

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0261	
1. Location	Coolmine, Saggart, Co. Dublin.		
2. Development	Construct a split level bungalow with roof dormer windows and bio cycle sewage system.		
3. Date of Application	04/05/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 03/07/2001 2.	1. 24/10/2001 2.
4. Submitted by	Name: Mr. Richard Callaghan, Address: 25 Alpine Rise, Belgard,		
5. Applicant	Name: Mr. Martin Considine, Address: Coolmine, Saggart, Co. Dublin.		
6. Decision	O.C.M. No. 3704  Date 17/12/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0304  Date 06/02/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	Date	Receipt No.	

**SOUTH DUBLIN COUNTY COUNCIL**  
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Mr. Richard Callaghan,  
25 Alpine Rise,  
Belgard,  
Tallaght,  
Dublin 24.

**NOTIFICATION OF GRANT OF Permission**

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0304	Date of Final Grant 06/02/2002
Decision Order Number 3704	Date of Decision 17/12/2001
Register Reference S01A/0261	Date 24/10/01

**Applicant** Mr. Martin Considine,

**Development** Construct a split level bungalow with roof dormer windows  
and bio cycle sewage system.

**Location** Coolmine, Saggart, Co. Dublin.

**Floor Area** 0.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** 03/07/2001 /24/10/2001

A Permission has been granted for the development described above,  
subject to the following (13) Conditions.

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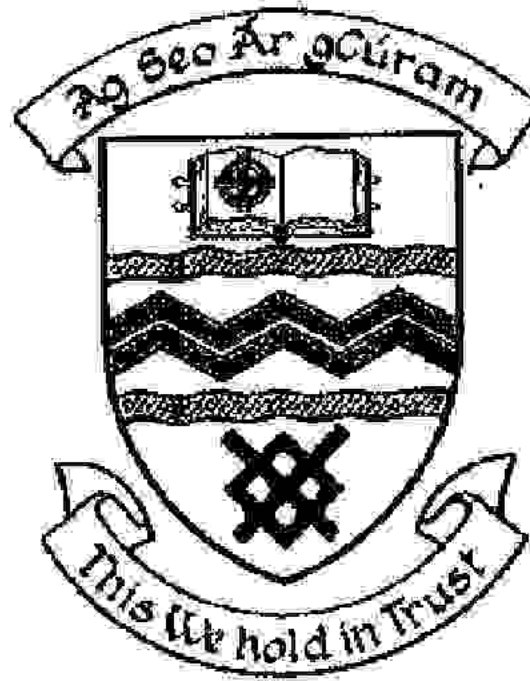
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## Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on the 24/10/2001, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 The proposed dwelling when completed shall be first occupied for a period of at least one year as a place of permanent residence by the applicant and/or members of the applicant's immediate family.  
REASON:  
In the interests of the proper planning and development of the area.
- 4
  - i) Vision splays of 90 metres from a 3 metre setback shall be provided at the site entrance. The existing roadside hedge/ditch shall be removed only to a sufficient extent to provide these vision splays. The new boundary shall be setback along the line of the vision splays.
  - ii) The site boundaries and the setback roadside boundary shall be planted with a continuous line of traditional Irish rural hedgerow species interspersed with broad-leaved deciduous trees. This planting shall be carried out and completed within the first planting season following first occupation of the dwelling.  
REASON:  
In the interest of traffic safety and rural amenity and to screen the proposed development within a reasonable period of time.
- 5
  - a) The roof shall be tiled with natural slate or black colour roof tiles.
  - b) The external wall finishes shall be of smooth plaster/render and no brick shall be used.  
REASON:  
In the interest of visual amenity.



# SOUTH DUBLIN COUNTY COUNCIL

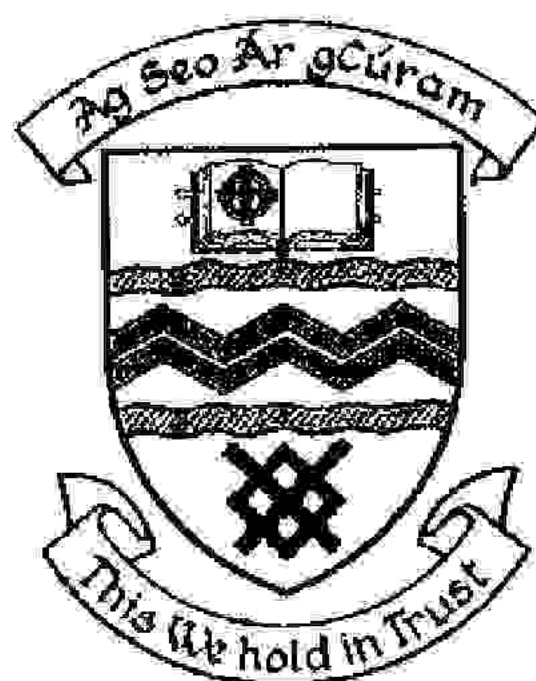
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- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- i) Septic Tank/Effluent Treatment System and percolation/irrigation area are to be in accordance with S.R.6: 1991 and the requirements of the EPA's Wastewater Treatment Manual for Single Houses. Certification of compliance by an Engineer to the aforementioned standard must be submitted to South Dublin County Council.
  - ii) Septic Tank/Effluent Treatment System and percolation/irrigation area to meet the requirements of the Environmental Health Officer.
  - iii) Applicant to ensure full and complete separation of foul and surface water systems.
  - iv) All soakage areas to be designed and constructed in accordance with BRE digest 365, and certification of compliance by Engineer to be submitted.
  - v) Soakage areas to meet the requirements of Environmental Health Officer.

#### REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 7 The applicant shall strictly adhere to the requirements of the Environmental Health Officer. In that respect:
- i) The applicant shall install and maintain the Bio-cycle treatment plant in accordance with the design and instructions of the manufacturer.
  - ii) The applicant shall install a minimum of 20 linear metres of percolation pipework in the irrigation system.
  - iii) The applicant shall enter into a maintenance contract with the manufacturer or maintenance company approved by the manufacturer.
  - iv) The applicant shall maintain a potable water supply to the dwelling.

#### REASON:

In the interest of public health and pollution control.

- 8 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

#### REASON:

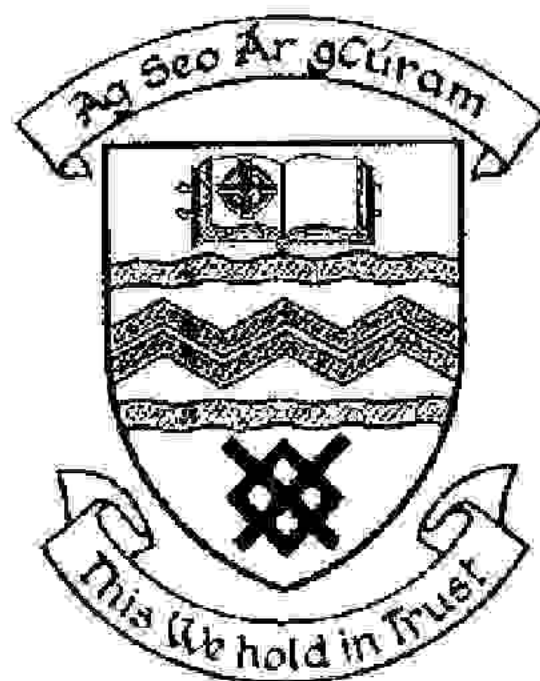
To protect the amenities of the area.

- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be

# SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/0961

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located underground throughout the entire site.

#### REASON:

In the interest of amenity.

- 10 That an acceptable house number/name be submitted to and approved by the County Council before any constructional work takes place on the proposed house.  
REASON:  
In the interest of the proper planning and development of the area.
- 11 That a financial contribution in the sum of £2,100 (Two Thousand One Hundred Pounds) EUR 2,666 (Two Thousand Six Hundred and Sixty Six Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.  
REASON:  
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 12 In the event of a connection to the public sewer, a further financial contribution in the sum of £375 (Three Hundred and Seventy Five Pounds) EUR 476 (Four Hundred and Seventy Six Euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.  
REASON:  
The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.
- 13 In the event of a connection to the water supply, a further financial contribution in the sum of £375 (Three Hundred and Seventy Five Pounds) EUR 476 (Four Hundred and Seventy Six Euros) to be paid by the proposer to South Dublin County Council towards the cost of public water supply in the area of the proposed development and which will facilitate the development.  
REASON:  
The provision of such service in the area by the Council



# SOUTH DUBLIN COUNTY COUNCIL

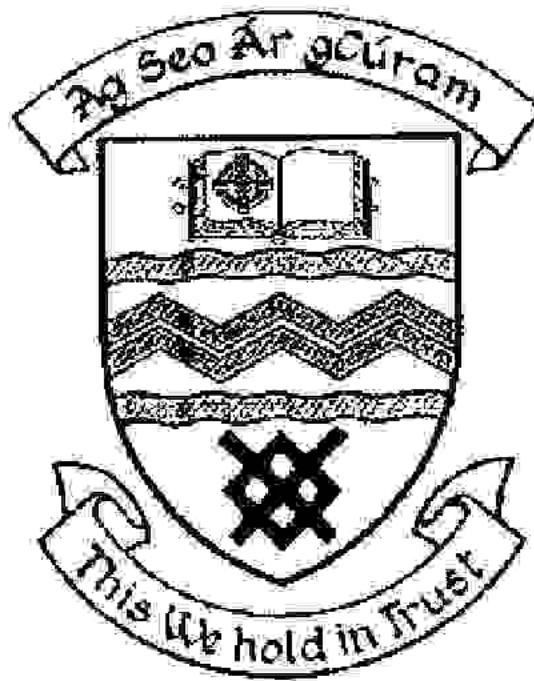
REG. REF. S01A/0961

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~~On the~~ [www.sdcc.ie](http://www.sdcc.ie)

will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

  
.....11/02/02  
for SENIOR ADMINISTRATIVE OFFICER

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**SOUTH DUBLIN COUNTY COUNCIL**  
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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 3704	Date of Decision 17/12/2001
Register Reference S01A/0261	Date: 04/05/01

**Applicant** Mr. Martin Considine,

**Development** Construct a split level bungalow with roof dormer windows  
and bio cycle sewage system.

**Location** Coolmine, Saggart, Co. Dublin.

**Floor Area** Sq Metres

**Time extension(s)** up to and including

**Additional Information Requested/Received** 03/07/2001 /24/10/2001

**Clarification of Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 13 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... 17/12/01  
for SENIOR ADMINISTRATIVE OFFICER

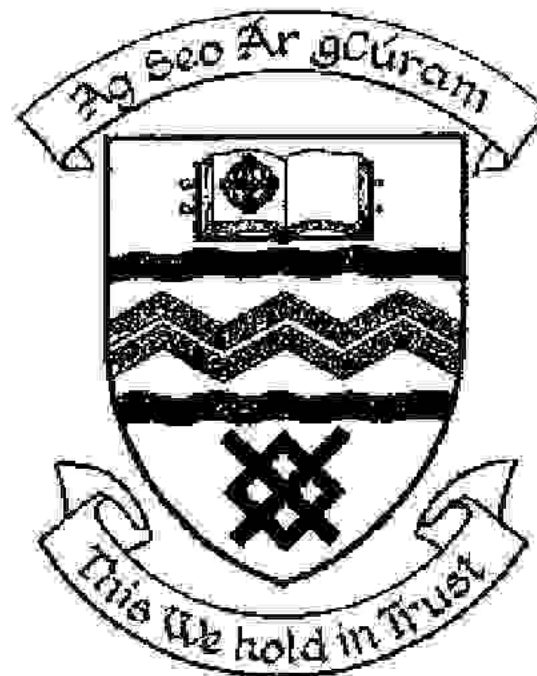
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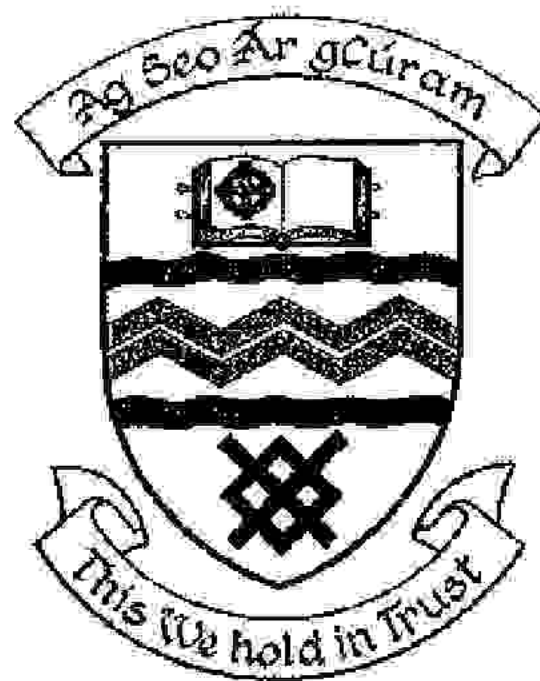
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**Conditions and Reasons**

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REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.  
REASON:  
To prevent unauthorised development.
- 3 The proposed dwelling when completed shall be first occupied for a period of at least one year as a place of permanent residence by the applicant and/or members of the applicant's immediate family.  
REASON:  
In the interests of the proper planning and development of the area.
- 4
  - i) Vision splays of 90 metres from a 3 metre setback shall be provided at the site entrance. The existing roadside hedge/ditch shall be removed only to a sufficient extent to provide these vision splays. The new boundary shall be setback along the line of the vision splays.
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REASON:  
In the interest of traffic safety and rural amenity and to screen the proposed development within a reasonable period of time.



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REG. REF. S01A/0261

- 5 a) The roof shall be tiled with natural slate or black colour roof tiles.  
b) The external wall finishes shall be of smooth plaster/render and no brick shall be used.

**REASON:**

In the interest of visual amenity.

- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- i) Septic Tank/Effluent Treatment System and percolation/irrigation area are to be in accordance with S.R.6: 1991 and the requirements of the EPA's Wastewater Treatment Manual for Single Houses. Certification of compliance by an Engineer to the aforementioned standard must be submitted to South Dublin County Council.
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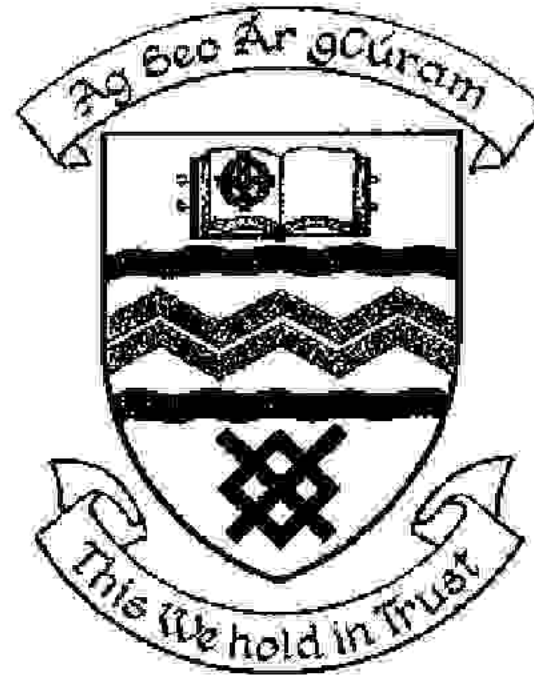
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to the dwelling.

REASON:

In the interest of public health and pollution control.

- 8 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

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- 10 That an acceptable house number/name be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

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REASON:

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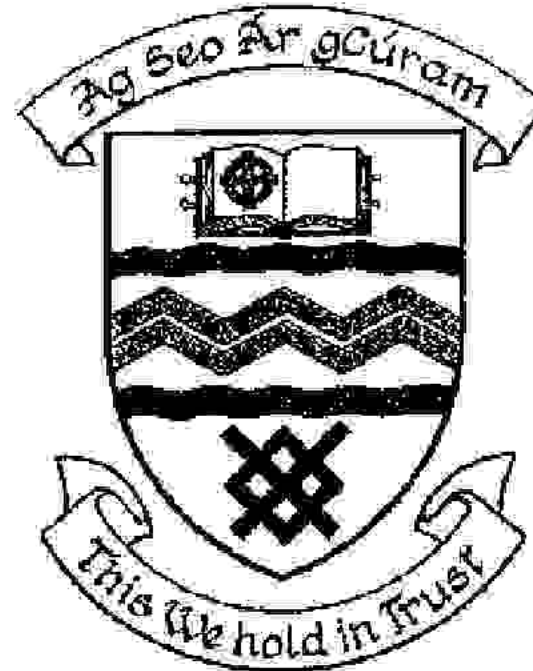
- 12 In the event of a connection to the public sewer, a further financial contribution in the sum of £375 (Three Hundred and Seventy Five Pounds) EUR 476 (Four Hundred and Seventy Six



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Euros) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

**REASON:**

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 13 In the event of a connection to the water supply, a further financial contribution in the sum of £375 (Three Hundred and Seventy Five Pounds) EUR 476 (Four Hundred and Seventy Six Euros) to be paid by the proposer to South Dublin County Council towards the cost of public water supply in the area of the proposed development and which will facilitate the development.

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