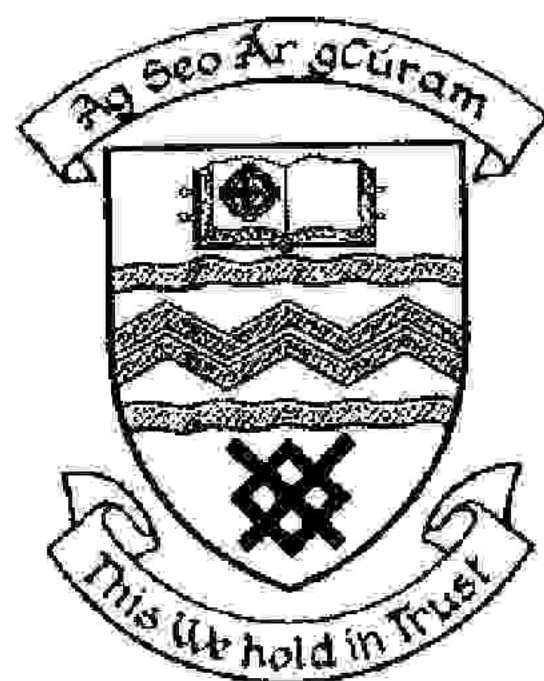


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0230	
1. Location	Belgard Road/Cookstown Road junction Tallaght, Dublin 24.		
2. Development	Alterations to basement car park, internal layout, elevation changes, increase in gross floor area (c. 300sq.m) and alterations to site layout to development previously granted planning permission (S99A/0941 refers).		
3. Date of Application	19/04/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 15/06/2001 2.	1. 20/06/2001 2.
4. Submitted by	Name: Horan Keogan Ryan Architects Address: Carnegie House, Library Road,		
5. Applicant	Name: Delta Distributors Ltd Address: Cookstown Industrial Estate, Belgard Road, Dublin 24.		
6. Decision	O.C.M. No. 2681 Date 16/08/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 3009 Date 26/09/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104

PLANNING DEPARTMENT
Applications/Registry/Appeals
County Hall
Town Centre, Tallaght
Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

Horan Keogan Ryan Architects
Carnegie House,
Library Road,
Dun Laoghaire,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 3009	Date of Final Grant 26/09/2001
Decision Order Number 2681	Date of Decision 16/08/2001
Register Reference S01A/0230	Date 20/06/01

Applicant Delta Distributors Ltd

Development Alterations to basement car park, internal layout, elevation changes, increase in gross floor area (c. 300sq.m) and alterations to site layout to development previously granted planning permission (S99A/0941 refers).

Location Belgard Road/Cookstown Road junction Tallaght, Dublin 24.

Floor Area 6737.60 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 15/06/2001 /20/06/2001

A Permission has been granted for the development described above,
subject to the following (16) Conditions.

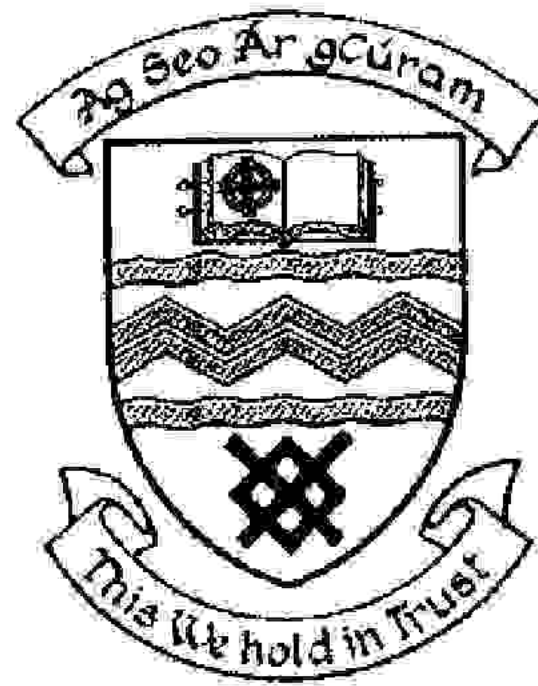
SOUTH DUBLIN COUNTY COUNCIL

REG REF. SOL 1701

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Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104



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County Hall
Town Centre, Tallaght
Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information lodged on 20/06/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 - i) As a 225mm diameter public foul sewer is within 5m (approx. 4m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the foul sewer from damage. The basement structure shall be designed in such a way as to facilitate the necessary access for the maintenance, repair, renewal or replacement of the aforementioned foul sewer.
 - ii) All wastewater from canteen kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
 - iii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iv) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - v) As a 450mm diameter public surface water sewer is within 5m (approx. 3m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the surface water sewer from damage. The basement structure shall be designed in such a way as to facilitate the necessary access for the maintenance, repair, renewal or replacement of the aforementioned surface water sewer.
 - vi) Condition 2(b) of the original permission (S99A/0941) required that that surface water discharge from the site be maintained at pre-development levels. Prior to development applicant to submit details of storm water attenuation. Details to include the dimensions of the storage facility, calculations involved for the storage requirement of the attenuation tank and details of the control device/s used.

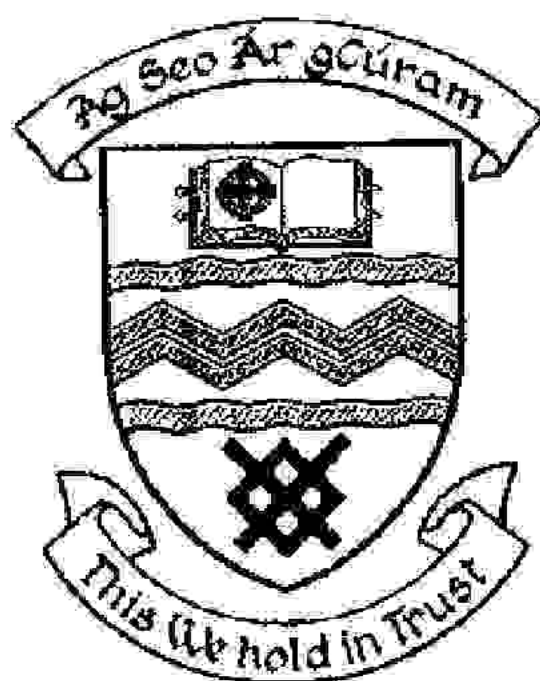
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REG. REF. S01A/00

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Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104



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Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

This requirement still applies.

vii) Prior to the commencement of development the applicant shall submit full drainage details for the proposed basement car park. If the car park cannot drain by gravity the applicant shall provide details of any proposed pumping system. In such a case adequate provision shall also be allowed for a storage facility in the event of pump failure. If services are to be slung / suspended over the proposed basement any pumped system shall discharge to the foul drainage system.

viii) All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the surface water sewer.

ix) As a 100mm diameter public watermain is within 5m (approx. 3.5m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the watermain from damage. The basement structure shall be designed such that in the event of a watermain burst the integrity of the concrete structure shall not be affected.

x) Prior to commencement of works, applicant shall submit for the approval of the Water Services Area Engineer, Deansrath (Tel: (01) 4570784) a detailed watermain layout. Layout to indicate watermain size, valve, meter and hydrant layout, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulation.

xi) Developments of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

xii) The water supply to the development shall be commercially metered.

xiii) The property shall have its own connection to the public watermain and full 24hour water storage.

xiv) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason: In order to comply with the Sanitary Services Acts, 1878-1964.

- 3 That no industrial effluent be permitted without prior written consent from the Planning Authority.

REASON:

In the interest of health.

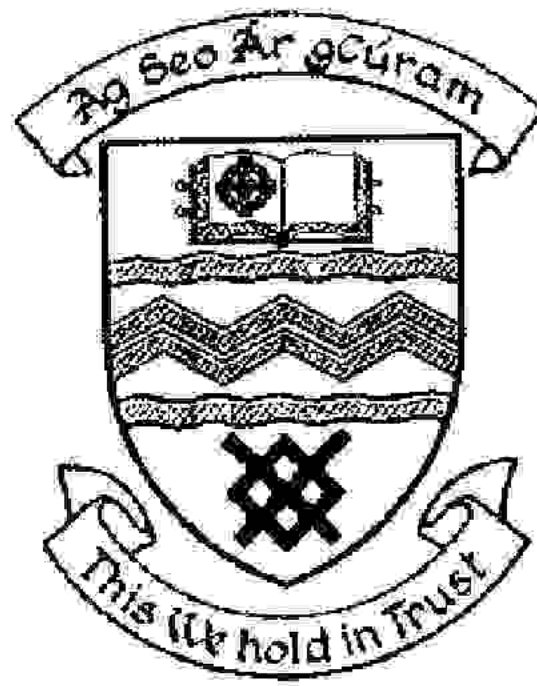
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REG REF. S01A/C

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Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104



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Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

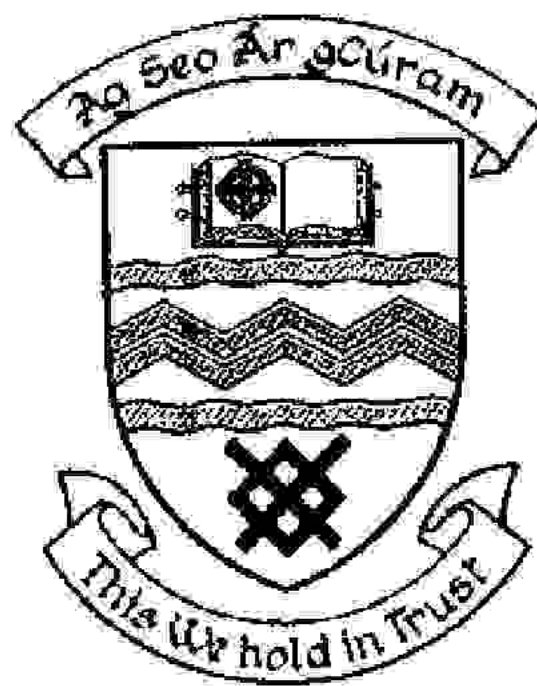
- 4 That no advertising sign or structure be erected except those which are exempted development, without prior permission of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 5 That the parking areas shown on the submitted plans are surfaced, marked out and retained for that purpose.
REASON:
In the interest of traffic safety.
- 6 Details of external facing materials, including colour scheme, shall be submitted to the Planning Authority for written agreement prior to the commencement of development.
REASON:
To serve a satisfactory appearance to the development.
- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 8 A detailed landscaping scheme shall be submitted to the Planning Authority for agreement prior to the commencement of development.
REASON:
To security a satisfactory appearance to the development.
- 9 Details of boundary treatment shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on the site.
REASON:
In the interest of orderly development and visual amenity.
- 10 All excess clay/top soil shall be removed from the site and disposed of to the satisfaction of the Planning Authority.
REASON:
In the interests of visual amenity.
- 11 Full details of
 - a) the proposed 'switch room/sub-station',
 - b) the proposed escape stairs from upper basement,shall be submitted to and agreed in writing with the Planning Authority, prior to the commencement of development. Details should include a complete set of drawings and proposed finishes.

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Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104



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Dublin 24

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Reason: In the interest of the proper planning and development of the area.

- 12 That arrangements be made with regard to the payment of financial contributions in respect of the overall development, as required by Condition No.11 & 12 of Register Reference S99A/0941, arrangements to be made prior to commencement of development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

- 13 That a financial contribution in the sum of £2,422 (two thousand four hundred and twenty two pounds) EUR 3,075 (three thousand and seventy five euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 14 That a financial contribution in the sum of £6,300 (six thousand and three hundred pounds) EUR 7,999 (seven thousand nine hundred and ninety nine euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of £2,400 (two thousand four hundred pounds) EUR 3,047 (three thousand and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of to the Dodder Valley Catchment Drainage Improvements Works which will facilitate this development; this contribution to be paid before the

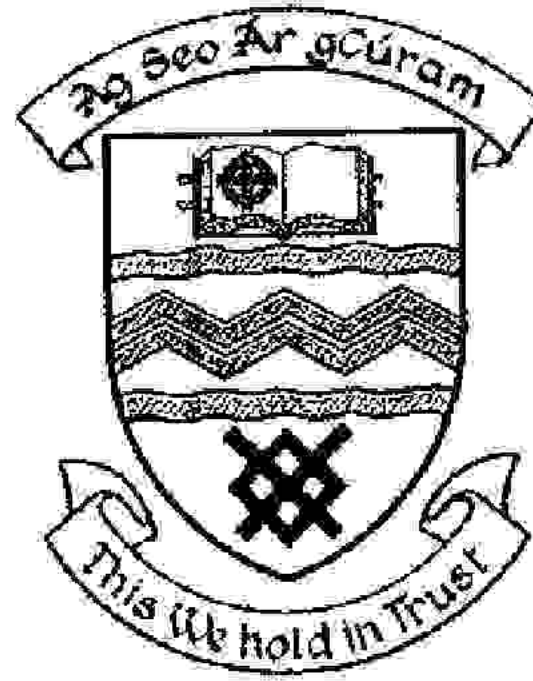
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REG REF. S01A/02M

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Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

Telefon: 01-414 9230
Facs: 01-414 9104



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Dublin 24

Telephone: 01-414 9230
Fax: 01-414 9104

commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £651 (six hundred and fifty one pounds) EUR 827 (eight hundred and twenty seven euros) be paid by the proposer to South Dublin County Council towards the cost of Bancroft Foul Sewer Duplication which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....27/09/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0230	
1. Location	Belgard Road/Cookstown Road junction Tallaght, Dublin 24.		
2. Development	Alterations to basement car park, internal layout, elevation changes, increase in gross floor area (c. 300sq.m) and alterations to site layout to development previously granted planning permission (S99A/0941 refers).		
3. Date of Application	19/04/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 15/06/2001 2.	1. 20/06/2001 2.
4. Submitted by	Name: Horan Keogan Ryan Architects Address: Carnegie House, Library Road,		
5. Applicant	Name: Delta Distributors Ltd Address: Cookstown Industrial Estate, Belgard Road, Dublin 24.		
6. Decision	O.C.M. No. 2681 Date 16/08/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



PLANNING
DEPARTMENT
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2681	Date of Decision 16/08/2001
Register Reference S01A/0230	Date: 19/04/01

Applicant Delta Distributors Ltd

Development Alterations to basement car park, internal layout, elevation changes, increase in gross floor area (c. 300sq.m) and alterations to site layout to development previously granted planning permission (S99A/0941 refers).

Location Belgard Road/Cookstown Road junction Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 15/06/2001 /20/06/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (16) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 16/08/01
for SENIOR ADMINISTRATIVE OFFICER

Horan Keogan Ryan Architects
Carnegie House,
Library Road,
Dun Laoghaire,
Co. Dublin.

SOUTH DUBLIN COUNTY COUNCIL

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S01A/0230

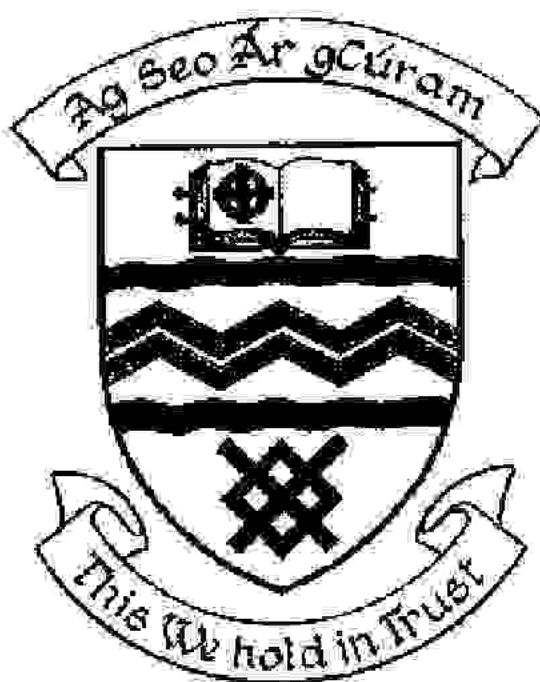
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, as amended by additional information lodged on 20/06/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 - i) As a 225mm diameter public foul sewer is within 5m (approx. 4m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the foul sewer from damage. The basement structure shall be designed in such a ways as to facilitate the necessary access for the maintenance, repair, renewal or replacement of the aforementioned foul sewer.
 - ii) All wastewater from canteen kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer.
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 - iv) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - v) As a 450mm diameter public surface water sewer is within 5m (approx. 3m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the surface water sewer from damage. The basement structure shall be designed in such a way as to facilitate the necessary access for the maintenance, repair, renewal or replacement of the aforementioned surface water sewer.

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Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT
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Town Centre, Tallaght,
Dublin 24.

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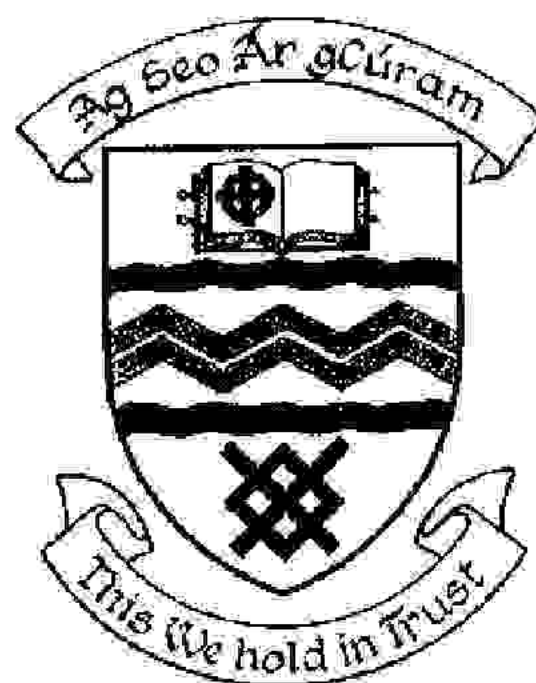
- vi) Condition 2(b) of the original permission (S99A/0941) required that that surface water discharge from the site be maintained at pre-development levels. Prior to development applicant to submit details of storm water attenuation. Details to include the dimensions of the storage facility, calculations involved for the storage requirement of the attenuation tank and details of the control device/s used. This requirement still applies.
- vii) Prior to the commencement of development the applicant shall submit full drainage details for the proposed basement car park. If the car park cannot drain by gravity the applicant shall provide details of any proposed pumping system. In such a case adequate provision shall also be allowed for a storage facility in the event of pump failure. If services are to be slung / suspended over the proposed basement any pumped system shall discharge to the foul drainage system.
- viii) All surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the surface water sewer.
- ix) As a 100mm diameter public watermain is within 5m (approx. 3.5m) of the proposed basement car park prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the basement including full details of how it is proposed to protect the watermain from damage. The basement structure shall be designed such that in the event of a watermain burst the integrity of the concrete structure shall not be affected.
- x) Prior to commencement of works, applicant shall submit for the approval of the Water Services Area Engineer, Deansrath (Tel: (01) 4570784) a detailed watermain layout. Layout to indicate watermain size, valve, meter and hydrant layout, and proposed point of connection to existing watermain. Layout to be in accordance with Part B of 1997 Building Regulation.
- xi) Developments of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.
- xii) The water supply to the development shall be commercially metered.
- xiii) The property shall have its own connection to the

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Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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Telephone: 01-414 9000
Fax: 01-414 9104

REG REF. S01A/0230

public watermain and full 24hour water storage.

xiv) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason: In order to comply with the Sanitary Services Acts, 1878-1964.

- 3 That no industrial effluent be permitted without prior written consent from the Planning Authority.

REASON:

In the interest of health.

- 4 That no advertising sign or structure be erected except those which are exempted development, without prior permission of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 5 That the parking areas shown on the submitted plans are surfaced, marked out and retained for that purpose.

REASON:

In the interest of traffic safety.

- 6 Details of external facing materials, including colour scheme, shall be submitted to the Planning Authority for written agreement prior to the commencement of development.

REASON:

To serve a satisfactory appearance to the development.

- 7 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 8 A detailed landscaping scheme shall be submitted to the Planning Authority for agreement prior to the commencement of development.

REASON:

To security a satisfactory appearance to the development.

SOUTH DUBLIN COUNTY COUNCIL

South Dublin County Council, Planning Department, County Hall, Tallaght, Dublin 24.



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Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

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Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

REG. REF. S01A/0230

- 9 Details of boundary treatment shall be lodged and agreed in writing with the Planning Authority prior to the commencement of development on the site.

REASON:

In the interest of orderly development and visual amenity.

- 10 All excess clay/top soil shall be removed from the site and disposed of to the satisfaction of the Planning Authority.

REASON:

In the interests of visual amenity.

- 11 Full details of
a) the proposed 'switch room/sub-station',
b) the proposed escape stairs from upper basement,
shall be submitted to and agreed in writing with the Planning Authority, prior to the commencement of development. Details should include a complete set of drawings and proposed finishes.

Reason: In the interest of the proper planning and development of the area.

- 12 That arrangements be made with regard to the payment of financial contributions in respect of the overall development, as required by Condition No.11 & 12 of Register Reference S99A/0941, arrangements to be made prior to commencement of development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing these services.

- 13 That a financial contribution in the sum of £2,422 (two thousand four hundred and twenty two pounds) EUR 3,075 (three thousand and seventy five euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

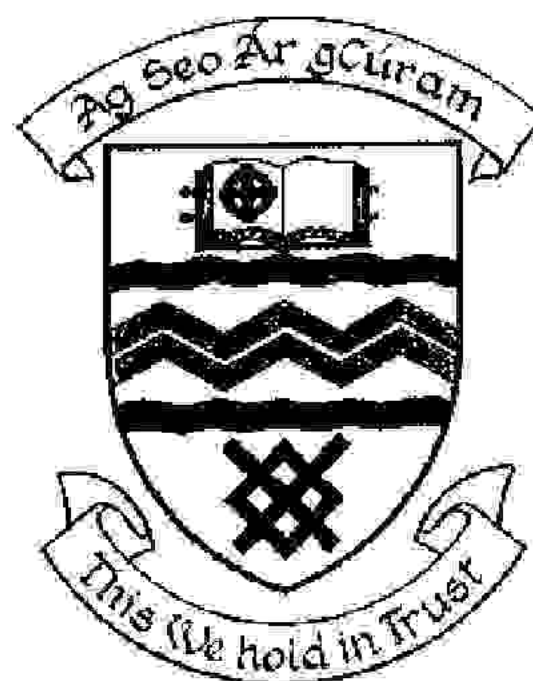
REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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COMHAILLE CHONTAE ÁTHA CLIATH

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Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

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reasonable that the developer should contribute towards the cost of providing the services.

- 14 That a financial contribution in the sum of £6,300 (six thousand and three hundred pounds) EUR 7,999 (seven thousand nine hundred and ninety nine euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of £2,400 (two thousand four hundred pounds) EUR 3,047 (three thousand and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of to the Dodder Valley Catchment Drainage Improvements Works which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £651 (six hundred and fifty one pounds) EUR 827 (eight hundred and twenty seven euros) be paid by the proposer to South Dublin County Council towards the cost of Bancroft Foul Sewer Duplication which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

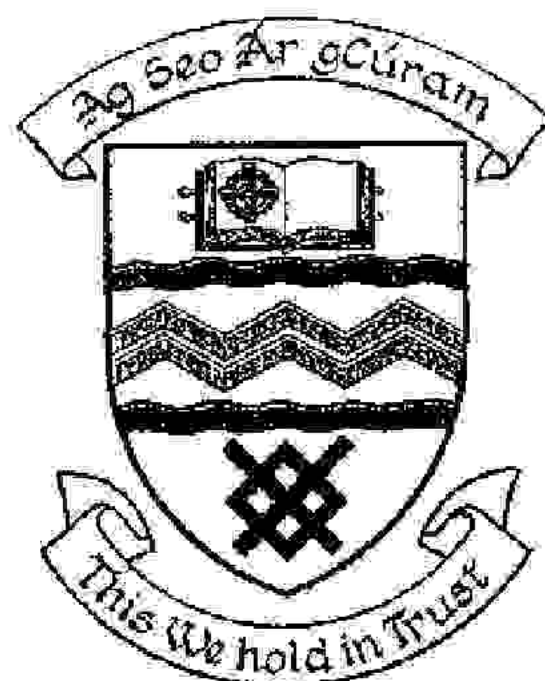
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0230	
1. Location	Belgard Road/Cookstown Road junction Tallaght, Dublin 24.		
2. Development	Alterations to basement car park, internal layout, elevation changes, increase in gross floor area (c. 300sq.m) and alterations to site layout to development previously granted planning permission (S99A/0941 refers).		
3. Date of Application	19/04/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 15/06/2001 2.	1. 20/06/2001 2.
4. Submitted by	Name: Horan Keogan Ryan Architects Address: Carnegie House, Library Road,		
5. Applicant	Name: Delta Distributors Ltd Address: Cookstown Industrial Estate, Belgard Road, Dublin 24.		
6. Decision	O.C.M. No. 2162 Date	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

M

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2162	Date of Decision 15/06/2001
Register Reference S01A/0230	Date: 19/04/01

Applicant Delta Distributors Ltd
Development Elevational changes to building previously granted planning permission (S99A/0941 refers)
Location Belgard Road/Cookstown Road junction Tallaght, Dublin 24.
App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 19/04/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

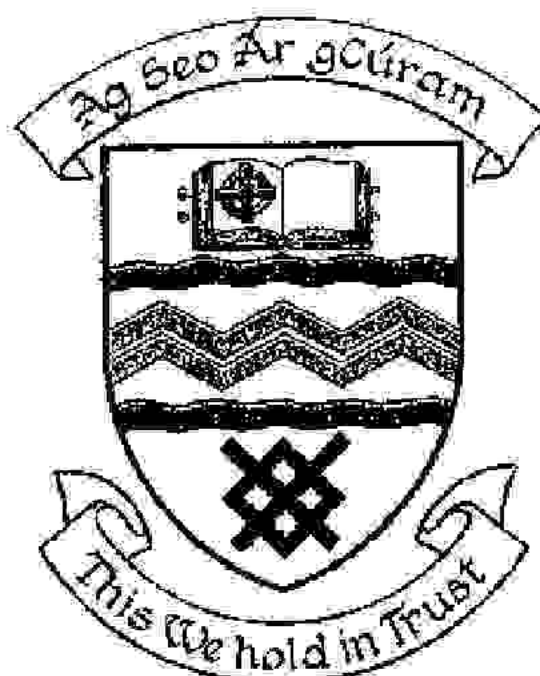
- 1 It is stated that the current application is for 'elevational changes to building previously granted planning permission (S99A/0941)'. The drawings submitted differ, in some respects substantially, from those submitted with the said previous application. The applicant is requested to submit amended public notices (site and newspaper notices) to also include alterations to basement car parks, building dimensions and internal layout, and general site layout, to development previously granted planning permission (ref.S99A/0941), in accordance with the Local Government (Planning and Development) Regulations, 1994.
- 2 The applicant is requested to submit drawings highlighting all changes to the proposed development granted permission under S99A/0941, including changes in building dimensions/footprint, internal layout, car parking layout and general site layout.

Horan Keogan Ryan Architects
Carnegie House,
Library Road,
Dun Laoghaire,
Co. Dublin.

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REG REF. S01A/0230

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

15/06/01

14.

Registrar

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Date

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Receipt No.