

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0186	
1. Location	Yellow Meadows Road, Nangor/Fox & Geese Road, Clondalkin, Dublin 22.		
2. Development	204 no. apartments consisting of 171 no. 2 bedroom and 33 no. 1 bedroom apartments in three separate apartment blocks ranging from 2 to 4 storeys and with penthouse fifth floor level in Blocks B and C and extending from 5 to 7 storeys in front Block A fronting Nangor/Fox & Geese Road; with semi-basement level car-parking under all blocks; with vehicle access to development from Yellow Meadows Road and vehicular access bridge over Camac River to front Block A; incorporating riverside walkway along Camac River; on site 1.55 h.a.		
3. Date of Application	30/03/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Pierces & Associates Architects, Address: 104 Francis Street, Dublin 8.		
5. Applicant	Name: Little Brook Limited, Address: 13 - 15 Rathfarnham Road, Terenure, Dublin 6W.		
6. Decision	O.C.M. No. 2808 Date 30/08/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			

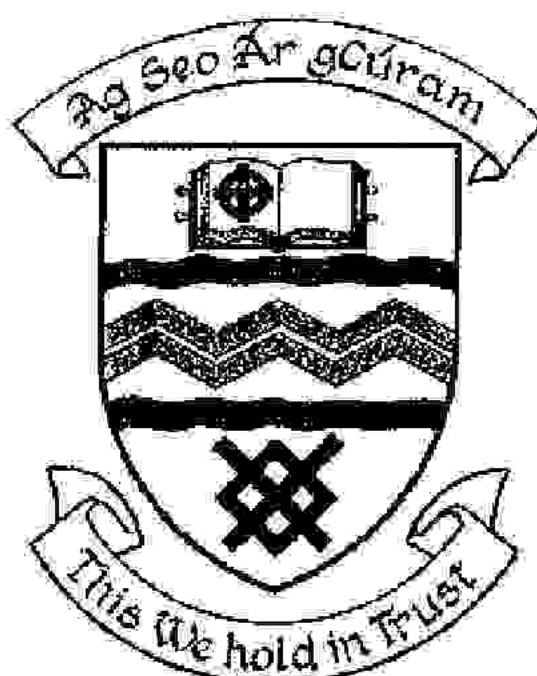
13.	E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2808	Date of Decision 30/08/2001
Register Reference S01A/0186	Date: 30/03/01

Applicant Little Brook Limited,

Development 204 no. apartments consisting of 171 no. 2 bedroom and 33 no. 1 bedroom apartments in three separate apartment blocks ranging from 2 to 4 storeys and with penthouse fifth floor level in Blocks B and C and extending from 5 to 7 storeys in front Block A fronting Nangor/Fox & Geese Road; with semi-basement level car-parking under all blocks; with vehicle access to development from Yellow Meadows Road and vehicular access bridge over Camac River to front Block A; incorporating riverside walkway along Camac River; on site 1.55 h.a.

Location Yellow Meadows Road, Nangor/Fox & Geese Road, Clondalkin, Dublin 22.

Floor Area Sq Metres

Time extension(s) up to and including 31/08/2001

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

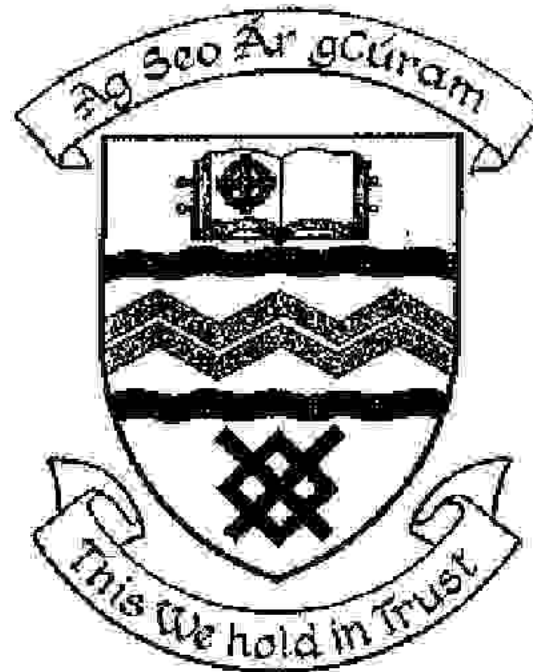
Subject to the conditions (32) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

Pierces & Associates Architects,
104 Francis Street,
Dublin 8.

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30/08/01
for SENIOR ADMINISTRATIVE OFFICER

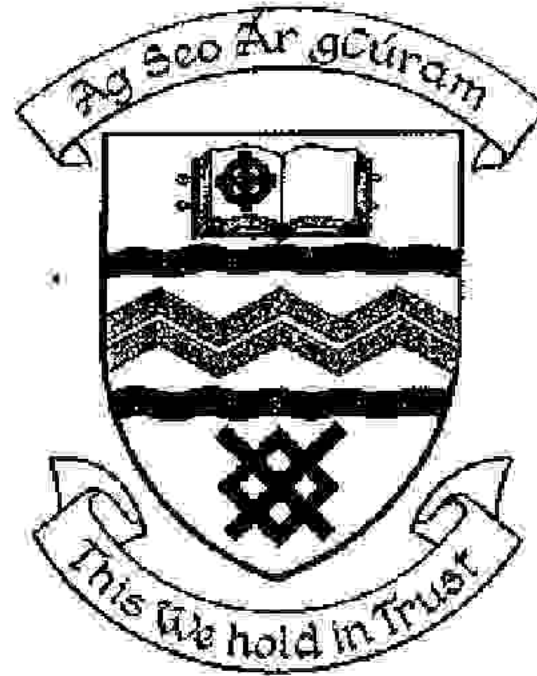
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by unsolicited additional information was received on 19/06/2001 and 10/08/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 4 That no apartment be occupied until all the services have been connected thereto and are operational.

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REASON:

In the interest of the proper planning and development of the area.

- 5 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 6 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 7 That an acceptable naming and apartment numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed units.

REASON:

In the interest of the proper planning and development of the area.

- 8 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

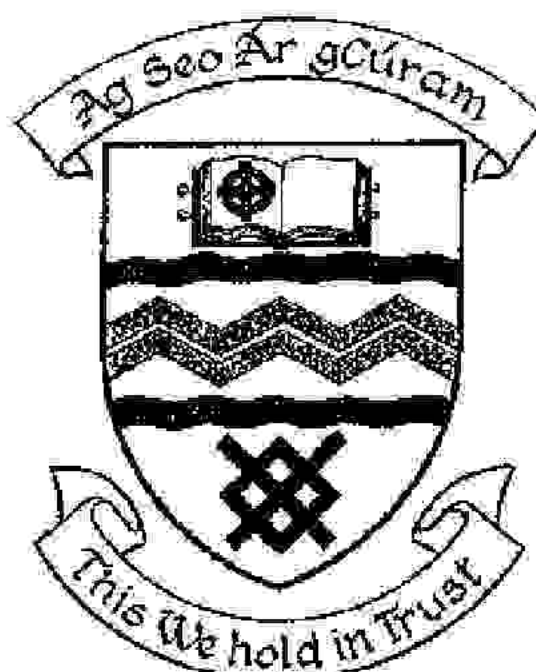
To protect the amenities of the area.

- 9 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

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REASON:

In the interest of the proper planning and development of the area.

- 10 That the main vehicular access point from the yellow meadows road shall be revised by a minimum of 5m. in a southerly direction and that the car parking spaces numbered 1-6 on drawing no pp02 submitted to the Planning Department on the 10/08/01 shall be relocated to the northern side of the access road.

REASON:

In the interest of the proper planning and development of the area.

- 11 That the applicant shall submit details of the collection point for all waste. These details shall include measures taken to screen these areas and measures to be taken to reduce smells. These details shall include elevations of all screening measures.

REASON:

In the interest of proper planning and development of the area visual amenity and public health

- 12 That the use of the proposed grass reinforcement system shall be omitted on the main roadway and substituted with the use of cobble lock or a similar type durable material which would indicate a shared surface for both vehicles and pedestrians.

REASON:

In the interest of proper planning and development of the area.

- 13
- Each apartment shall have its own individual service connection and 24hr storage.
 - Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to upper storey units to ensure adequate pressure to upper storey units.
 - The applicant shall satisfy the requirements of the Water Management Section of South Dublin County Council in relation to the metering of the development. This shall include:
 - (i) A meter to record flow to the development.
 - (ii) A remote reading device for the meter.

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(iii) A 'Technology' logger compatible with South Dublin County Council logging equipment.

REASON:

In the interest of the proper planning and development of the area.

- 14 The proposed railings shall consist of 20mm solid bar bow topped railing powder coated and galvanised. The plinth shall be no greater than .5m and a sample of the proposed material to be used in this wall shall be submitted to the Planning Authority for written agreement prior to the commencement of development.

In the interest of proper planning and development of the area and visual amenity.

- 15 Elevations of the proposed access gate shall be submitted for the written approval of the Planning Authority prior to the commencement of development. (The applicant should note that this gate should be designed as an entrance feature to the development.)

REASON:

In the interest of proper planning and development of the area.

- 16 All vehicle access gates shall be omitted with the exception of the main proposed vehicle access gate and those, which secure the basement car parks. Details of the proposed gates leading to the basement car parks shall be submitted to the Planning Authority for written agreement prior to the commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 17 Prior to the commencement of development the applicant shall submit to the Planning Authority the written agreement of the OPW to the building of the proposed bridge.

REASON:

In the interest of proper planning and development of the area.

- 18 The applicant shall submit for the written agreement of the Planning Authority details of a security gate pedestrian

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access at the north western section of the site.

REASON:

In the interest of proper planning and development of the area.

- 19 The applicant shall submit revised designs for the proposed bridge for the written agreement of the Planning Authority prior to the commencement of development. The revised designs shall be for a more modern elegant type structure.

REASON:

In the interest of proper planning and development of the area, and recreational and visual amenity.

- 20 Prior to the commencement of development the applicant shall submit to the Planning Authority for written agreement samples of brick types, window types and roofing materials to be used in the construction of Blocks A, B, and C. The applicant shall also submit for written agreement samples of the materials to be used in the construction of the proposed bridge.

REASON:

In the interest of proper planning and development of the area.

- 21 The construction of the riverside walk is to be carried out by the applicant in accordance with a scheme to be agreed in writing with the Planning Authority prior to commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 22 The lands comprising the riverside walk (which have a minimum width of 5m) are to be ceded free of charge to the County Council on completion of the development.

REASON:

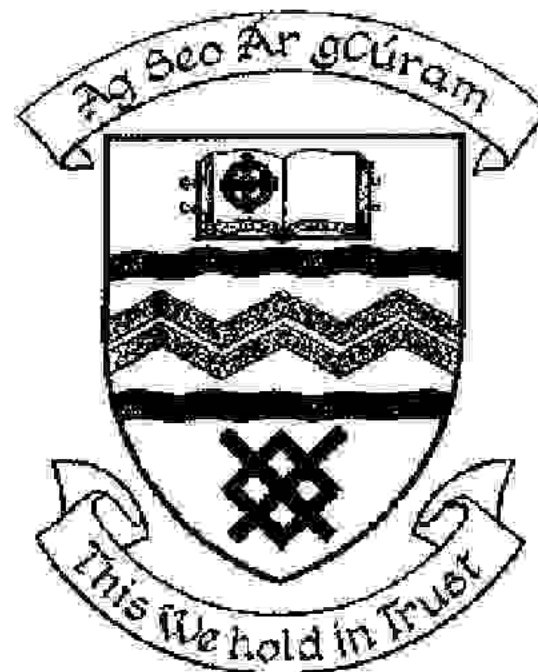
In the interest of proper planning and development of the area.

- 23 The landscape plan submitted with the application to be implemented in full and precise arrangements for the treatment of the banks of the River Camac are to be agreed in writing with the Planning Authority prior to commencement

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of development.

REASON:

In the interest of proper planning and development of the area.

- 24 A low stone wall and railing as specified under condition no.13 of this permission is to be erected on the boundary between the development and the existing County Council public open space located to the southeast of the site along the boundary of the riverside walk. Precise details are to be agreed in writing with the Planning Authority prior to commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 25 Details of the arrangements for the provision of access to the riverside walk from the proposed development and from the adjoining open space areas, is to be submitted for the written agreement of the Planning Authority prior to the commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 26 No works shall be carried out on the bed of the Camac River during the fish spawning season i.e. (November to March)

REASON:

In the interest of proper planning and development of the area.

- 27 Details in relation to the treatment of the proposed surface water outfall/headwall discharging to the Camac River are to be agreed in writing with the Planning Authority prior to commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 28 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with the Council's Housing Strategy prepared in accordance with Part V of the

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Planning and Development Act 2000 as referred to in Section 2.2.7(ii) and as set out in "Appendix F" of the South Dublin County Development Plan 1998.

REASON:

To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

- 29 That a financial contribution in the sum of £144,744 (One Hundred and Forty Four Thousand Seven Hundred and Forty Four Pounds) EUR 183,787 (One Hundred and Eighty Three Thousand Seven Hundred and Eighty Seven Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 30 That a financial contribution in the sum of £387,555 (Three Hundred and Eighty Seven Thousand Five Hundred and Fifty Five Pounds) EUR 492,093 (Four Hundred and Ninety Two Thousand and Ninety Three Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

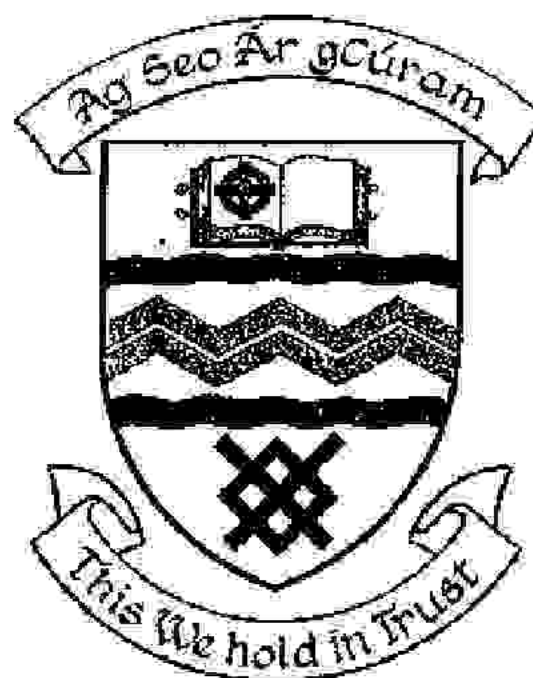
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 31 That a financial contribution in the sum of £138,000 (One Hundred and Thirty Eight Thousand Pounds) EUR 175,224 (One Hundred and Seventy Five Thousand and Two Hundred and Twenty Four Euros) be paid by the proposer to South Dublin County

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Council towards the cost of the development and improvement of public open space in Corkagh Park in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 32 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £297,000 (Two Hundred and Ninety Seven Thousand Pounds) EUR 377,112 (Three Hundred and Seventy Seven Thousand One Hundred and Twelve Euros) or lodgement with the Council of a cash sum of £198,000 (One Hundred and Ninety Eight Thousand Pounds) EUR 251,408 (Two Hundred and Fifty One Thousand Four Hundred and Eight Euros).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.