

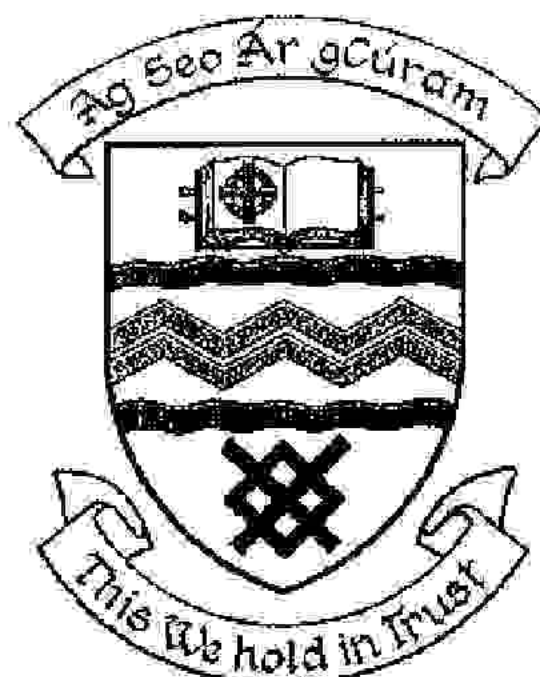
|                             |  |  |                 |
|-----------------------------|--|--|-----------------|
|                             | South Dublin County Council<br>Local Government<br>(Planning & Development)<br>Acts 1963 to 1999<br>and Planning & Development<br>Act 2000<br>Planning Register (Part 1) | Plan Register No.<br><br>S01A/0228                     |                 |
| 1. Location                 | adjacent to 24 Glenvale, Lucan, Co. Dublin.  |  |                 |
| 2. Development              | New 2 storey, 4 bedroom detached house.  |  |                 |
| 3. Date of Application      | 19/04/01   | Date Further Particulars<br>(a) Requested (b) Received |                 |
| 3a. Type of Application     | Permission   | 1.<br>2.   | 1.<br>2.        |
| 4. Submitted by             | Name: J.P.D. Architects,<br>Address: 26 Larkfield Rise, Lucan,   |  |                 |
| 5. Applicant                | Name: William Walsh,<br>Address: 24 Glenvale, Lucan, Co. Dublin.   |  |                 |
| 6. Decision                 | O.C.M. No. 2168<br><br>Date 15/06/2001   | Effect<br>RP REFUSE PERMISSION                         |                 |
| 7. Grant                    | O.C.M. No.<br>Date   | Effect<br>RP REFUSE PERMISSION                         |                 |
| 8. Appeal Lodged            |  |  |                 |
| 9. Appeal Decision          |  |  |                 |
| 10. Material Contravention  |  |  |                 |
| 11. Enforcement             |  | Compensation   | Purchase Notice |
| 12. Revocation or Amendment |  |  |                 |
| 13. E.I.S. Requested        |  | E.I.S. Received  | E.I.S. Appeal   |
| 14. ....<br>Registrar       | .....<br>Date  | .....<br>Receipt No.                                   |                 |

M

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

Telefon: 01-414 9000  
Facs: 01-414 9104



**PLANNING  
DEPARTMENT**  
County Hall,  
Town Centre, Tallaght,  
Dublin 24.

Telephone: 01-414 9000  
Fax: 01-414 9104

**NOTIFICATION OF DECISION TO REFUSE PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

|                              |                             |
|------------------------------|-----------------------------|
| Decision Order Number 2168   | Date of Decision 15/06/2001 |
| Register Reference S01A/0228 | Date 19/04/01               |

Applicant William Walsh,  
Development New 2 storey, 4 bedroom detached house.  
Location adjacent to 24 Glenvale, Lucan, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a decision to **REFUSE PERMISSION** in respect of the above proposal.

for the (1) Reasons on the attached Numbered Pages.

Signed on behalf of the South Dublin County Council

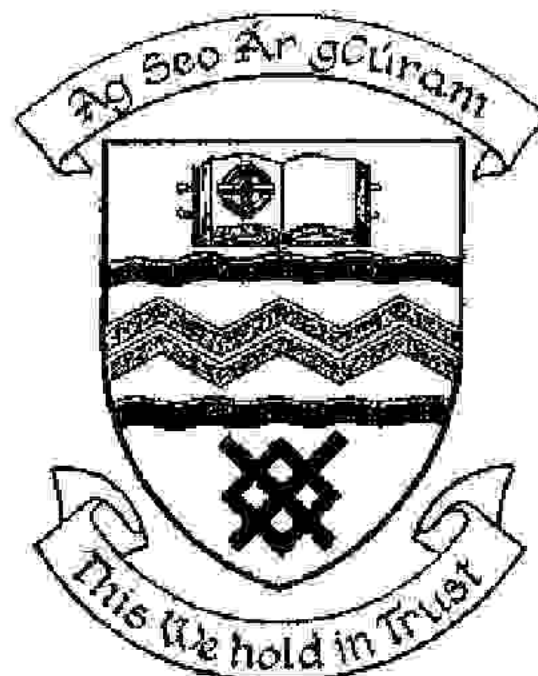
.....*M7*..... 15/06/01  
for SENIOR ADMINISTRATIVE OFFICER

J.P.D. Architects,  
26 Larkfield Rise,  
Lucan,  
Co. Dublin.

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

Telefon: 01-414 9000  
Facs: 01-414 9104



**PLANNING  
DEPARTMENT**  
County Hall,  
Town Centre, Tallaght,  
Dublin 24.

Telephone: 01-414 9000  
Fax: 01-414 9104

REG REF. S01A/0228

**Reasons**

- 1 The proposed development does not provide for the required minimum separation distance of 9 metres between the gable end of the proposed house and the back of the adjoining public footway, as provided for in the approved layout of the planning permission granted under register reference S97A/0084. The proposed development would therefore result in disorderly development and would be contrary to the proper planning and development of the area.