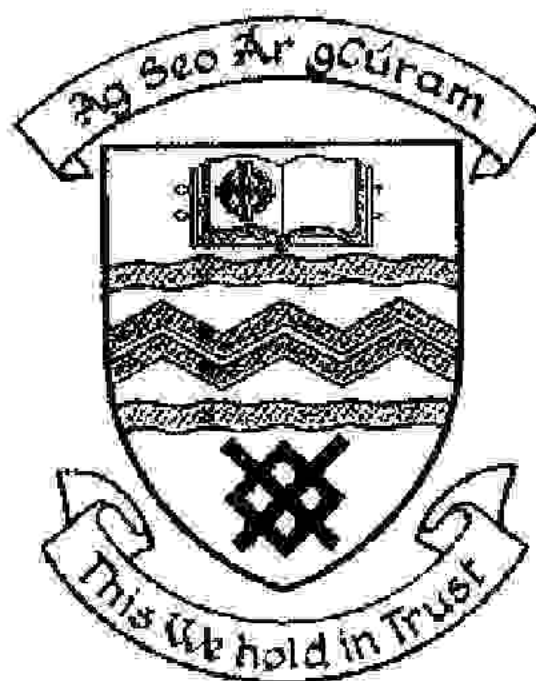
To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

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- 17 That a financial contribution in the sum of EUR 19,992 (Nineteen Thousand Nine Hundred and Ninety Two Euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 18 That a financial contribution in the sum of EUR 55,986 (Fifty Five Thousand Nine Hundred and Eighty Six Euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 19 That a financial contribution in the sum of EUR 19,992 (Nineteen Thousand Nine Hundred and Ninety Two Euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 20 That a financial contribution in the sum of EUR 10,668 (Ten Thousand Six Hundred and Sixty Eight Euro) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

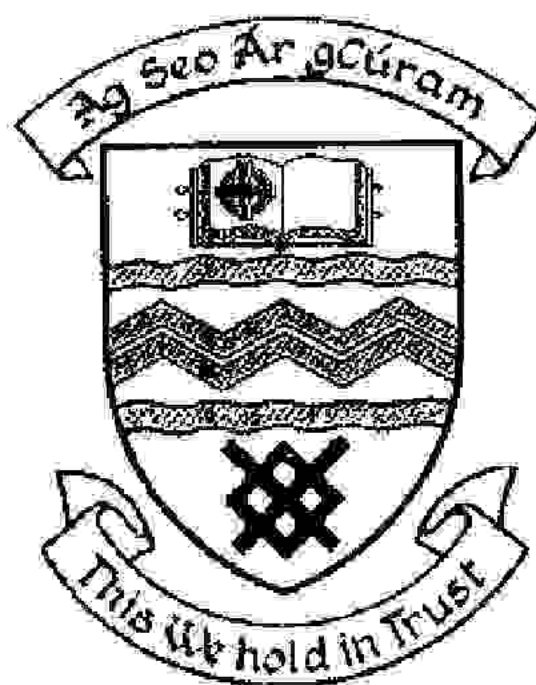
The provision of such services in the area by the Council

REG. REF. S01A/CMB

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will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 21 That a financial contribution in the sum of EUR 2,667 (Two Thousand Six Hundred and Sixty Seven Euro) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 22 That a financial contribution in the sum of EUR 1,323 (One Thousand Three Hundred and Twenty Three Euro) be paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 23 That a financial contribution in the sum of EUR 3,087 (Three Thousand and Eighty Seven Euro) be paid by the proposer to South Dublin County Council towards the cost of the "9B" Catchment foul drainage improvement works which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.

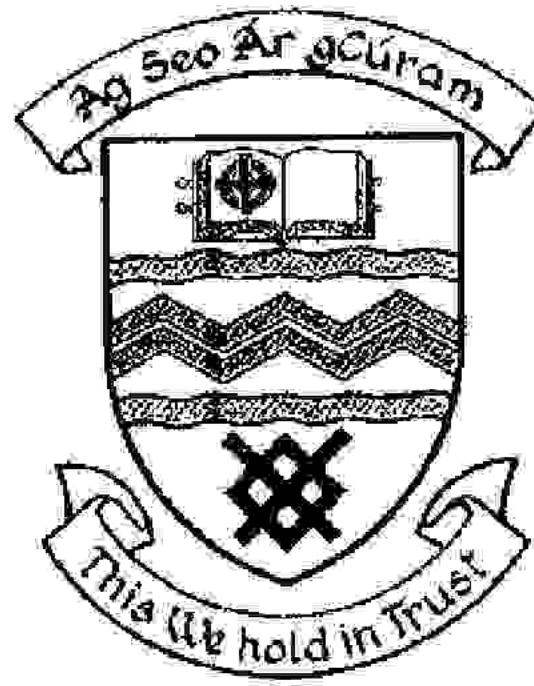
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- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

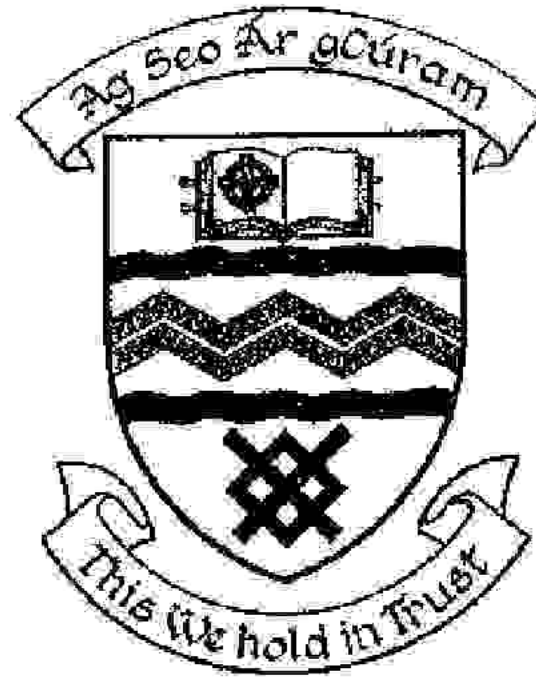
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for SENIOR ADMINISTRATIVE OFFICER

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**NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 0442	Date of Decision 22/02/2002
Register Reference S01A/0113	Date: 01/03/01

Applicant Ballymore Properties Ltd

Development Development of 1750 sq. m comprising of 22 residential units consisting of 11 no. 2 bedroom apartments, 11 no.2 bedroom duplex houses, and 33 no. associated car-parking spaces, perimeter fencing, site works and drainage including revised site layout and the demolition of existing residential dwelling on the site

Location Ballyowen Lane, Ballyowen, Lucan, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including 25/02/2002

Additional Information Requested/Received 31/05/2001 /19/11/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (23) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

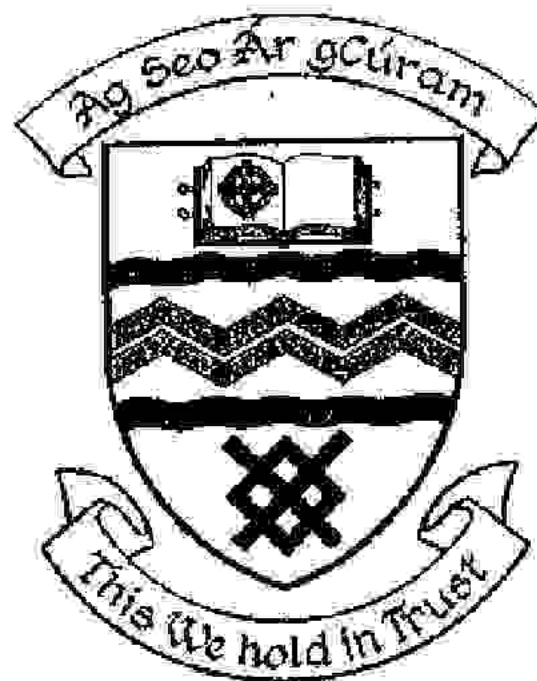
..... 25/02/02
for SENIOR ADMINISTRATIVE OFFICER

Project Architects
The Priory,
Johns Street West,
Dublin 8.

**SOUTH DUBLIN COUNTY COUNCIL
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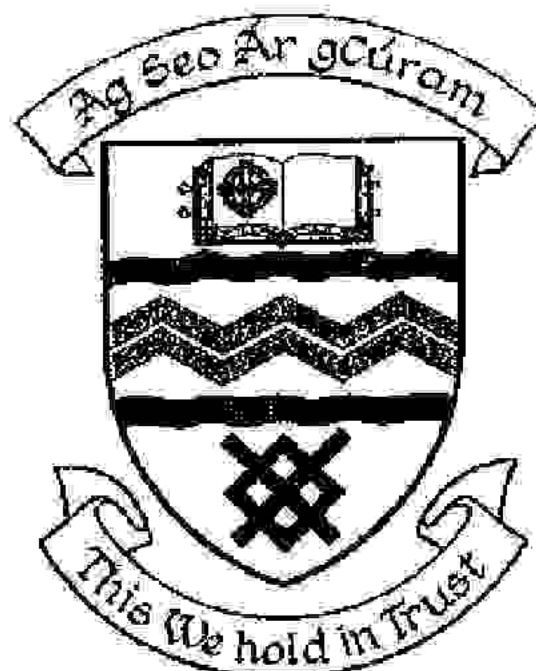
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 19/11/01, and Unsolicited Additional Information received on the 24/01/02 and 08/02/02, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 4 Prior to occupation of the units public lighting shall be provided as each street is occupied in accordance with a scheme to be agreed by the County Council so as to provide street lighting to the standard required by South Dublin County Council.
REASON:
In the interest of amenity and public safety.
- 5 That no unit be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.

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- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.

REASON:

In the interest of the proper planning and development of the area.

- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- (a) The applicant is proposing to discharge effluent, via the proposed adjoining development, into existing manhole/sewer in the existing pub. Prior to the commencement of development they shall submit written consent from the owner of this sewer to discharge foul effluent from the development into it.
 - (b) Applicant shall ensure full and complete separation of foul and surface water systems.
 - (c) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (d) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (e) The surface water discharges from the site shall be attenuated by the provision of 107m³ of storage fitted with a hydrobrake flow control such that the maximum surface water discharge from the site shall not exceed 6 l/s/ha.
 - (f) Prior to the commencement of development the applicant shall submit details of how it is proposed to keep the surface water attenuation system free from siltation. Details submitted shall include a maintenance/cleaning program for the system.
 - (g) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer.
 - (h) Each apartment shall have its own individual service connection and 24hr storage.

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- (i) The watermain serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.
- (j) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.
- (k) No building shall be more than 46m from the nearest hydrant.
- (l) All connections, swabbing, chlorination and tappings of County Council mains to be carried out by South Dublin County Council personnel at applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8 That an acceptable naming and unit numbering scheme be submitted to and agreed by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 9 That car parking facilities be provided in accordance with the Development Plan Standards.

REASON:

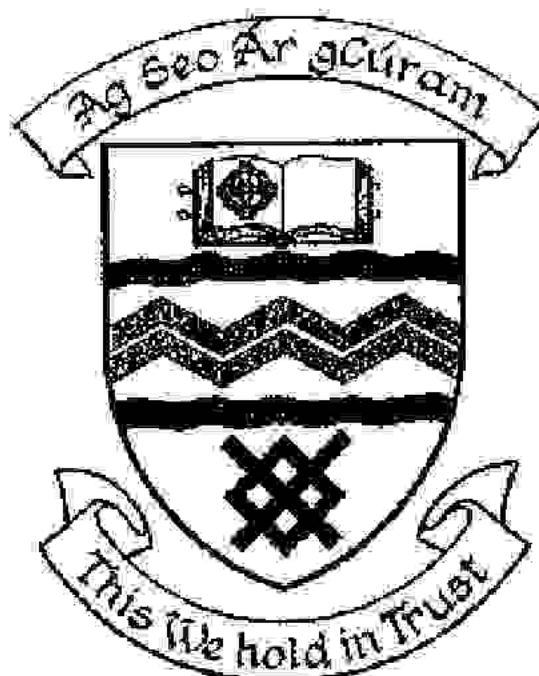
In the interest of the proper planning and development of the area.

- 10 Prior to the commencement of development the applicant shall submit for the written approval of the planning authority details including samples of external elevational and roofing materials to be used. The applicant shall submit a sample of the railing to be used. The type of railing to be used shall be a 20mm bow topped solid bar railing which is powder coating and galvanised.

REASON:

In the interest of proper planning and development of the area.

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- 11 The trees to be retained on the site are to be protected for the duration of site development works and are to be enclosed by post and rail fencing, to be located 5m from the area covered by the crown spread of the trees, precise details to be agreed on site with the Parks Department. This fencing will be inspected on a regular basis by an official from the Parks and Landscape Services Department and is to be kept intact for the duration of site works.

REASON:

In the interest of the proper planning and development of the area.

- 12 Prior to the commencement of the development a scheme of tree felling and surgery works is to be agreed with the Parks Department and carried out

REASON:

In the interest of proper planning and development of the area.

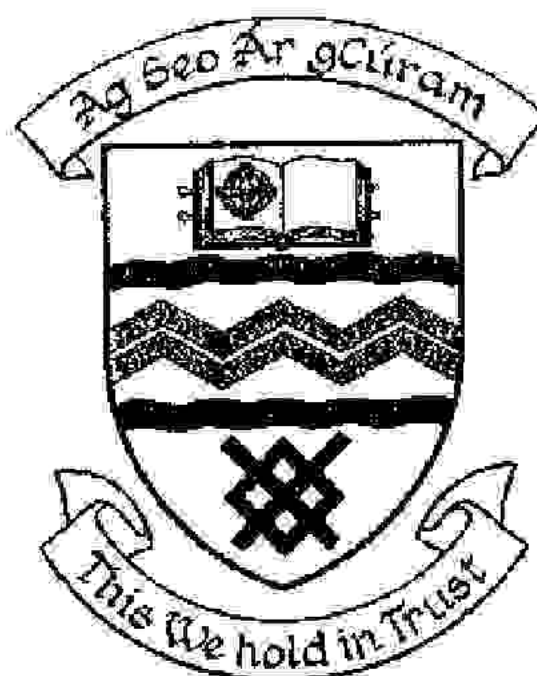
- 13 Prior to the commencement of works on site a tree bond of EUR 63,487 (sixty three thousand four hundred and eighty seven euro) to be lodged with South Dublin County Council to ensure the protection of trees to be retained on site. This bond will be released twelve months after the completion of all site works once it has been ascertained that all trees specified for retention have been preserved.

REASON:

In the interest of proper planning and development of the area.

- 14 Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan with full works specification. This plan to include details in relation to the development and maintenance of the areas of private open space surrounding the apartment blocks and car park, boundary treatment, grass seeding, planting and street tree planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department. A Management Agreement for the future maintenance of the areas of private open space should also be forwarded for approval.

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REASON:

In the interest of proper planning and development of the area.

- 15 Prior to the commencement of any works, the proposed location of the site compound and the exact routes of all water mains, foul and surface water sewers are to be marked out on site and agreed with the Parks Department so as to minimise damage to trees which would inevitably result from excavation works and storage of materials.

REASON:

In the interest of proper planning and development of the area.

- 16 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with The Council's Housing Strategy prepared in accordance with Part V of the Planning and development Act 2000 as referred to in Section 2.2.7 (ii) and set out in "Appendix F" of the South Dublin Development Plan 1998.

REASON:

To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

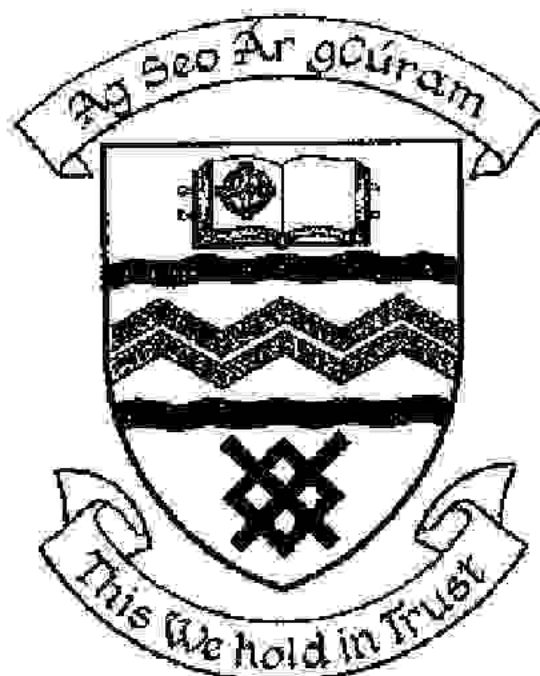
- 17 That a financial contribution in the sum of EUR 19,992 (Nineteen Thousand Nine Hundred and Ninety Two Euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 18 That a financial contribution in the sum of EUR 55,986 (Fifty Five Thousand Nine Hundred and Eighty Six Euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic

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management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 19 That a financial contribution in the sum of EUR 19,992 (Nineteen Thousand Nine Hundred and Ninety Two Euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 20 That a financial contribution in the sum of EUR 10,668 (Ten Thousand Six Hundred and Sixty Eight Euro) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 21 That a financial contribution in the sum of EUR 2,667 (Two Thousand Six Hundred and Sixty Seven Euro) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council

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will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 22 That a financial contribution in the sum of EUR 1,323 (One Thousand Three Hundred and Twenty Three Euro) be paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 23 That a financial contribution in the sum of EUR 3,087 (Three Thousand and Eighty Seven Euro) be paid by the proposer to South Dublin County Council towards the cost of the "9B" Catchment foul drainage improvement works which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0301	Date of Decision 06/02/2002
Register Reference S01A/0113	Date 01/03/01

Applicant Ballymore Properties Ltd
App. Type Permission
Development Development of 1750 sq. m comprising of 22 residential units consisting of 11 no. 2 bedroom apartments, 11 no. 2 bedroom duplex houses, and 33 no. associated car-parking spaces, perimeter fencing, site works and drainage including revised site layout and the demolition of existing residential dwelling on the site

Location Ballyowen Lane, Ballyowen, Lucan, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 25/02/2002

Yours faithfully

M7 08/02/02
for SENIOR ADMINISTRATIVE OFFICER

Project Architects
The Priory,
Johns Street West,
Dublin 8.

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0104	Date of Decision 14/01/2002
Register Reference S01A/0113	Date 01/03/01

Applicant Ballymore Properties Ltd
App. Type Permission
Development Development of 1750 sq. m comprising of 22 residential units consisting of 11 no. 2 bedroom apartments, 11 no.2 bedroom duplex houses, and 33 no. associated car-parking spaces, perimeter fencing, site works and drainage including revised site layout and the demolition of existing residential dwelling on the site

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Yours faithfully


..... 15/01/02
for SENIOR ADMINISTRATIVE OFFICER

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