

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

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**PLANNING
DEPARTMENT**
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Claude & Phyllis Borza,
La Banca Ristorante,
Main Street,
Lucan,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 3346	Date of Final Grant 08/11/2001
Decision Order Number 2982	Date of Decision 24/09/2001
Register Reference S01A/0227	Date 25/07/01

Applicant Claude & Phyllis Borza,

Development Retention of (1) use of first-floor as a dining, toilets and office area, (2) external signage and clock (3) internal amendments to basement and ground floor (previous planning permission S97A/0516, PL06S.105901 refers).

Location La Banca Ristorante, Main Street, Lucan, Co. Dublin.

Floor Area 390.57 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received

/25/07/2001

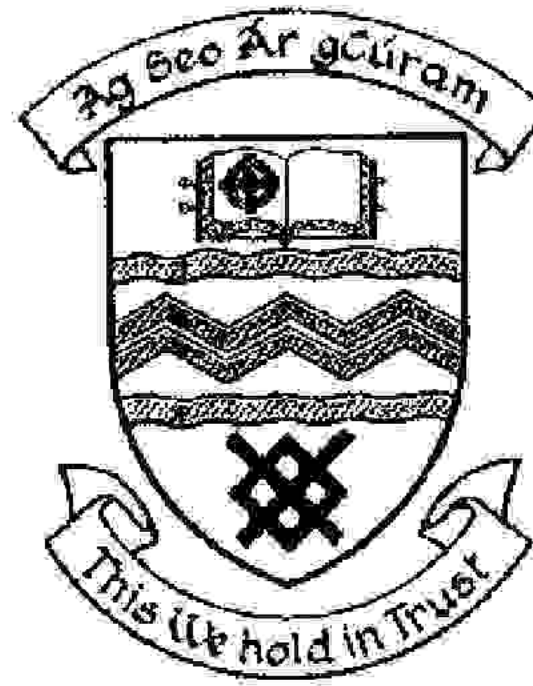
A Permission has been granted for the development described above,
subject to the following (10) Conditions.

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REG REF. S01A, COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information received 25/07/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 . That no signs other than those indicated in the details submitted in connection with this planning application shall be erected or displayed on the premises unless a planning permission is first granted by the planning authority or by An Bord Pleanála on appeal.
Reason In the interest of visual amenity.
- 3 (a) Applicant to ensure full and complete separation of foul and surface water systems.

(b) As per the applicant's proposal a non-return valve, or similar device, shall be installed on all drains discharging directly to public sewers. South Dublin County Council shall not be liable for the failure of the non-return valve in the event of surcharging of the public sewer.
(c) All wastewater from the kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.

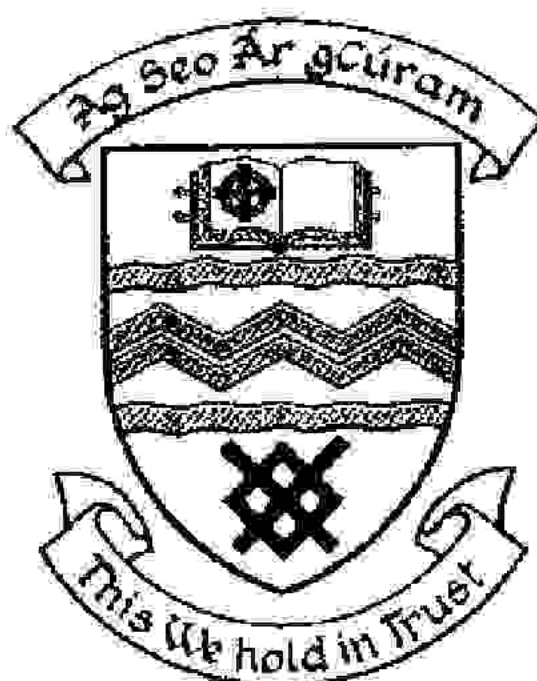
(d) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.
(e) If not already the case the water supply to the development shall be commercially metered.
(f) The property shall have its own individual service connection to the public watermain and 24hour storage.
REASON: In the interest of public health.
- 4 That the extract ducting located on the roof of the premises shall be lowered in height in accordance with details submitted in connection with this planning application so that it does not protrude above the roof line of the premises.
Reason In the interest of visual amenity.
- 5 That a financial contribution in the sum of £1,033 (one thousand and thirty three pounds) EUR 1,312

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REG. REF. SOLA 1021 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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(one thousand three hundred and twelve euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 6 That a financial contribution in the sum of money equivalent to the value of £2,688 (two thousand six hundred and eighty eight pounds) EUR 3,413 (three thousand four hundred and thirteen euros) towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 7 That a financial contribution in the sum of £311 (three hundred and eleven pounds) EUR 395 (three hundred and ninety five euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid on receipt on final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- 8 That a financial contribution in the sum of £64 (sixty four pounds) EUR 81 (eighty one pounds) be paid by the proposer to South Dublin County Council towards the cost of the upgrading of Esker Pumping Station; this contribution to be paid before on receipt of final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

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REG REF. S01A.002 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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- 9 That a financial contribution in the sum of £50 (fifty pounds) EUR 63 (sixty three euros) be paid by the proposer to South Dublin County Council towards the cost of remedial works to the Griffeen River which will facilitate this development; this contribution to be paid before on receipt of final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 10 That a financial contribution in the sum of £320 (three hundred and twenty pounds) EUR 406 (four hundred and six euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan Village Water Separation Scheme which serves this development; this contribution to be paid on receipt of final grant of permission.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

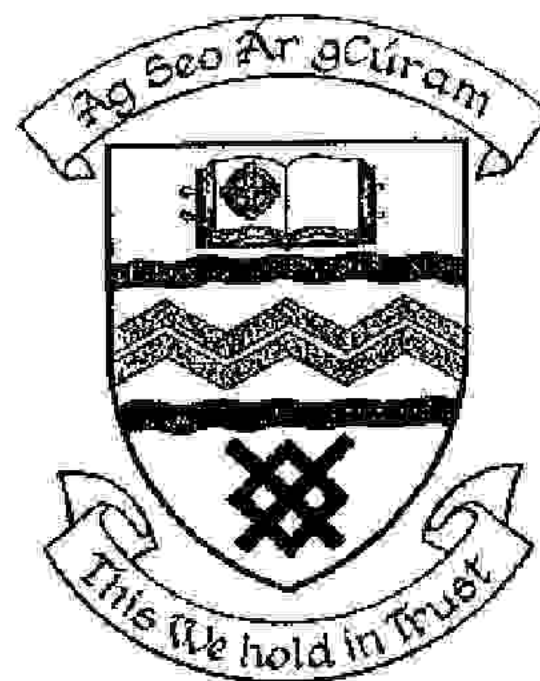

.....09/11/01
for SENIOR ADMINISTRATIVE OFFICER

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2982	Date of Decision 24/09/2001
Register Reference S01A/0227	Date: 19/04/01

Applicant Claude & Phyllis Borza,

Development Retention of (1) use of first floor as a dining, toilets and office area, (2) external signage and clock (3) internal amendments to basement and ground floor (previous planning permission S97A/0516, PL06S.105901 refers).

Location La Banca Ristorante, Main Street, Lucan, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /25/07/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (10) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

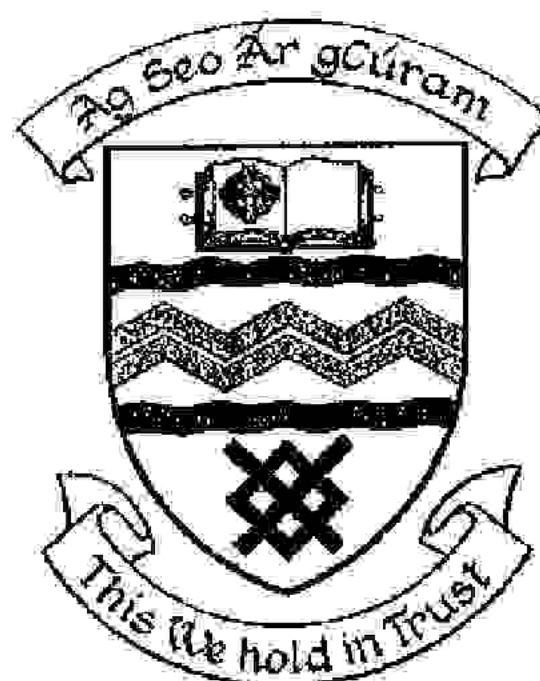
..... 24/09/01
for SENIOR ADMINISTRATIVE OFFICER

Claude & Phyllis Borza,
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REG REF. S01A/0227

Conditions and Reasons

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REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 . That no signs other than those indicated in the details submitted in connection with this planning application shall be erected or displayed on the premises unless a planning permission is first granted by the planning authority or by An Bord Pleanála on appeal.
Reason In the interest of visual amenity.
- 3 (a) Applicant to ensure full and complete separation of foul and surface water systems.

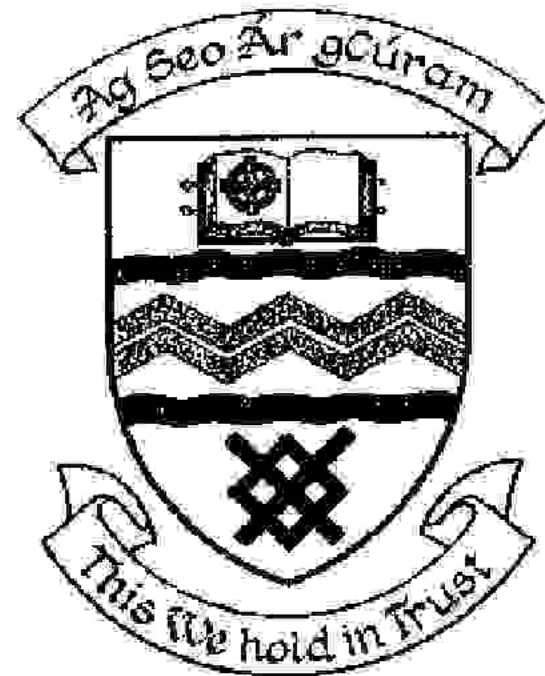
(b) As per the applicant's proposal a non-return valve, or similar device, shall be installed on all drains discharging directly to public sewers. South Dublin County Council shall not be liable for the failure of the non-return valve in the event of surcharging of the public sewer.
(c) All wastewater from the kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.

(d) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.
(e) If not already the case the water supply to the development shall be commercially metered.
(f) The property shall have its own individual service connection to the public watermain and 24hour storage.
REASON: In the interest of public health.
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REG. REF. S01A/0227

details submitted in connection with this planning application so that it does not protrude above the roof line of the premises.

Reason In the interest of visual amenity.

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That a financial contribution in the sum of £1,033 (one thousand and thirty three pounds) EUR 1,312 (one thousand three hundred and twelve euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid on receipt of final grant of permission.

REASON:

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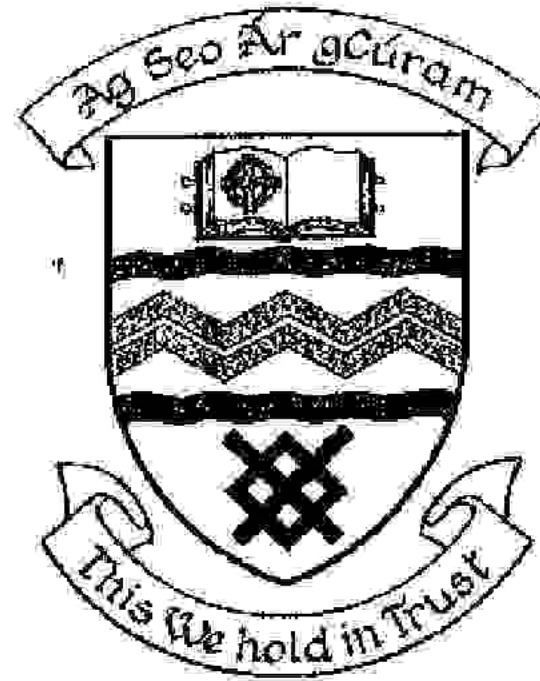
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REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the development should contribute towards the cost of the works.

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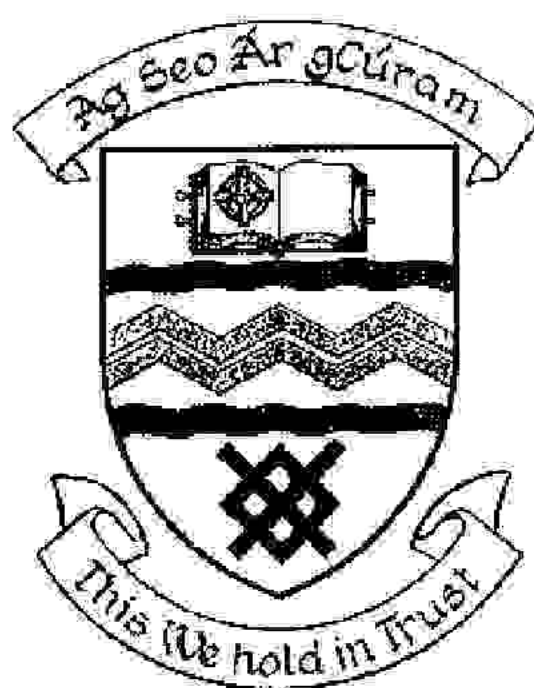
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0227	
1. Location	La Banca Ristorante, Main Street, Lucan, Co. Dublin.		
2. Development	Retention of (1) use of first floor as a dining, toilets and office area, (2) external signage and clock (3) internal amendments to basement and ground floor (previous planning permission S97A/0516, PL06S.105901 refers).		
3. Date of Application	19/04/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Claude & Phyllis Borza, Address: La Banca Ristorante, Main Street,		
5. Applicant	Name: Claude & Phyllis Borza, Address: La Banca Ristorante, Main Street, Lucan, Co. Dublin.		
6. Decision	O.C.M. No. 2175 Date 18/06/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.	

M

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2175	Date of Decision 18/06/2001
Register Reference S01A/0227	Date: 19/04/01

Applicant Claude & Phyllis Borza,
Development Retention of (1) use of first floor as a dining, toilets and office area, (2) external signage and clock (3) internal amendments to basement and ground floor (previous planning permission S97A/0516, PL06S.105901 refers).

Location La Banca Ristorante, Main Street, Lucan, Co. Dublin.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 19/04/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

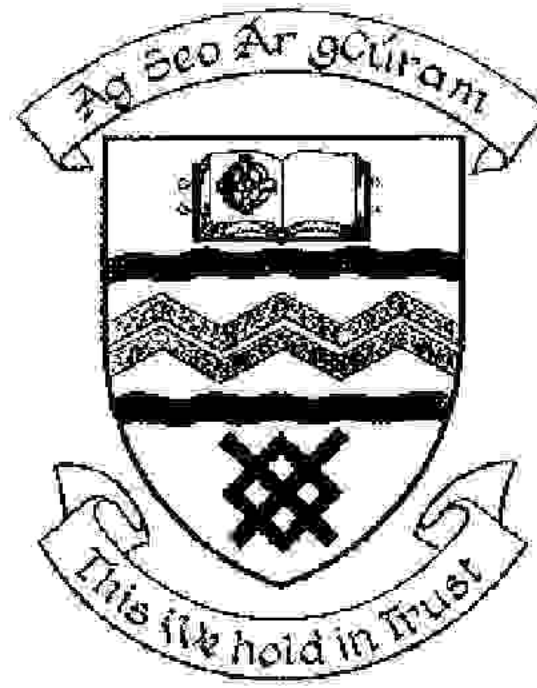
- 1 It is noted that the proposed retention does not include unauthorised ventilation equipment located on the roof of the premises which is the subject of a recent planning enforcement report. The applicant is requested to submit full details of all equipment located on the roof. In this regard the applicant is advised that the existing equipment is considered to be visually obtrusive and seriously detracts from the amenity, character and heritage of the designated Conservation Area and should be removed.
- 2 No details have been submitted of the proposed signs to be retained. Having regard to the location of the site within the designated Lucan Village Conservation Area it is considered that the sign on the gable wall may not be acceptable to the Planning Authority.
(a) The applicant is requested to submit photographs of the

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REG REF. S01A/0227

front & side elevations showing the gable sign.

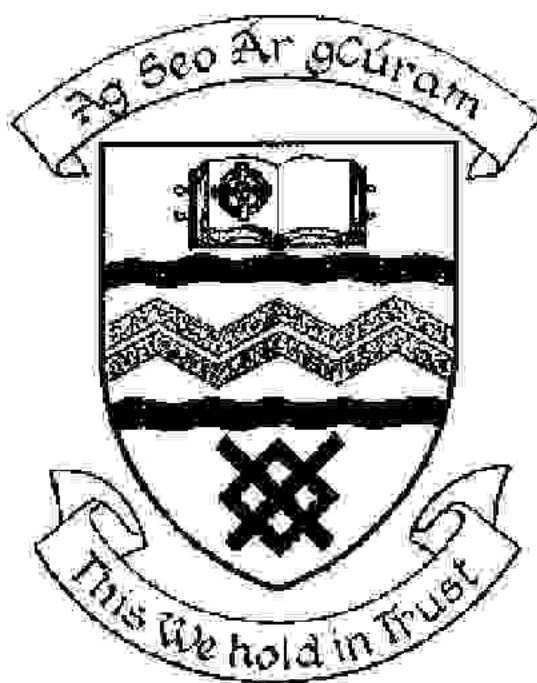
- (b) Full details are required of all other existing signs to be retained, including details of external lighting to all signs.
- (c) All signage shall be in accordance with Condition No. 4 of S97A/0516 as appropriate.

- 3 The applicant has not included any foul or surface water drainage information for the proposed development. The following information is therefore required:

Foul Drainage:

- (a) A foul drainage layout for the development showing the exact location of all drains, manholes, grease traps, AJs etc. up to the point of connection to the public sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems.
- (b) Toilets are located in the basement of the development. The applicant shall clarify how the foul effluent is drained from this basement. If this includes pumping then design details for the pumping system shall be provided. Information shall be provided on the type, number and configuration of the pumps, as well as on the size, routing and construction of the rising main. The system shall be configured so that effluent remains in the system for a maximum of 3 hours to avoid the risk of septicity. A minimum of 24 hours overflow storage shall be provided in the event of pump failure. A non-return valve shall be installed at the beginning of the rising main. The installation, operation and maintenance of the system, up to the point of connection to the existing public sewer, shall remain the responsibility of the applicant. South Dublin County Council shall not be liable for the failure of the non-return valve in the event of surcharging of the public sewer.
- (c) All wastewater from the kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
- (d) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from

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REG. REF. S01A/0227

the Environmental Services Department, a licence
under Section 16 of the Water Pollution Acts 1977 -
1990.

Surface Water:

- (e) A surface water drainage layout for the development showing the exact location of all drains, manholes, grease-traps, AJs etc. up to the point of connection to the public sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems.
- (f) The basement of this restaurant was flooded during the severe flooding in Lucan Village in November 2000. The Planning Authority consider that this was as a result of a drain backing-up / surcharging into the basement rather than from an ingress of water from street level. The applicant shall clarify what measures have been/will be taken to prevent a reoccurrence of this flooding. Non-return valves shall be installed on all drains discharging directly to public sewers or watercourses. South Dublin County Council shall not be liable for the failure of the non-return valve in the event of surcharging of the public sewer.

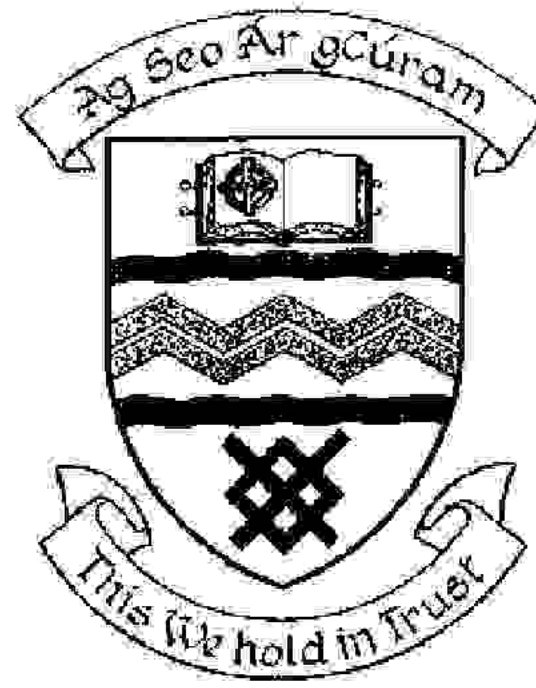
4 The applicant is advised that the Council's Roads Department have recommended that permission be refused for the proposed enlargement due to the lack of any off-street car parking. It is noted that no reference is made in the applicant's letter dated 25.05.01 to the use of the car parking facilities at the rear of the Village Centre for customers of the La Banca Ristorante. These facilities were previously indicated to be available for customer use in correspondence submitted in relation to the planning permission granted under S97A/0516. Clarification is required with regard to the present position in this respect, having regard to the increased car parking requirement of the proposed restaurant enlargement.

5 No reference is made in the current planning application to the use of the two car parking spaces to the side of the premises which were approved for use for customers and delivery vehicles serving the premises. Clarification is

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required regarding off-street parking facilities at that
location.

Signed on behalf of South Dublin County Council

.....^{M7}.....
for Senior Administrative Officer

18/06/01