

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0260
1. Location	The "Lough & Quay" Public House, Ninth Lock Road, D.22	
2. Development	Demolition of existing licensed premises, construction of 3 storey above basement retail and licensed development comprising basement level carparking and stores, ground floor of Public Bar (160sqm) and Public Lounge Bar(204 sqm) with ancillary stores and services, 1 no. retail unit (book-makers-108 sqm), 1 no. retail unit (off-licence-181 sqm) first floor of 2 no. restaurants (124 sqm and 117 sqm) with ancillary kitchens and stores, 2 no. function rooms (96.5 sqm and 97.5 sqm) second floor of 6 no. 2 bed staff apartments and plant rooms, and 2 storey entrance building comprising taxi/hackney office, security office and ESB sub-station, and associated car parking and site development works.	
3. Date of Application	04/05/01	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 1. 2. 2.
4. Submitted by	Name: John F. O'Connor & Associates, Address: 11A Greenmount House, Harold's Cross,	
5. Applicant	Name: Town Pub Developments Ltd., Address: Reg Office 1, Terenure Place, Terenure, Dublin 6W.	
6. Decision	O.C.M. No. 2700 Date 17/08/2001	Effect AP GRANT PERMISSION
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2700	Date of Decision 17/08/2001
Register Reference S01A/0260	Date: 04/05/01

Applicant Town Pub Developments Ltd.,

Development Demolition of existing licensed premises, construction of 3 storey above basement retail and licensed development comprising basement level carparking and stores, ground floor of Public Bar (160sqm) and Public Lounge Bar(204 sqm) with ancillary stores and services, 1 no. retail unit (book-makers-108 sqm), 1 no. retail unit (off-licence-181 sqm) first floor of 2 no. restaurants (124 sqm and 117 sqm) with ancillary kitchens and stores, 2 no. function rooms (96.5 sqm and 97.5 sqm) second floor of 6 no. 2 bed staff apartments and plant rooms, and 2 storey entrance building comprising taxi/hackney office, security office and ESB sub-station, and associated car parking and site development works.

Location The "Lough & Quay" Public House, Ninth Lock Road, D.22

Floor Area Sq Metres

Time extension(s) up to and including 21/08/2001

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

John F. O'Connor & Associates,
11A Greenmount House,
Harolds Cross,
Dublin 6W.

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Subject to the conditions (31) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 20/08/01
for SENIOR ADMINISTRATIVE OFFICER

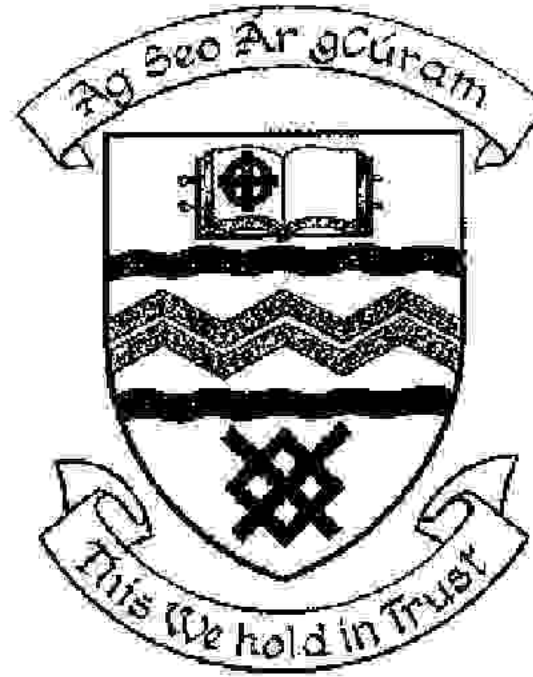
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and unsolicited additional information received on 01/08/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.

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- 4 That high quality design public lighting be provided within the site prior to the completion of development in accordance with a scheme to be approved in writing by the Planning Authority prior to commencement of development.

REASON:

In the interest of visual amenity, public safety and the proper planning and development of the area.

- 5 That no apartment be occupied until all services have been constructed thereto and are operational.

REASON:

In the interest of proper planning and development of the area.

- 6 The proposed ramp shall be screened from the beer garden and the lounge bar by a 2m high louvred metal screen which shall be painted a neutral colour, and covered with climbing plants.

REASON:

In the interest of visual amenity and the proper planning and development of the area.

- 7 The applicant shall submit prior to the commencement of development samples of the proposed materials which shall be consistent with those which are to be used in the residential development reg.ref. S01A/0262 (these shall include brick types, roofing materials and railings) for the written agreement of the Planning Authority.

REASON:

In the interest of proper planning and development of the area.

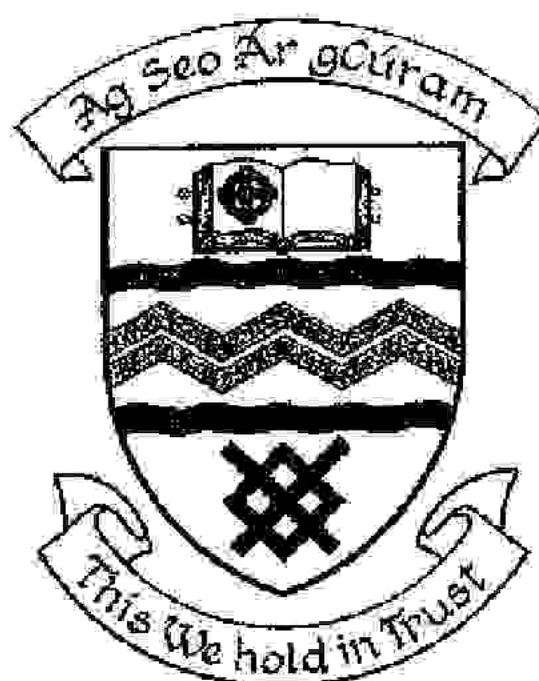
- 8 The applicant shall submit prior to the commencement of development for the written agreement of the Planning Authority details of the proposed fenestrations which shall be consistent with those which are to be used in the residential development reg.ref. S01A/0262.

REASON:

In the interest of proper planning and development of the area.

- 9 All waste material from both the commercial and residential elements of the proposed development shall be stored at

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basement level in the specified stores at all times.

REASON:

In the interest of proper planning and development of the area.

- 10 The proposed signage on the north, south west and south east elevations situated directly under the feature canopy roof on prominent corner entrance to site above stair well 3 shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 11 The proposed signage on the north east elevation which is directly under the feature canopy roof on the prominent corner elevation to the towpath shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 12 The barrier to be provided at the entrance to the car park for the commercial development B2 shall be a rising road blocker, by Automatic Systems. Details of which are to be agreed in writing with the Planning Authority prior to the commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 13 The proposed signage on proposed raised metal letter signage on the north elevation directly under the proposed proprietary colour coated aluminium louvre screen to roof top plant shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 14 The proposed signage on the proposed security building shall be omitted and be subject to a separate application at a later date.

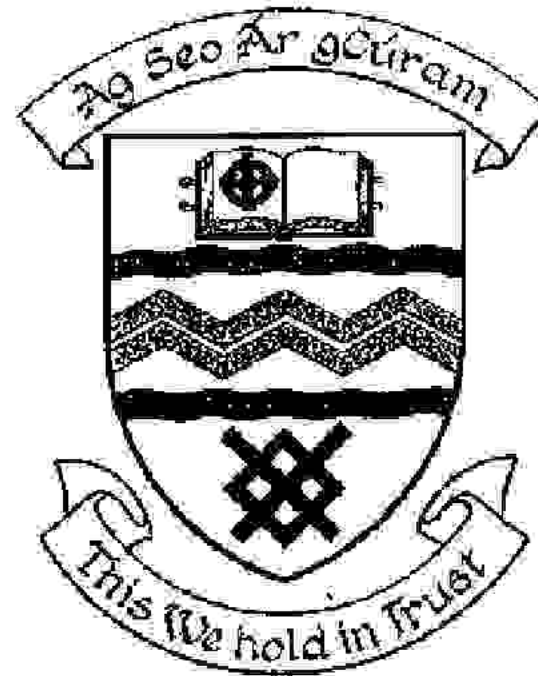
REASON:

In the interest of proper planning and development of the area.

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15 This permission relates only to the proposed development of 3 Storey Building with basement carpark and stores for use as public bar and public lounge bar (204 sq.m.) with ancillary stores and services, 1 no retail unit off-licence (181 sq.m.), retail book makers (108 sq.m.) first floor of 2 no restaurants (124 sq.m.) and (117 sq.m.) with ancillary kitchens and stores, 2 no function rooms (96.5 sq.m. and 97.5 sq.m.) second floor of 6 no. 2 bed staff apartments and plant rooms. A 2 storey entrance building for taxi office, security office and ESB substation, and associated car-parking and site development works. It does not apply to any works along the canal including the proposed extension of the jetty.

REASON:

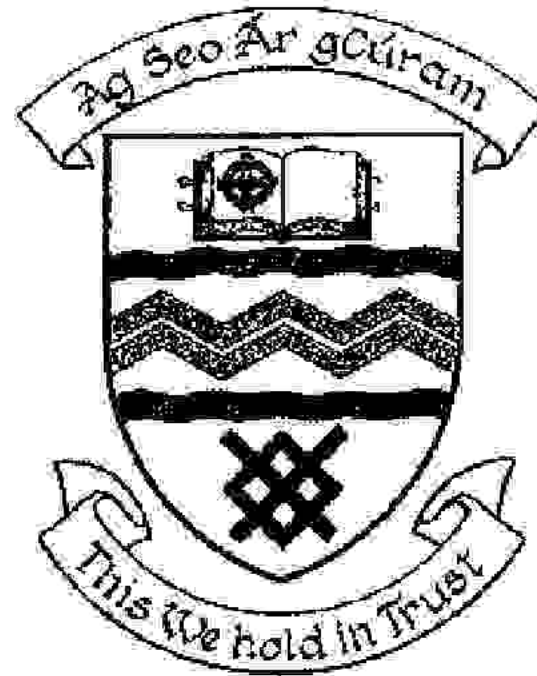
In the interest of clarity and the proper planning and development of the area.

- 16 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- . All wastewater from restaurant/commercial kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer. Additionally no discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977-1990.
 - . No buildings shall be erected within 5 metres of a public sewer with the potential to be taken in charge. All foul sewers with the potential to be taken in charge shall be a minimum of 225mm diameter.
 - . All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - . Applicant to ensure full and complete separation of foul and surface water systems.
 - . Prior to the commencement of development the applicant shall liaise with the Water / Leakage Engineer, Deansrath Depot, to establish whether the water connection from the site shall be taken from the 300mm diameter or 150mm diameter watermain on Ninth Lock Road.
 - . No buildings shall lie within 5m of watermains less than

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225mm diameter and within 8m of watermains greater than 225mm diameter.

. Each apartment and commercial units shall be commercially metered.

. The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

. The watermain serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.

. Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 17 The applicant is proposing to divert a 1350mm diameter public surface water sewer. They propose a gradient of 1:838 for the diverted sewer. As the existing sewer has a gradient 1:700 this would result in a significant loss in capacity of the system. This system facilitates the surface water drainage of a large part of Clondalkin therefore the applicants proposal is unacceptable. Therefore the applicant shall prior to the commencement of development submit for the written agreement of the Planning Authority a revised design for the diversion of this 1350mm diameter sewer, upsizing the pipe to maintain capacity if adequate gradients are not available. Similarly the diversion of the 450mm diameter public surface water sewer shall not result in any loss of capacity in the sewer. Any diversion shall be carried out by the County Council at the applicant's prior expense. No part of any building shall be within 5m of this sewer or any other sewer with the potential to be taken in charge.

REASON:

In the interest of proper planning and development of the area.

- 18 The applicant is proposing to construct a "roof" over the open channel on the north of the site. The applicant shall submit prior to the commencement of development for the

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written approval of the Planning Authority a detailed structural design for this "roof", as well as details of the manholes which will be required for access / cleaning purposes. While the applicant states that covered channel will be landscaped over by the site layout car parking located over it, the applicant shall prior to the commencement of development clearly demonstrate that the existing concrete channel, together with the proposed "roof", can adequately support the loading from this car-park.

REASON:

In the interest of proper planning and development of the area.

- 19 The applicant is proposing to pump surface water from the basement car park. Full details of this pumping system are to be provided for agreement prior to the commencement of development. Adequate provision shall be allowed for an overflow storage facility in the event of pump failure. The installation, operation and maintenance of the system shall remain the responsibility of the applicant.

REASON:

In the interest of proper planning and development of the area.

- 20 That all watermain tappings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

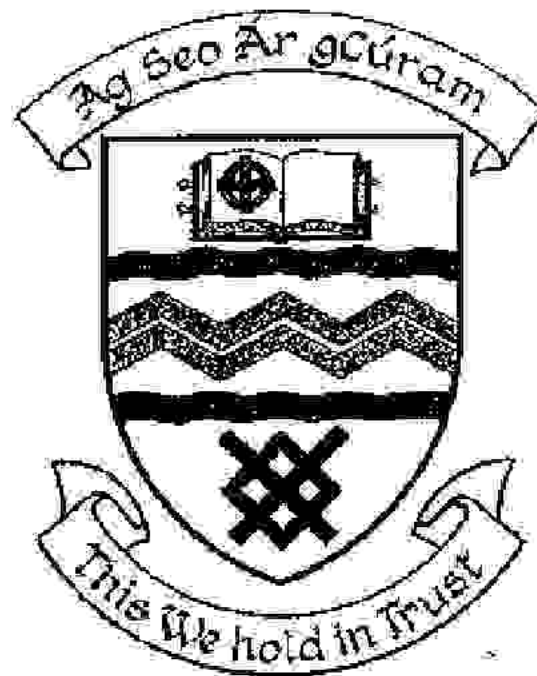
- 21 That an acceptable naming and numbering scheme for the proposed staff apartments be submitted to the County Council prior to the commencement of development.

REASON:

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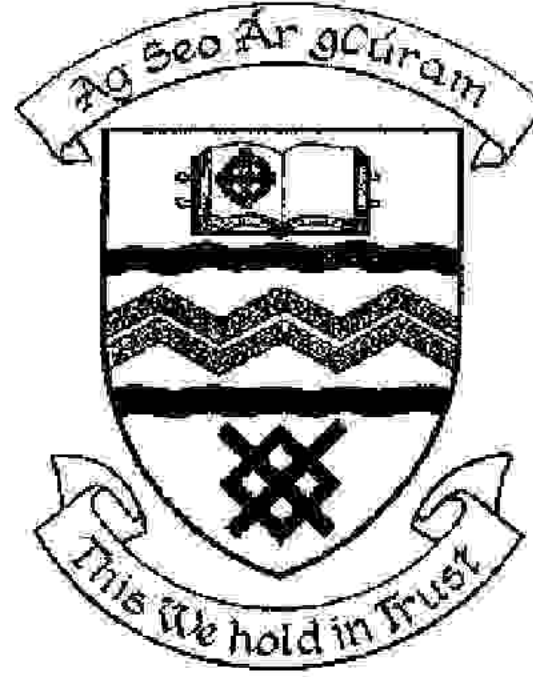
REG REF. S01A/0260

- IN the interest of proper planning and development of the area.
- 22 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 23 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 24 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.
REASON:
In the interest of the proper planning and development of the area.
- 25 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 26 Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.
REASON:
In the interest of safety and amenity.
- 27 Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and

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submit to the Planning Department a detailed landscape plan for the site with full works specification. This plan to include details in relation to the landscape treatment of the proposed car-park including tree, shrub and boundary planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department.

REASON;

In the interest of the proper planning and development of the area.

- 28 That a financial contribution in the sum of £30,673 (thirty thousand six hundred and seventy three pounds) EUR 38,947 (thirty eight thousand nine hundred and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 29 That a financial contribution in the sum of £80,682 (eighty thousand six hundred and eighty two pounds) EUR 102,445 (one hundred and two thousand four hundred and forty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

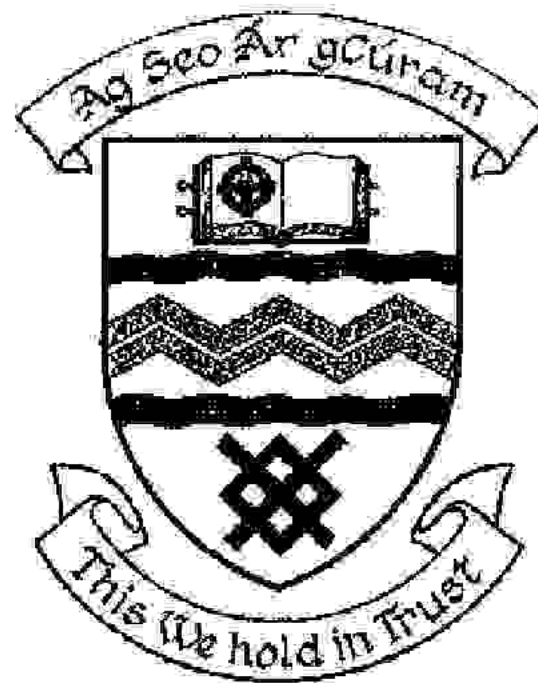
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 30 That a financial contribution in the sum of £4,500 (four thousand five hundred pounds) EUR 5,714 (five thousand seven

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hundred and fourteen euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

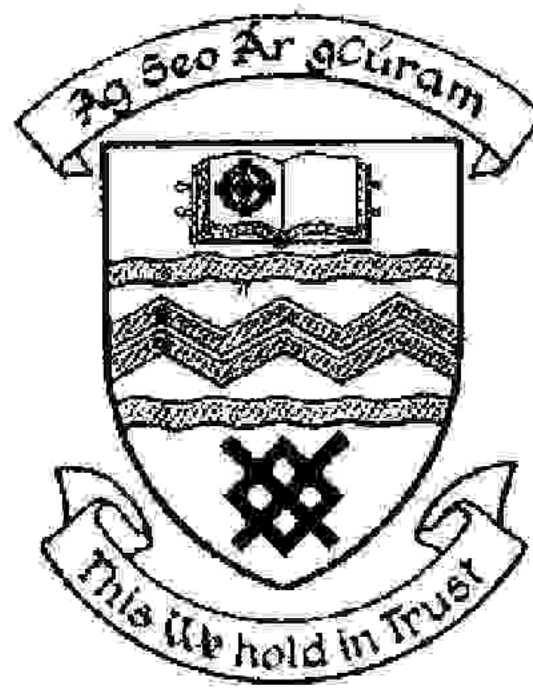
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 31 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £10,000 (ten thousand pounds) EUR 12,697 (twelve thousand six hundred and ninety seven euros) or lodgement with the Council of a cash sum of £10,000 (ten thousand pounds) EUR 12,697 (twelve thousand six hundred and ninety seven euros)

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

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NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
 AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 3009	Date of Final Grant 26/09/2001
Decision Order Number 2700	Date of Decision 17/08/2001
Register Reference S01A/0260	Date 04/05/01

Applicant Town Pub Developments Ltd.,

Development Demolition of existing licensed premises, construction of 3 storey above basement retail and licensed development comprising basement level carparking and stores, ground floor of Public Bar (160sqm) and Public Lounge Bar (204 sqm) with ancillary stores and services, 1 no. retail unit (book-makers-108 sqm), 1 no. retail unit (off-licence-181 sqm) first floor of 2 no. restaurants (124 sqm and 117 sqm) with ancillary kitchens and stores, 2 no. function rooms (96.5 sqm and 97.5 sqm) second floor of 6 no. 2 bed staff apartments and plant rooms, and 2 storey entrance building comprising taxi/hackney office, security office and ESB sub-station, and associated car parking and site development works.

Location The "Lough & Quay" Public House, Ninth Lock Road, D.22

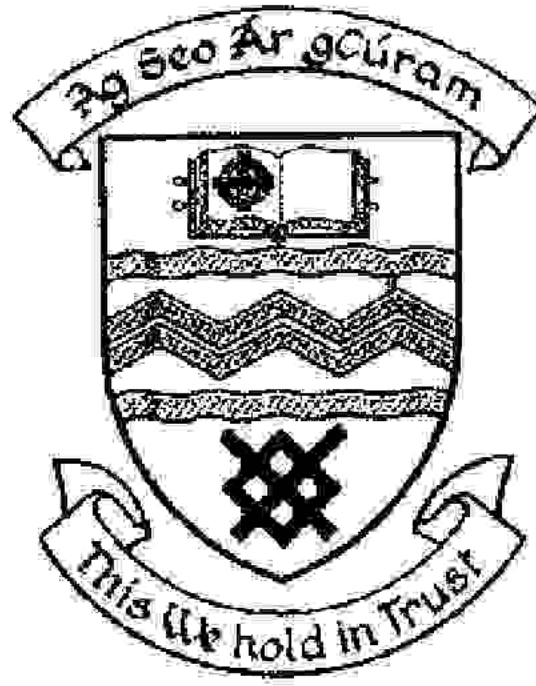
Floor Area 3242.00 Sq Metres
Time extension(s) up to and including 21/08/2001
Additional Information Requested/Received /

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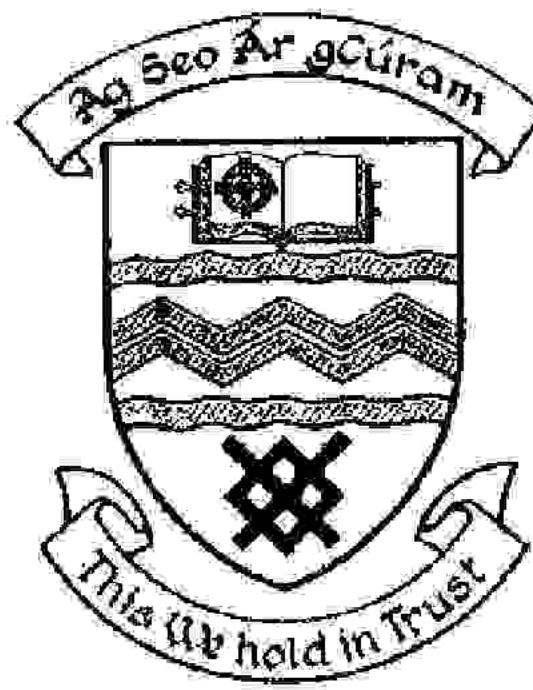
A Permission has been granted for the development described above,
subject to the following (31) Conditions.

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Conditions and Reasons

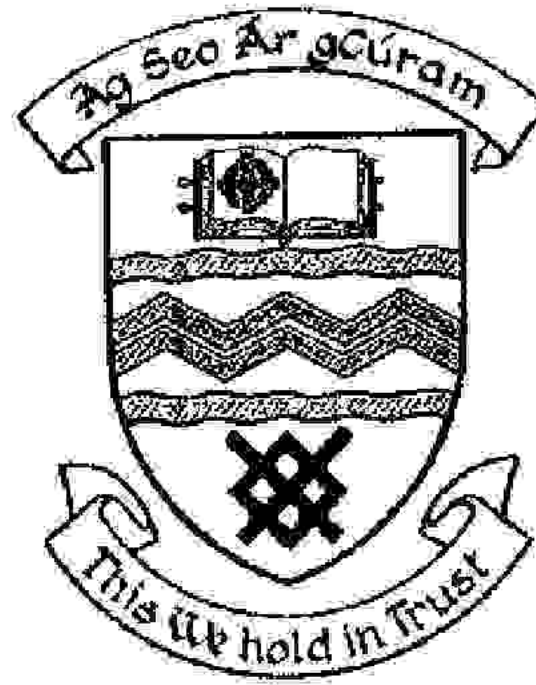
- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, and unsolicited additional information received on 01/08/2001 save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 3 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 4 That high quality design public lighting be provided within the site prior to the completion of development in accordance with a scheme to be approved in writing by the Planning Authority prior to commencement of development.
REASON:
In the interest of visual amenity, public safety and the proper planning and development of the area.
- 5 That no apartment be occupied until all services have been constructed thereto and are operational.
REASON:
In the interest of proper planning and development of the area.
- 6 The proposed ramp shall be screened from the beer garden and the lounge bar by a 2m high louvred metal screen which shall be painted a neutral colour, and covered with climbing plants.
REASON:
In the interest of visual amenity and the proper planning and development of the area.
- 7 The applicant shall submit prior to the commencement of development samples of the proposed materials which shall be

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consistent with those which are to be used in the residential development reg.ref. S01A/0262 (these shall include brick types, roofing materials and railings) for the written agreement of the Planning Authority.

REASON:

In the interest of proper planning and development of the area.

- 8 The applicant shall submit prior to the commencement of development for the written agreement of the Planning Authority details of the proposed fenestrations which shall be consistent with those which are to be used in the residential development reg.ref. S01A/0262.

REASON:

In the interest of proper planning and development of the area.

- 9 All waste material from both the commercial and residential elements of the proposed development shall be stored at basement level in the specified stores at all times.

REASON:

In the interest of proper planning and development of the area.

- 10 The proposed signage on the north, south west and south east elevations situated directly under the feature canopy roof on prominent corner entrance to site above stair well 3 shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 11 The proposed signage on the north east elevation which is directly under the feature canopy roof on the prominent corner elevation to the towpath shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 12 The barrier to be provided at the entrance to the car park for the commercial development B2 shall be a rising road blocker, by Automatic Systems. Details of which are to be agreed in writing with the Planning Authority prior to the commencement of development.

REASON:

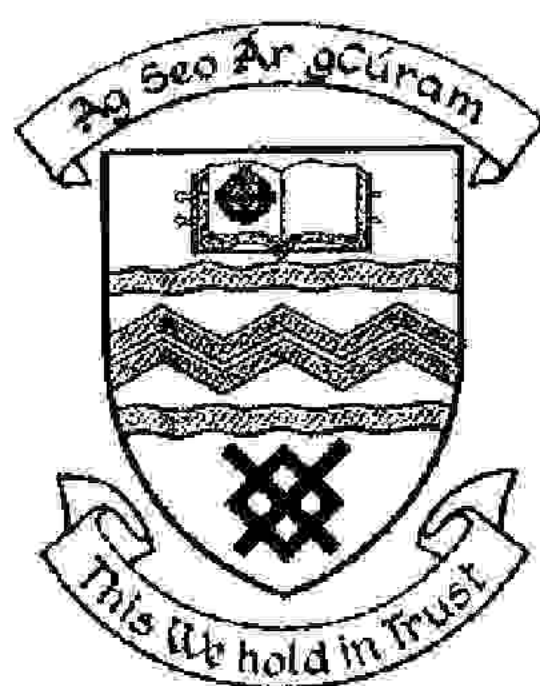
In the interest of proper planning and development of the area.

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01A/12/01 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae
Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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PLANNING DEPARTMENT
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County Hall
Town Centre, Tallaght
Dublin 24

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- 13 The proposed signage on proposed raised metal letter signage on the north elevation directly under the proposed proprietary colour coated aluminium louvre screen to roof top plant shall be omitted.

REASON:

In the interest of proper planning and development of the area.

- 14 The proposed signage on the proposed security building shall be omitted and be subject to a separate application at a later date.

REASON:

In the interest of proper planning and development of the area.

- 15 This permission relates only to the proposed development of 3 Storey Building with basement carpark and stores for use as public bar and public lounge bar (204 sq.m.) with ancillary stores and services, 1 no retail unit off-licence (181 sq.m.), retail book makers (108 sq.m.) first floor of 2 no restaurants (124 sq.m.) and (117 sq.m.) with ancillary kitchens and stores, 2 no function rooms (96.5 sq.m. and 97.5 sq.m.) second floor of 6 no. 2 bed staff apartments and plant rooms. A 2 storey entrance building for taxi office, security office and ESB substation, and associated car-parking and site development works. It does not apply to any works along the canal including the proposed extension of the jetty.

REASON:

In the interest of clarity and the proper planning and development of the area.

- 16 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

. All wastewater from restaurant/commercial kitchens shall be routed via an appropriate grease trap or grease removal system before being discharged to the public sewer. Additionally no discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977-1990.

. No buildings shall be erected within 5 metres of a public sewer with the potential to be taken in charge. All foul sewers with the potential to be taken in charge shall be a minimum of 225mm diameter.

. All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space.

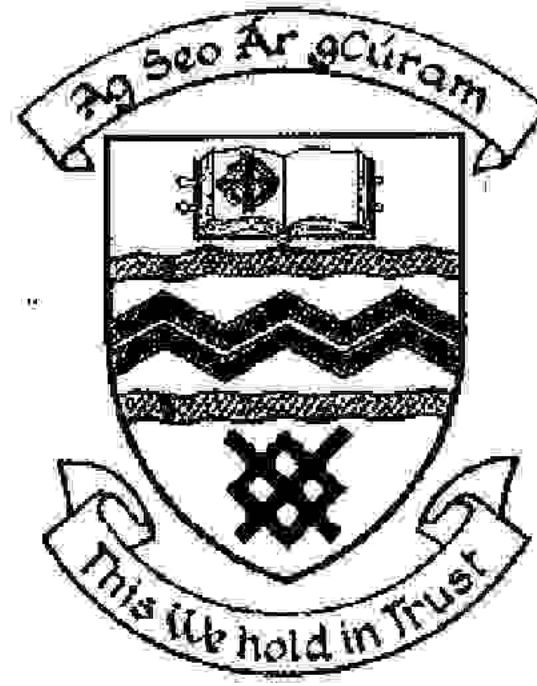
Where is not possible to achieve these minimum covers, pipes

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01470960
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Where is not possible to achieve these minimum covers, pipes

SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/03501 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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shall be bedded and surrounded in C20 concrete 150mm thick.

. Applicant to ensure full and complete separation of foul and surface water systems.

. Prior to the commencement of development the applicant shall liaise with the Water / Leakage Engineer, Deansrath Depot, to establish whether the water connection from the site shall be taken from the 300mm diameter or 150mm diameter watermain on Ninth Lock Road.

. No buildings shall lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.

. Each apartment and commercial units shall be commercially metered.

. The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

. The watermain serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.

. Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 17 The applicant is proposing to divert a 1350mm diameter public surface water sewer. They propose a gradient of 1:838 for the diverted sewer. As the existing sewer has a gradient 1:700 this would result in a significant loss in capacity of the system. This system facilitates the surface water drainage of a large part of Clondalkin therefore the applicants proposal is unacceptable. Therefore the applicant shall prior to the commencement of development submit for the written agreement of the Planning Authority a revised design for the diversion of this 1350mm diameter sewer, upsizing the pipe to maintain capacity if adequate gradients are not available. Similarly the diversion of the 450mm diameter public surface water sewer shall not result in any loss of capacity in the sewer. Any diversion shall be carried out by the County Council at the applicant's prior expense. No part of any building shall be within 5m of this sewer or any other sewer with the potential to be taken in charge.

REASON:

In the interest of proper planning and development of the area.

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REG. REF. S01A/031000 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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- 18 The applicant is proposing to construct a "roof" over the open channel on the north of the site. The applicant shall submit prior to the commencement of development for the written approval of the Planning Authority a detailed structural design for this "roof", as well as details of the manholes which will be required for access / cleaning purposes. While the applicant states that covered channel will be landscaped over by the site layout car parking located over it, the applicant shall prior to the commencement of development clearly demonstrate that the existing concrete channel, together with the proposed "roof", can adequately support the loading from this car-park.

REASON:

In the interest of proper planning and development of the area.

- 19 The applicant is proposing to pump surface water from the basement car park. Full details of this pumping system are to be provided for agreement prior to the commencement of development. Adequate provision shall be allowed for an overflow storage facility in the event of pump failure. The installation, operation and maintenance of the system shall remain the responsibility of the applicant.

REASON:

In the interest of proper planning and development of the area.

- 20 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by the County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 21 That an acceptable naming and numbering scheme for the proposed staff apartments be submitted to the County Council prior to the commencement of development.

REASON:

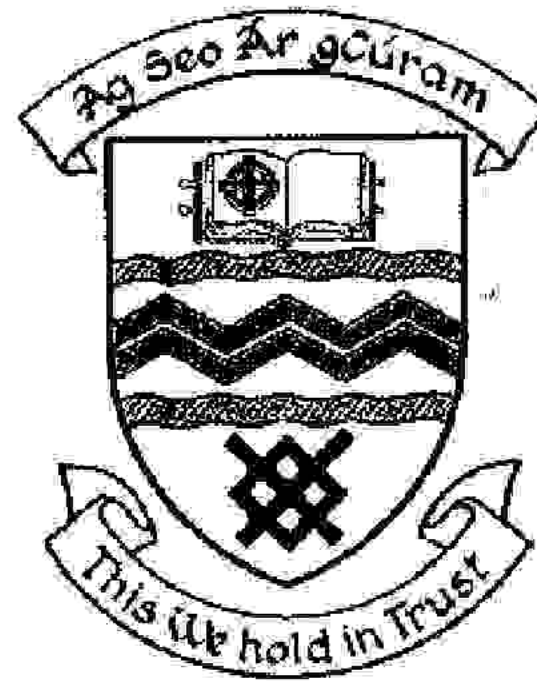
IN the interest of proper planning and development of the area.

SOUTH DUBLIN COUNTY COUNCIL

REG REF. S014/0360 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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- 22 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of safety and the avoidance of fire hazard.
- 23 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.
REASON:
In the interest of health.
- 24 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.
REASON:
In the interest of the proper planning and development of the area.
- 25 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 26 Adequate provision is to be made to facilitate access to and the use of the development, buildings, facilities and services by disabled persons. The minimum requirements to be provided shall be as set out in "Access for the Disabled - Minimum Design Criteria" published by the National Rehabilitation Board.
REASON:
In the interest of safety and amenity.
- 27 Prior to the commencement of works on site, the developer to agree with the Parks and Landscape Services Department and submit to the Planning Department a detailed landscape plan for the site with full works specification. This plan to include details in relation to the landscape treatment of the proposed car-park including tree, shrub and boundary planting. These works to be in accordance with South Dublin County Council's Guidelines for Open Space Development and Taking in Charge available from the Parks and Landscape Services Department.
REASON;

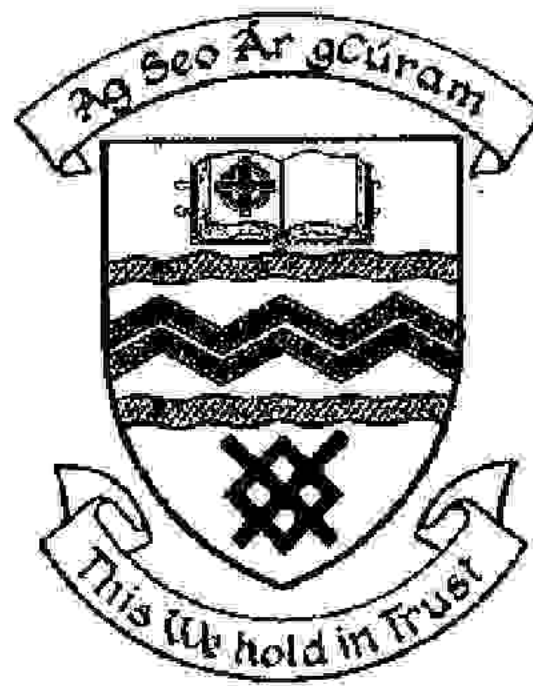
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REG. REF. S01A/0350

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In the interest of the proper planning and development of the area.

- 28 That a financial contribution in the sum of £30,673 (thirty thousand six hundred and seventy three pounds) EUR 38,947 (thirty eight thousand nine hundred and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 29 That a financial contribution in the sum of £80,682 (eighty thousand six hundred and eighty two pounds) EUR 102,445 (one hundred and two thousand four hundred and forty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 30 That a financial contribution in the sum of £4,500 (four thousand five hundred pounds) EUR 5,714 (five thousand seven hundred and fourteen euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 31 That no development under any permission granted pursuant to this decision be commenced until security for the provision

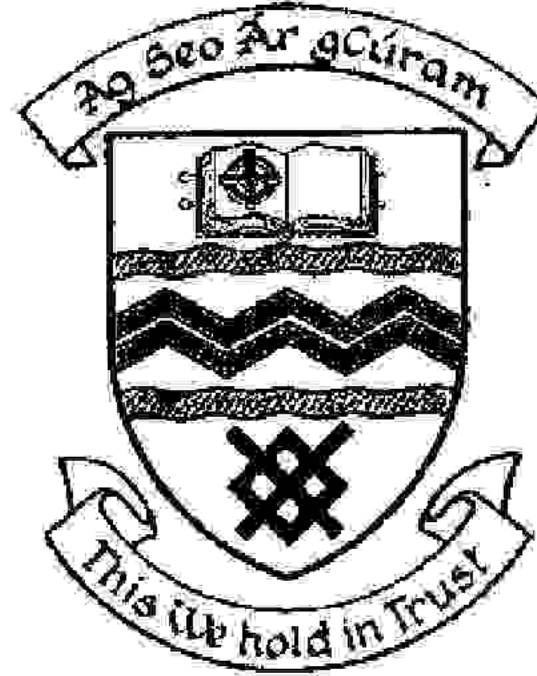
SOUTH DUBLIN COUNTY COUNCIL

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and satisfactory completion of services, kerbs, grass margin and footpath fronting the site has been given by lodgement with the Council of an approved Insurance Company Bond in the sum of £10,000 (ten thousand pounds) EUR 12,697 (twelve thousand six hundred and ninety seven euros) or lodgement with the Council of a cash sum of £10,000 (ten thousand pounds) EUR 12,697 (twelve thousand six hundred and ninety seven euros)

REASON:

To ensure that a ready sanction may be available to induce the provision of services and prevent disamenity in the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....27/09/01
for SENIOR ADMINISTRATIVE OFFICER

	<p style="text-align: center;">South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)</p>	<p style="text-align: center;">Plan Register No. S01A/0260</p>				
1. Location	The "Lough & Quay" Public House, Ninth Lock Road, D.22					
2. Development	Demolition of existing licensed premises, construction of 3 storey above basement retail and licensed development comprising basement level carparking and stores, ground floor of Public Bar (160sqm) and Public Lounge Bar(204 sqm) with ancillary stores and services, 1 no. retail unit (book-makers-108 sqm), 1 no. retail unit (off-licence-181 sqm) first floor of 2 no. restaurants (124 sqm and 117 sqm) with ancillary kitchens and stores, 2 no. function rooms (96.5 sqm and 97.5 sqm) second floor of 6 no. 2 bed staff apartments and plant rooms, and 2 storey entrance building comprising taxi/hackney office, security office and ESB sub-station, and associated car parking and site development works.					
3. Date of Application	04/05/01	Date Further Particulars (a) Requested (b) Received				
3a. Type of Application	Permission	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">1.</td> <td style="width: 50%;">1.</td> </tr> <tr> <td>2.</td> <td>2.</td> </tr> </table>	1.	1.	2.	2.
1.	1.					
2.	2.					
4. Submitted by	Name: John F. O'Connor & Associates, Address: 11A Greenmount House, Harolds Cross,					
5. Applicant	Name: Town Pub Developments Ltd., Address: Reg Office 1, Terenure Place, Terenure, Dublin 6W.					
6. Decision	O.C.M. No. 2700 Date 17/08/2001	Effect AP GRANT PERMISSION				
7. Grant	O.C.M. No. 3009 Date 26/09/2001	Effect AP GRANT PERMISSION				
8. Appeal Lodged						
9. Appeal Decision						
10. Material Contravention						
11. Enforcement	Compensation	Purchase Notice				

12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.