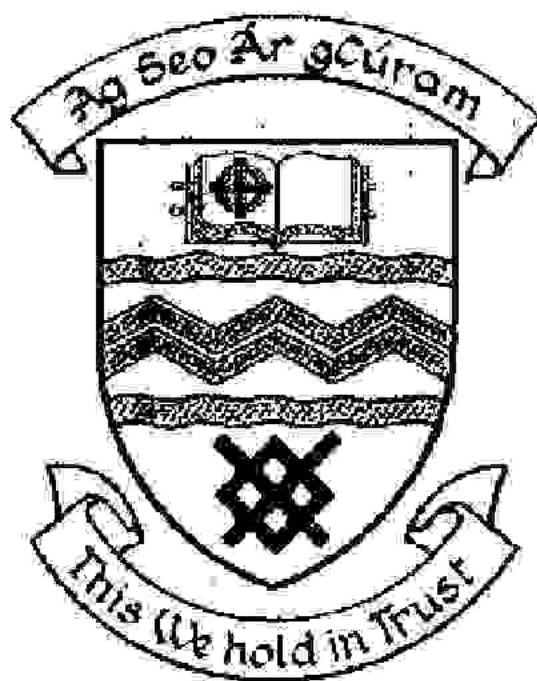


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0187	
1. Location	Bohernabreena, Dublin 24.		
2. Development	Construction of a dwelling house and septic tank.		
3. Date of Application	29/03/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 28/05/2001 2. 03/09/20	1. 05/07/2001 2. 02/10/20
4. Submitted by	Name: Grainne Mallon & Associates, Address: 6 Merrion Square, Dublin 2.		
5. Applicant	Name: Peter Quinn, Address: "Sunny Hill", Bohernabreena, Dublin 24.		
6. Decision	O.C.M. No. 3490 Date 28/11/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0101 Date 14/01/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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E-Mail: planning.dept@sducubincoco.ie

Grainne Mallon & Associates,
6 Merrion Square,
Dublin 2.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0101	Date of Final Grant 14/01/2002
Decision Order Number 3490	Date of Decision 28/11/2001
Register Reference S01A/0187	Date 02/10/01

Applicant Peter Quinn,

Development Construction of a dwelling house and septic tank.

Location Bohernabreena, Dublin 24.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 28/05/2001 /05/07/2001

A Permission has been granted for the development described above,
subject to the following (8) Conditions.

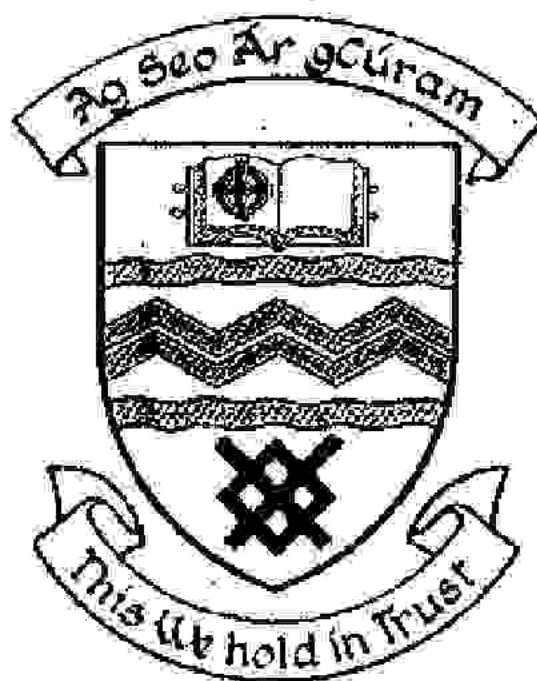
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REG REF. S011707

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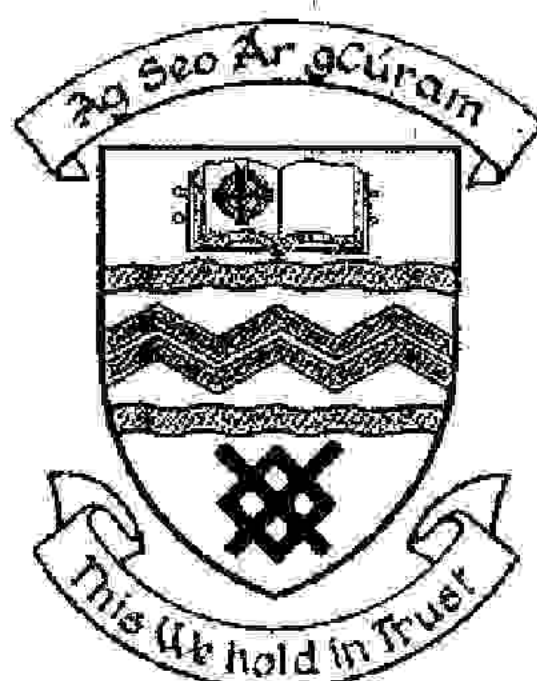
E-Mail: planning.dept@sdublincoco.ie

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 28/05/01 and Clarification of Additional Information received on 02/10/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 No development of any form (including planting, fencing, wing walls/piers to be within area required to provide visibility from the site entrance point.
REASON:
In the interest of public safety.
- 3 That the house, when completed, be first occupied by the applicant and/or members of his immediate family as a place of permanent residence.
REASON:
In the interest of the proper planning and development of the area.
- 4 That septic tank and percolation areas shall accord with the standards set out in "Recommendations for Septic Tank Drainage Systems SR6, 1991" available from Eolas.
REASON:
In the interest of the proper planning and development of the area.
- 5 That a financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 6 In the event of a connection to the public sewer, a further financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six

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euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

REASON:

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 7 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 8 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

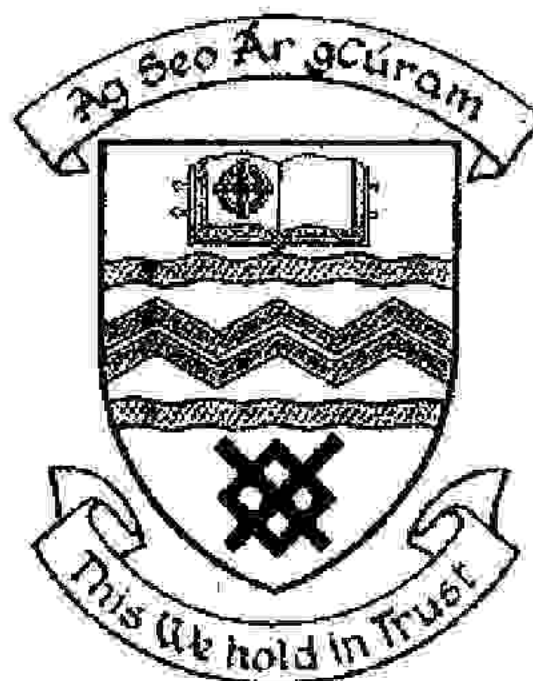
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced

REG REF. S010/01

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Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

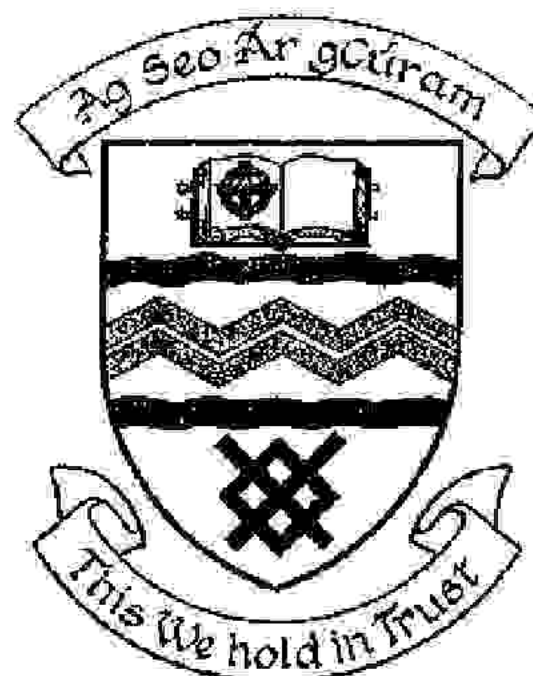
.....*acs*.....14/01/02
for SENIOR ADMINISTRATIVE OFFICER

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2824	Date of Decision 03/09/2001
Register Reference S01A/0187	Date 29/03/01

Applicant Peter Quinn,
App. Type Permission
Development Construction of a dwelling house and septic tank.

Location Bohernabreena, Dublin 24.

Dear Sir / Madam,

With reference to your planning application, additional information received on 05/07/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1999 and Planning and Development Act 2000, the following Clarification of Additional Information must be submitted in quadruplicate:

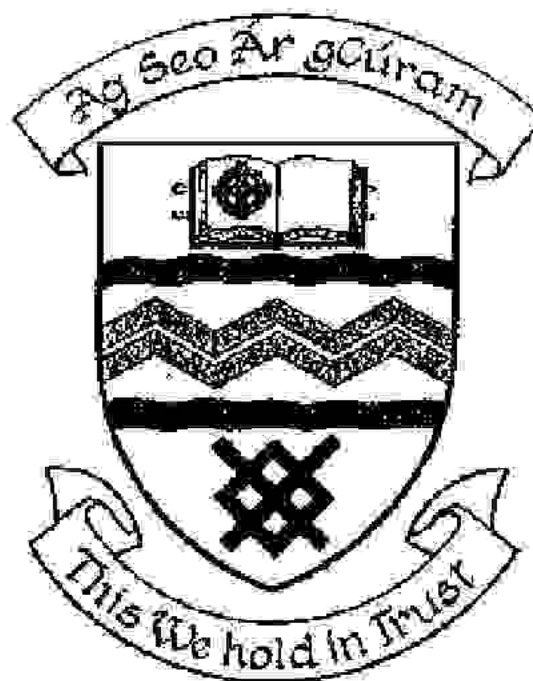
1. It is noted that the revised proposal submitted as Additional Information involves several changes including a revised location for the proposed entrance; substantial revision of the site boundary and reduction in the size of the site; slight repositioning of the proposed house on the site; and relocation of the septic tank and percolation area. The applicant is requested to submit 2 no. copies of revised public notices (site and newspaper notices) referring to these amendments.

Grainne Mallon & Associates,
6 Merrion Square,
Dublin 2.

**SOUTH DUBLIN COUNTY COUNCIL
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REG REF. S01A/0187

Please mark your reply "CLARIFICATION OF ADDITIONAL INFORMATION" and quote the Planning Reg Ref. No. given above.

Yours faithfully


.....
for SENIOR ADMINISTRATIVE OFFICER

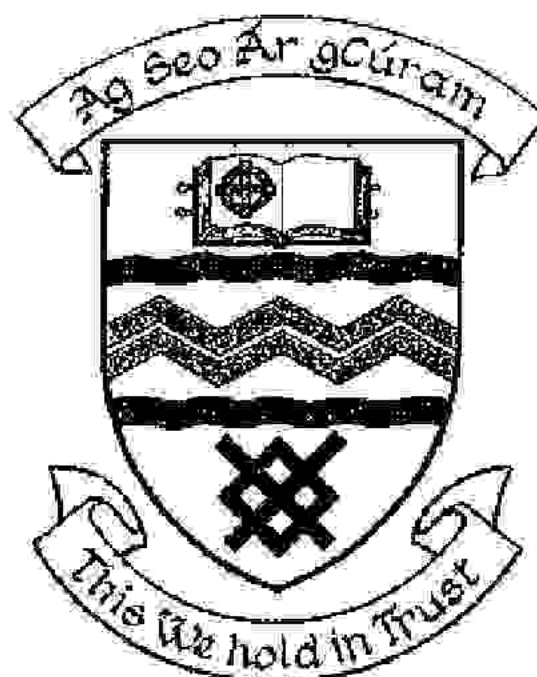
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C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3490	Date of Decision 28/11/2001
Register Reference S01A/0187	Date: 29/03/01

Applicant Peter Quinn,
Development Construction of a dwelling house and septic tank.
Location Bohernabreena, Dublin 24.
Floor Area Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received 28/05/2001 /05/07/2001
Clarification of Additional Information Requested/Received 03/09/2001 / 02/10/2001

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (8) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 28/11/01
for SENIOR ADMINISTRATIVE OFFICER

Grainne Mallon & Associates,
6 Merrion Square,
Dublin 2.

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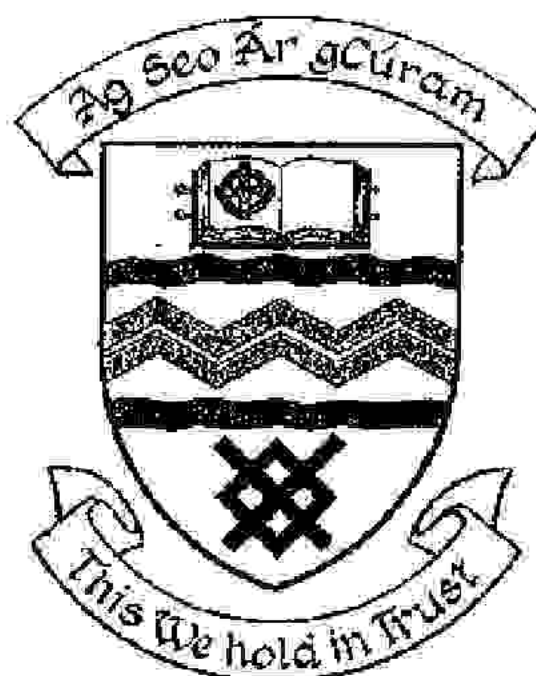
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 28/05/01 and Clarification of Additional Information received on 02/10/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 No development of any form (including planting, fencing, wing walls/piers to be within area required to provide visibility from the site entrance point.
REASON:
In the interest of public safety.
- 3 That the house, when completed, be first occupied by the applicant and/or members of his immediate family as a place of permanent residence.
REASON:
In the interest of the proper planning and development of the area.
- 4 That septic tank and percolation areas shall accord with the standards set out in "Recommendations for Septic Tank Drainage Systems SR6, 1991" available from Eolas.
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- 5 That a financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council

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will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 6 In the event of a connection to the public sewer, a further financial contribution in the sum of £375 (three hundred and seventy five pounds) EUR 476 (four hundred and seventy six euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

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- 8 That a financial contribution in the sum of £675 (six hundred and seventy five pounds) EUR 857 (eight hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

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SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

M.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2019	Date of Decision 28/05/2001
Register Reference S01A/0187	Date: 29/03/01

Applicant Peter Quinn,
Development Construction of a dwelling house and septic tank.
Location Bohernabreena, Dublin 24.
App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 29/03/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The proposed development is located in an area zoned 'B' in the South Dublin County Development Plan, 1998, the objective for which is "to protect and improve rural amenity and to provide for the development of agriculture". This requires that applicants for housing need to establish a genuine need to reside in proximity to their employment (such employment being related to the rural community), or need to show that they have close family ties with the rural community. The applicant is requested to provide details of his connection with the rural community including the length of time he and his family has been residents in the area. This should include documentary evidence where appropriate.
- 2 Elements of the proposed house design such as the proliferation of glazing are considered inappropriate in this location. The applicant is therefore requested to submit a revised design which is more in keeping with the rural character of the area.

Grainne Mallon & Associates,
6 Merrion Square,
Dublin 2.

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REG REF. SC1A/0187

- 3 Roads standards require a 3m x 90m vision splay in both directions of access point. In this regard, the site layout plan does not provide for a setback or adequate vision splays. The applicant is requested to submit a revised proposal providing for the above in addition to a scheme for replacement planting of any section of hedgerow proposed for removal.

Signed on behalf of South Dublin County Council


.....
for Senior Administrative Officer

28/05/01