

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0190	
1. Location	Esker Road, Lucan, Co. Dublin accessed from Moyglass Estate and existing entrance from Esker Road discontinued.		
2. Development	Demolition of existing house and storage building and construction of residential development consisting of 2 no. three bedroomed semi-detached houses, 13 no. three bedroomed two storey and 5 no. four bedroomed three storey town houses in two blocks		
3. Date of Application	26/03/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 25/05/2001 2.	1. 2.
4. Submitted by	Name: Pierce & Associates Architects Address: 104 Francis Street, Dublin 8.		
5. Applicant	Name: H & H Developments Ltd., Address: 104 Templeogue Woods, Dublin 6W.		
6. Decision	O.C.M. No. 2007 Date 25/05/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

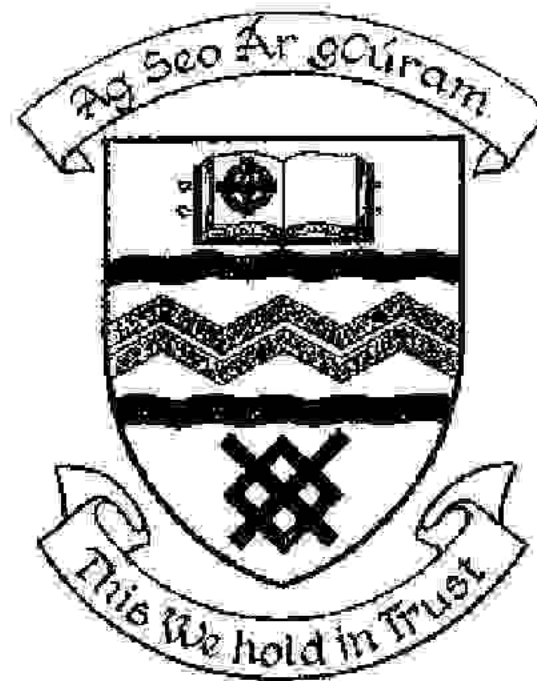
14.

Registrar

Date

Receipt No.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2007	Date of Decision 25/05/2001
Register Reference S01A/0190	Date: 26/03/01

**Applicant** H & H Developments Ltd.,  
**Development** Demolition of existing house and storage building and construction of residential development consisting of 2 no. three bedroomed semi-detached houses, 13 no. three bedroomed two storey and 5 no. four bedroomed three storey town houses in two blocks

**Location** Esker Road, Lucan, Co. Dublin accessed from Moyglass Estate and existing entrance from Esker Road discontinued.

**App. Type** Permission

Dear Sir/Madam,  
With reference to your planning application, received on 26/03/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit detailed longitudinal sections through the site, showing the impact of the proposal. The sections shall run north-south from the top of the esker to Moyglas Way, and east-west to incorporate the dwellings on adjoining sites.
- 2 The applicant is requested to submit a detailed site survey, which shows existing levels at various locations around the site, at site boundaries, at the top of the esker and at all adjacent properties.
- 3 The Planning Authority is concerned about the relationship of the proposed Block B with the esker to the north. In this regard, the applicant is requested to submit details of the

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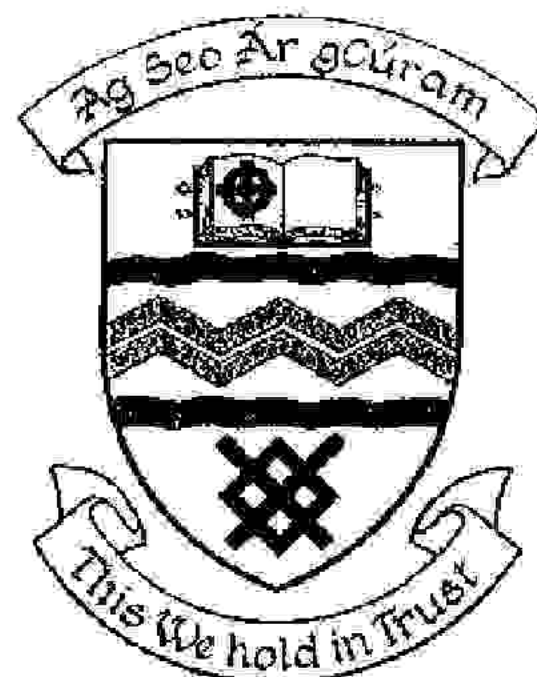
proposed finished floor levels of Block B, and to address specifically the extent to which the proposal will interfere with the physical integrity of the esker. In this regard, the applicant shall indicate precisely the degree of excavation and grading of soil envisaged to facilitate the construction of Block B.

- 4 The Planning Authority is concerned about the proposed boundary treatment of the site with the esker to the north. In view of the elevated nature of the site, it is considered that a 2 metre high wall bounding the site from the esker is excessive in visual terms. The applicant should therefore consider a lower wall, similar in height to the wall to the west which bounds the top of the esker with the open space of the adjoining residential development. For reasons of security and privacy, additional boundary treatments will be required. The retention of the steep gradient with its dense shrubbery is important in this regard. The applicant should consider the possibility of a supplementary boundary treatment for security purposes, whether in the form of fencing over the wall referred to above, or possibly at the base of the steep slope.
- 5 In relation to the proposal for private gardens at the rear of Block B, the applicant shall consider how the boundaries may be developed with minimal impact on the esker and the existing planting. The applicant is also requested to address the feasibility/desirability of incorporating the existing planted area into the proposed rear gardens areas.
- 6 Having regard to the answers to questions 4 and 5 above, the applicant shall also specify detailed proposals for the treatment of the area of land towards the north-west of the site, which currently forms the existing access to the site.
- 7 The Planning Authority consider that the proximity of Block B to the boundaries with the adjoining residential property to the east and to the west is unacceptable. Independent of any possible amendments to the design/siting of Block B which may arise as a result of the questions raised above, the applicant is requested to re-design the block to provide for substantial separation to the side boundaries. This would be likely to require the removal of at least one of the proposed town houses.

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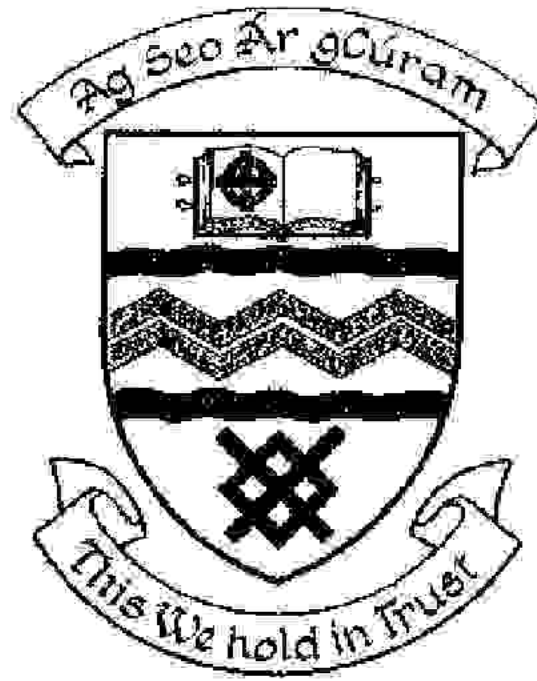
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- 8 The rear garden depth of house no. 1 is inadequate having regard to Development Plan standards. In order to achieve a satisfactory depth of 11 metres, Block A would need to be shifted northwards. The applicant may consider the possibility of omitting one of the units within this block to ensure the creation of a more satisfactory area of open space adjoining the northern gable.
- 9 The proposed foul drainage layout is unacceptable because of the proximity of the houses to the proposed foul sewers. In this regard the applicant shall submit the following information:  
A revised foul drainage layout for the proposed developments is required showing the exact location of all sewers, drains, manholes, AJs, etc. with pipe sizes, levels and gradients clearly shown. This layout shall be in accordance with part H of Building Regulations 1997 and with "Recommendation for Site Development Works for Housing Areas" published by the Department of the Environment and Local Government. The applicant shall ensure full and complete separation of foul and surface water systems and note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge. The applicant shall clearly distinguish between the proposed 'Sewers' and 'Drains' on the revised layout.
- 10 The proposed surface water drainage layout is unacceptable because of the proximity of the houses to the proposed surface water sewers. In this regard the applicant shall submit the following information:  
(a) A revised surface water drainage layout for the proposed developments is required showing the exact location of all sewers, drains, manholes, gullies, AJs, etc. with pipe sizes, levels and gradients clearly shown. This layout shall be in accordance with part H of Building Regulations 1997 and with "Recommendation for Site Development Works for Housing Areas" published by the Department of the Environment and Local Government. The applicant shall ensure full and complete separation of foul and surface water systems and note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge. The applicant shall clearly distinguish



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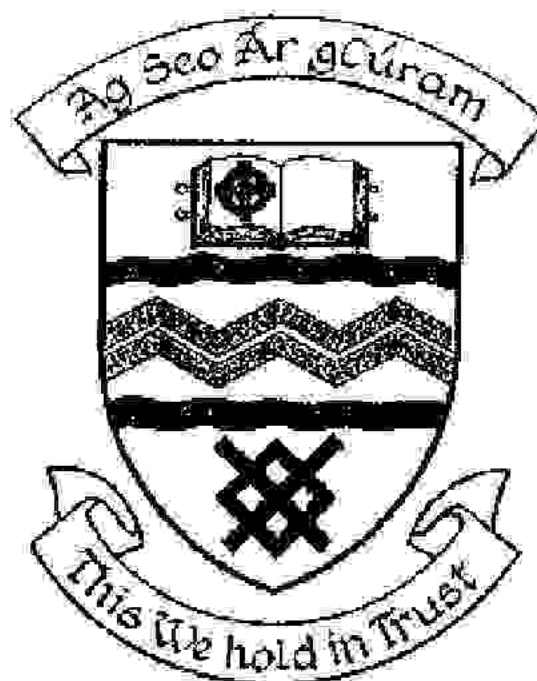
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- between the proposed 'Sewers' and 'Drains' on the revised layout.
- (b) Surface water discharges from the developments shall be limited to the existing pre-development levels or 6 litres per second per hectare of site area, whichever is greater. The applicant shall submit details indicating surface water attenuation facilities (i.e. storage ponds, tanks, oversized pipes or other such facility) and flow control mechanism necessary to limit surface water discharges based on a rainfall intensity for a 20 year return period, of 2 hour duration. Details to include discharge calculations, pipe sizes, invert levels and gradients, manhole locations, required storm water storage volume, location of storm water storage area together with a cross-section of the storm water storage area showing details of both inlets and outlets. Details of proposed flow control mechanisms to limit surface water discharges shall also be submitted. Any attenuation tank shall be a minimum of 1.2m in depth in order to facilitate cleaning.
- 11 The applicant has not supplied a watermain layout for the development. Therefore the following information is required.
- (a) A detailed watermain layout to indicate watermain size, valve, meter and hydrant layout, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulations and with "Recommendation for Site Development Works for Housing Areas" published by the Department of the Environment and Local Government.
- (b) No building to lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.
- 12 The applicant is requested to submit a building programme which ensures that construction traffic will use the Old Balgaddy Road only (as far as possible) for approval.
- 13 The applicant is requested to submit a proposal for the closure of roundabout section of Old Balgaddy Road. Details

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to provide for:

- (i) Breaking up and removal from site of tarmacadam/sub base/kerbs.
- (ii) Area to be top soiled.
- (iii) Continuation of footpath/kerbline on Griffeen Road across old junction.
- (iv) Boundary to be continued across old junction.

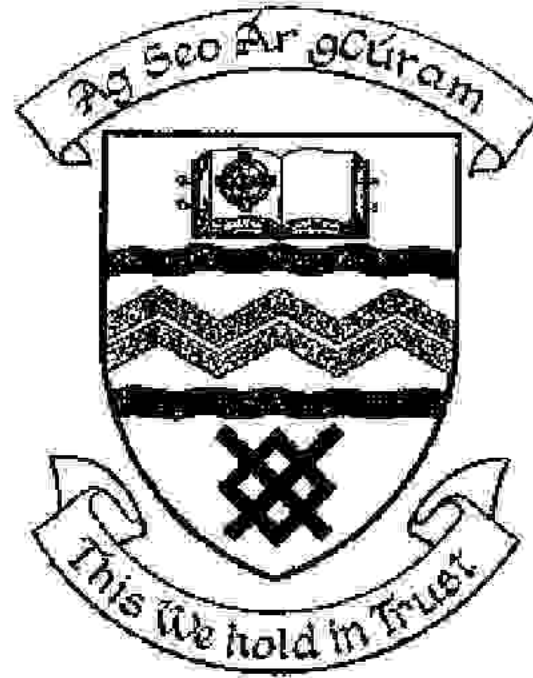
Signed on behalf of South Dublin County Council

  
.....  
for Senior Administrative Officer

25/05/01

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NOTIFICATION OF DECISION TO GRANT PERMISSION  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3367	Date of Decision 12/11/2001
Register Reference S01A/0190	Date: 26/03/01

**Applicant** H & H Developments Ltd.,

**Development** Demolition of existing house and storage building and construction of residential development consisting of 2 no. 3 bedroomed semi-detached houses, 10 no. 3 bedroomed town houses, 5 no. 1-bed ground floor units and 6 no. 2-bed maisonettes in two blocks of 2 to 3 storey height.

**Location** Esker Road, Lucan, Co. Dublin accessed from Moyglass Estate and existing entrance from Esker Road discontinued.

**Floor Area** Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 25/05/2001 /13/09/2001

**Clarification of Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 34 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... 12/11/01  
for SENIOR ADMINISTRATIVE OFFICER

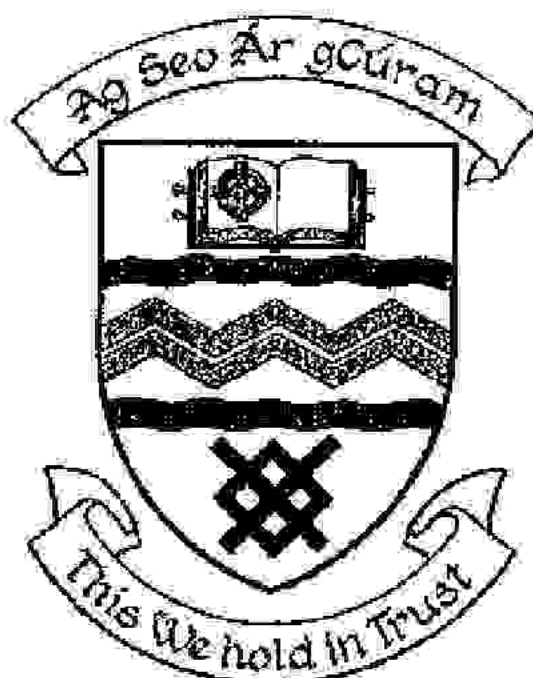
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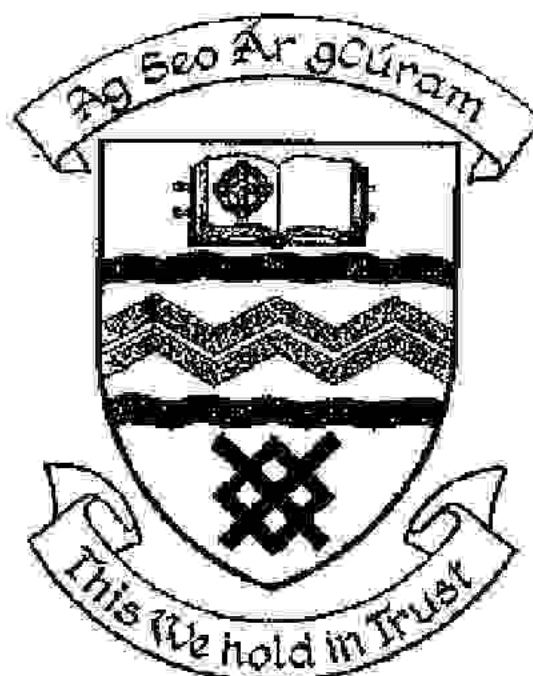
**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 13/09/01, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each house be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.  
REASON:  
In the interest of amenity.
- 5 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.  
REASON:  
In the interest of the proper planning and development of the area.
- 6 That the area shown as open space be levelled, soiled and seeded and landscaped to the satisfaction of the County Council and to be available for use by residents on completion of their dwellings.  
REASON:

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In the interest of the proper planning and development of the area.

- 7 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 9 That screen walls in block or similar durable materials not less than 2 metres high, suitably capped and rendered, be provided at the necessary locations so as to screen rear gardens from public view. The specific locations and extent of walling must be fully discussed and agreed with the County Council before construction. Timber fencing is not acceptable.

REASON:

In the interest of visual amenity.

- 10 That the areas shown and conditioned as open space be fenced off during construction work and shall not be used for the purpose of site compounds or for the storage of plant, materials or spoil.

REASON:

To protect the amenities of the area.

- 11 That details of the Management Agreement for the maintenance and control of the site be submitted and agreed with the Planning Authority prior to the commencement of development.

REASON:



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In the interest of the proper planning and development of the area.

- 12 All external finishes shall harmonise with existing finishes in the vicinity. Before development commences, the applicant shall submit for agreement by the Planning Authority full details and samples of all external finishes to be used

REASON:

In the interest of visual amenity

- 13 Before development commences, the applicant shall submit for agreement by the Planning Authority full details of all boundary treatments for the site.

REASON:

In the interest of proper planning and development.

- 14 Prior to the commencement of work, the developer shall submit for agreement by the Planning Authority a landscape plan with full works specification (including timescale for implementation), maintenance programme and bill of quantities for the development of the private open spaces and landscaped areas. This plan and specification to include details regarding grading, topsoiling, and seeding of open spaces, paths, drainage, boundary treatment, planting and street tree planting, as necessary. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Dept.

REASON:

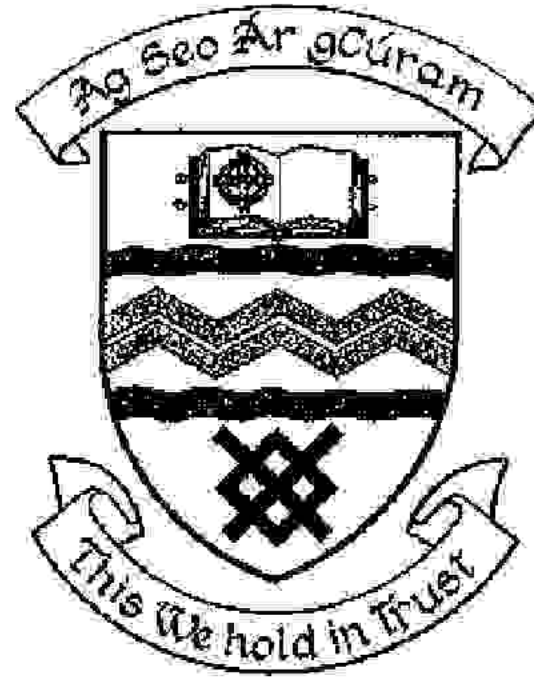
To ensure the provision of adequate landscaping to serve the development.

- 15 In relation to the proposed pair of semi-detached houses, the applicant shall provide two off-street parking spaces for each unit. The surface of the parking areas shall be finished in a different colour/texture to the road surface. A landscaping area shall also be provided in these front garden areas.

REASON:

In the interest of proper planning and development of the area.

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- 16 Before development commences, the applicant shall submit for agreement by the Planning Authority details for the proposed closure of the redundant section of the Old Balgaddy Rd.  
Details to include:

- (a) Tarmacadam/sub-base/kerbs to be broken up and removed off site.
- (b) Area to be topsoiled.
- (c) Footpath/kerb on Griffeen Road to be continued across the junction.
- (d) Boundary to be continued across the junction.

**REASON:**

In the interest of the proper planning and development of the area.

- 17 Before development commences, the applicant shall submit for agreement by the Planning Authority a detailed building programme which is designed so that construction traffic will primarily use the Old Balgaddy Rd to access the site.

**REASON:**

In the interest of proper planning and development of the area.

- 18 In relation to Foul Drainage

- All foul sewers, with the potential to be taken in charge, shall be a minimum of 225mm in diameter with an adequate gradient to provide self-cleansing.
- The applicant shall maintain the foul sewerage system in good working order until such time as it is taken in charge by the Planning Authority.
- No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- Applicant to ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

**REASON:**

In the interest of proper planning and development of the area.



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19 In relation to Surface Water attenuation the applicant shall provide a storage volume of 50m<sup>3</sup> fitted with a hydrobrake flow control or similar such that the maximum surface water discharge from the site shall not exceed 2.72 l/s. Prior to the commencement of development the applicant shall revise the design of the surface water attenuation system accordingly and submit this revision for the written agreement of the planning authority.

- All surface water sewers, with the potential to be taken in charge, shall be a minimum of 225mm in diameter with an adequate gradient to provide self-cleansing.
- The surface water attenuation system will be maintained and cleaned regularly, by the applicant, and kept free from siltation.
- The applicant shall maintain the surface water sewerage system in good working order until such time as it is taken in charge by the Planning Authority.
- Surface water runoff from communal vehicle parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer
- No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- Applicant to ensure full and complete separation of foul and surface water systems.
- All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

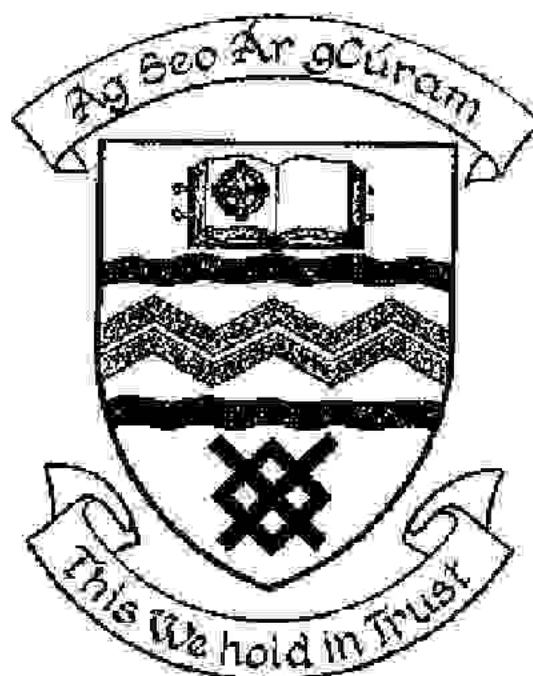
**REASON:**

In the interest of proper planning and development of the area.

20 In relation to water supply

- The watermain serving the site shall be metered to the satisfaction of the Water Management Section of South Dublin County Council.
- No buildings are within 5m of watermain with the potential to be taken in charge. No hydrant or valve shall be located in a parking space.

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- Each house shall have its own individual service connection and 24hour storage.
- The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense
- Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

REASON:

In the interest of proper planning and development of the area.

- 21 Prior to the commencement of the development, temporary protective fencing is to be erected along the toe of the Esker to preserve the integrity of this important feature and associated plantings and this is to be kept in place for the duration of the construction works.

REASON:

In the interest of proper planning and development of the area.

- 22 The developer to submit a "Management Agreement" for approval in relation to the long-term maintenance of the private/communal open spaces and planting, provided within the scheme, including the area to the north of Block B.

REASON:

In the interest of proper planning and development of the area.

- 23 Prior to the commencement of development the applicant shall submit for the written permission of the Planning Department full details of refuse storage and collection procedure. These details shall include the location and design of any proposed storage facilities.

REASON:

In the interest of the proper planning and development of the area.

- 24 All footpaths shall be concrete layed, slabbed or tiled. They shall be dished at all road functions and all entrances and shall be level with the carriageway at such points.

REASON:



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To facilitate access particularly to those pushing prams,  
the elderly and handicapped.

- 25 Street lighting shall be provided and made operational and  
it shall be in accordance with the standards laid down in  
the current ESB Publication "Public lighting in Residential  
Estates" lanterns shall be of S.O.N. type.

REASON:

In the interest of public lighting and public safety.

- 26 Prior to commencement of development the developer shall  
submit and agree in writing with the Planning Authority  
detailed proposals for compliance with the Council's Housing  
Strategy prepared in accordance with Part V of the  
Planning and Development Act 2000 as referred to in Section  
2.2.7(ii) and as set out in "Appendix F" of the South Dublin  
County Development Plan 1998.

REASON:

To promote social integration and having regard to the  
policy/objectives of the Council's Housing Strategy as  
contained in the South Dublin County Development Plan 1998.

- 27 That a financial contribution in the sum of £15,750 (Fifteen  
Thousand Seven Hundred and Fifty Pounds) EUR 19,998  
(Nineteen Thousand Nine Hundred and Ninety Eight Euros) be  
paid by the proposer to South Dublin County Council towards  
the cost of provision of public services in the area of the  
proposed development and which facilitate this development;  
this contribution to be paid before the commencement of  
development on the site.

REASON:

The provision of such services in the area by the Council  
will facilitate the proposed development. It is considered  
reasonable that the developer should contribute towards the  
cost of providing the services.

- 28 That a financial contribution in the sum of £40,950 (Forty  
Thousand Nine Hundred and Fifty Pounds) EUR 51,996 (Fifty  
One Thousand Nine Hundred and Ninety Six Euros) shall be  
paid by the proposer to South Dublin County Council towards  
the cost of roads improvements and traffic management in the  
area of the proposed development and which facilitates this  
development; this contribution to be paid before the

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commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 29 That a financial contribution in the sum of £14,625 (Fourteen Thousand Six Hundred and Twenty Five Pounds) EUR 18,570 (Eighteen Thousand Five Hundred and Seventy Euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 30 That a financial contribution in the sum of £8,800 (Eight Thousand Eight Hundred Pounds) EUR 11,174 (Eleven Thousand One Hundred and Seventy Four Euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 31 That a financial contribution in the sum of £2,200 (Two Thousand Two Hundred Pounds) EUR 2,793 (Two Thousand Seven Hundred and Ninety Three Euros) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before the commencement of development on the site.

**REASON:**



**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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**PLANNING  
DEPARTMENT**  
County Hall,  
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The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 32 That a financial contribution in the sum of £1,100 (One Thousand One Hundred Pounds) EUR 1,597 (One Thousand Five Hundred and Ninety Seven Euros) paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 33 That an acceptable street naming and house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 34 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £33,000 (Thirty Three Thousand Pounds) EUR 41,901 (Forty One Thousand Nine Hundred and One Euros) or lodgement with the Council of a cash sum of £22,000 (Twenty Two Thousand Pounds) EUR 27934 (Twenty seven thousand nine hundred and thirty four Euros).

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.