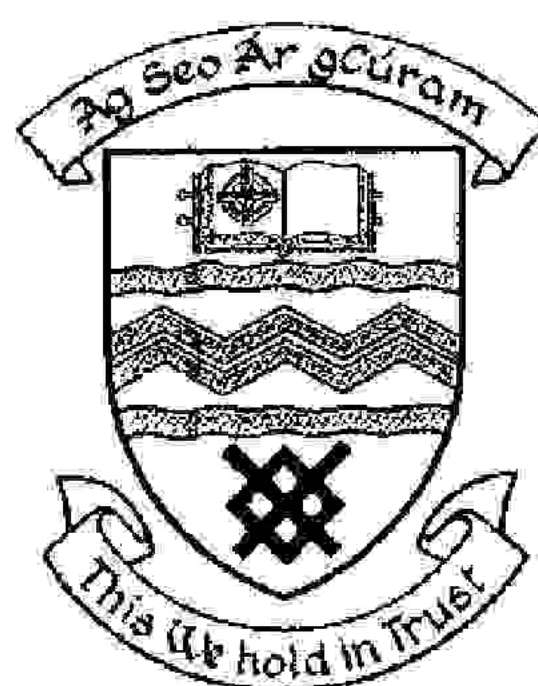


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0304	
1. Location	KDI (former Motokov Premises), The Long Mile Road, Dub. 12		
2. Development	New mezzanine floor with associated internal alterations, a new two storey extension to the front, a new fire escape stairs and the demolition of the single storey side extension at		
3. Date of Application	18/05/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 16/07/2001 2.	1. 17/09/2001 2.
4. Submitted by	Name: John O'Neill & Associates Address: 3 Irishtown Road, Dublin 4.		
5. Applicant	Name: KDI Ltd Address: Peter Street, Dublin 8.		
6. Decision	O.C.M. No. 3400 Date 15/11/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0047 Date 10/01/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

E-Mail: planning.dept@sdublincoco.ie

John O'Neill & Associates
3 Irishtown Road,
Dublin 4.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0047	Date of Final Grant 10/01/2002
Decision Order Number 3400	Date of Decision 15/11/2001
Register Reference S01A/0304	Date 17/09/01

Applicant KDI Ltd

Development New mezzanine floor with associated internal alterations, a new two storey extension to the front, a new fire escape stairs and the demolition of the single storey side extension at

Location KDI (former Motokov Premises), The Long Mile Road, Dub. 12

Floor Area 5253.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 16/07/2001 /17/09/2001

A Permission has been granted for the development described above,
subject to the following (8) Conditions.

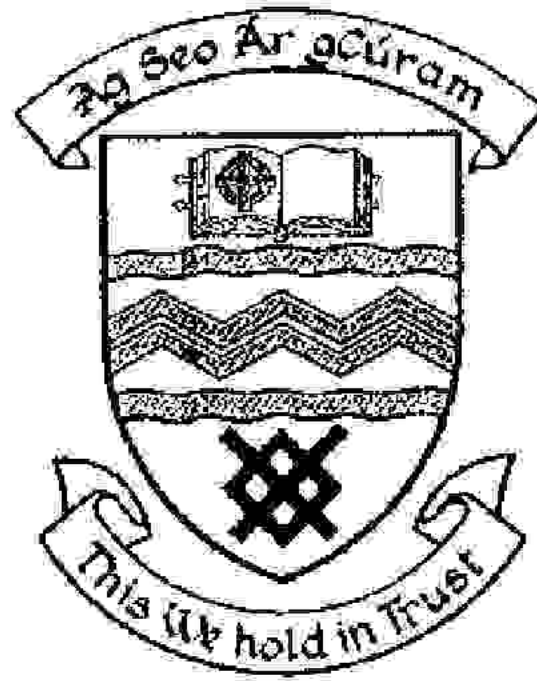
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REG REF. S017/0304

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104



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DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

E-Mail: planning.dept@sducoco.ie

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by additional information received by the Planning Authority on 17/10/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:-
 - i) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - ii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - iv) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.
 - v) Any future culverting of the Robinhood Stream shall be carried out in accordance with the requirements of South Dublin County.
 - vi) All surface water runoff from vehicle parking / marshalling / storage areas shall be routed via a petrol/oil/diesel interceptor before discharging to the stream / surface water sewer.
 - vii) If not already the case the water supply to the development shall be commercially metered.
 - viii) The unit shall provide full 24-hour water storage
 - ix) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

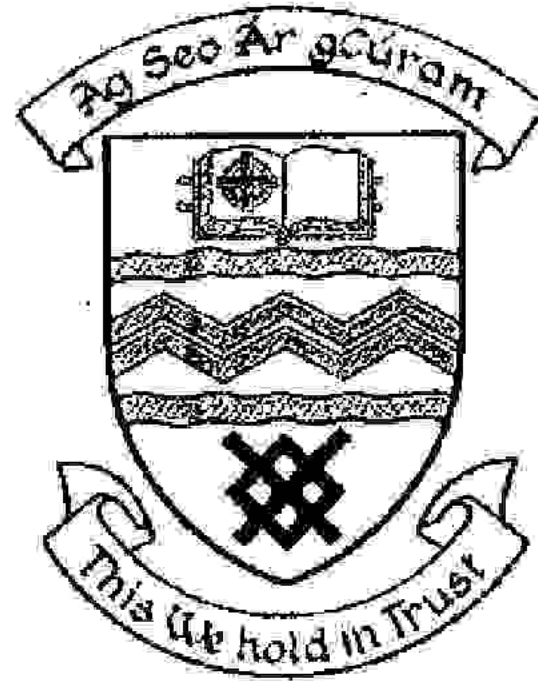
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REG. REF. S014/0904

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104



PLANNING
DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

E-Mail: planning.dept@sdublincoco.ie

- 3 Prior to the commencement of development the applicant shall submit, for the prior written agreement of the Roads Traffic Department, a parking layout for 58 no. car-parking spaces on site. The applicant should note that it shall not be necessary to surface and mark out all of these car spaces, save those (17 no.) shown on drawing no. 0025-06, unless specifically requested by Roads Traffic Department at a later date.

REASON:

To protect the amenities of the area.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 6 Prior to the commencement of development the applicant shall submit for the prior written agreement of the Planning Authority, full and accurate details of the proposed treatment of the front (Long Mile Road) site boundary, including site entrance if to be altered. The applicant shall note that steel palisade security fencing is not acceptable in this location.

REASON:

In the interest of visual amenity and the proper planning and development of the area.

- 7 That a financial contribution in the sum of £9,357 (nine thousand three hundred and fifty seven pounds) EUR 11,881 (eleven thousand eight hundred and eighty one euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

SOUTH DUBLIN COUNTY COUNCIL

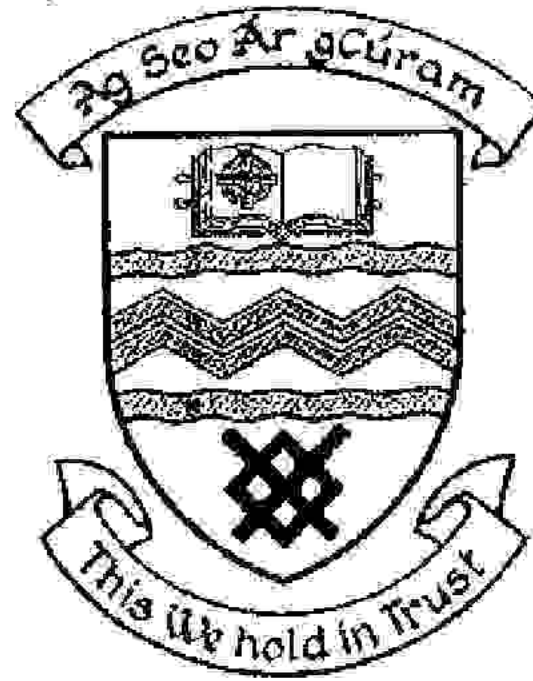
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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230

Facs: 01-414 9104



PLANNING
DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230

Fax: 01-414 9104

E-Mail: planning.dept@sdublincoco.ie

- 8 That a financial contribution in the sum of £24,339 (twenty four thousand three hundred and thirty nine pounds) EUR 30,904 (thirty thousand nine hundred and four euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

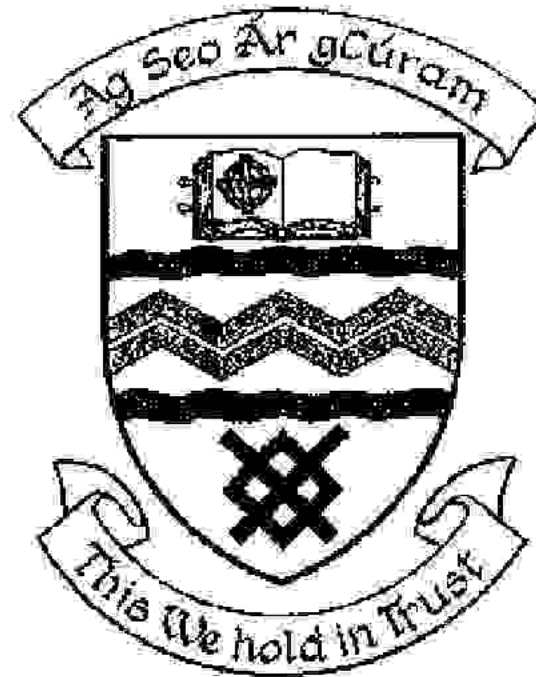
.....10/01/02
for SENIOR ADMINISTRATIVE OFFICER

C

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3400	Date of Decision 15/11/2001
Register Reference S01A/0304	Date: 18/05/01

Applicant KDI Ltd

Development New mezzanine floor with associated internal alterations, a new two storey extension to the front, a new fire escape stairs and the demolition of the single storey side extension at

Location KDI (former Motokov Premises), The Long Mile Road, Dub. 12

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 16/07/2001 /17/09/2001

Clarification of Additional Information Requested/Received /

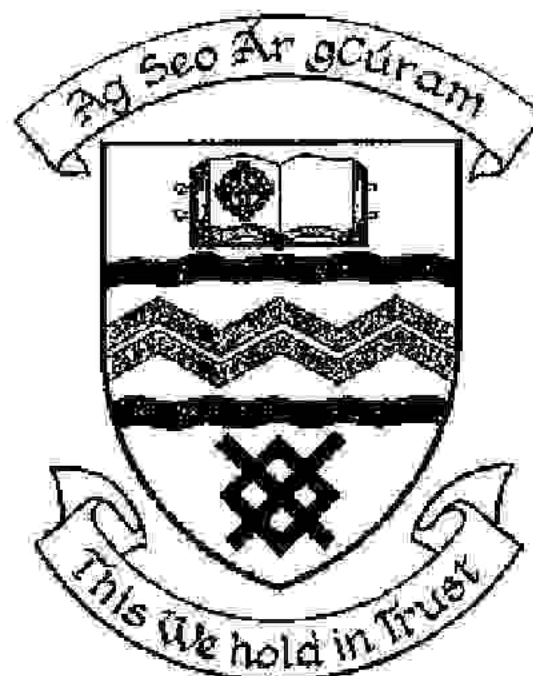
In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (8) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

..... 16/11/01
for SENIOR ADMINISTRATIVE OFFICER

John O'Neill & Associates
3 Irishtown Road,
Dublin 4.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
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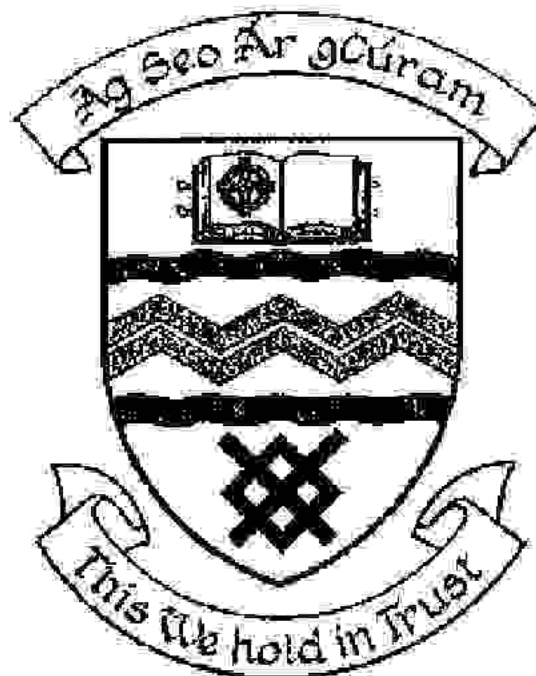
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by additional information received by the Planning Authority on 17/10/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In that respect:-
 - i) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - ii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - iv) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.
 - v) Any future culverting of the Robinhood Stream shall be carried out in accordance with the requirements of South Dublin County.
 - vi) All surface water runoff from vehicle parking / marshalling / storage areas shall be routed via a petrol/oil/diesel interceptor before discharging to the stream / surface water sewer.
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 - ix) The connection to and tapping of public watermains

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Halla an Chontae,
Lár an Bhaile, Tamhlacht,
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Telefon: 01-414 9000
Facs: 01-414 9104



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Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

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shall be carried out by South Dublin County Council
personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-
1964.

- 3 Prior to the commencement of development the applicant shall submit, for the prior written agreement of the Roads Traffic Department, a parking layout for 58 no. car-parking spaces on site. The applicant should note that it shall not be necessary to surface and mark out all of these car spaces, save those (17 no.) shown on drawing no. 0025-06, unless specifically requested by Roads Traffic Department at a later date.

REASON:

To protect the amenities of the area.

- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 5 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 6 Prior to the commencement of development the applicant shall submit for the prior written agreement of the Planning Authority, full and accurate details of the proposed treatment of the front (Long Mile Road) site boundary, including site entrance if to be altered. The applicant shall note that steel palisade security fencing is not acceptable in this location.

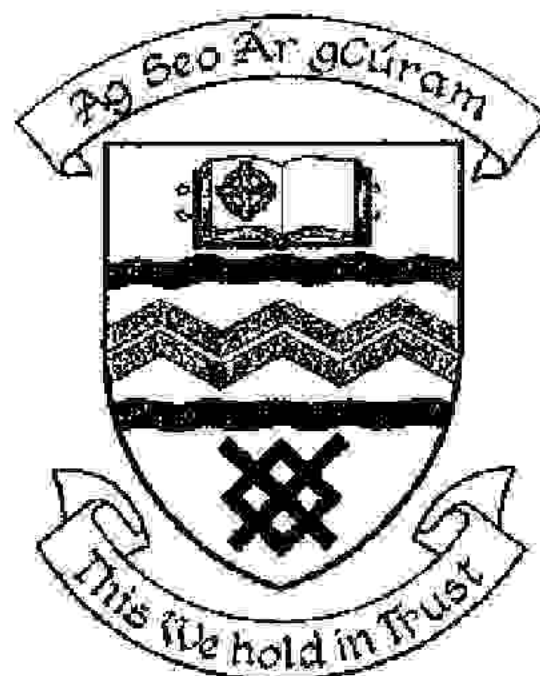
REASON:

In the interest of visual amenity and the proper planning and development of the area.

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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
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REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 8 That a financial contribution in the sum of £24,339 (twenty four thousand three hundred and thirty nine pounds) EUR 30,904 (thirty thousand nine hundred and four euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

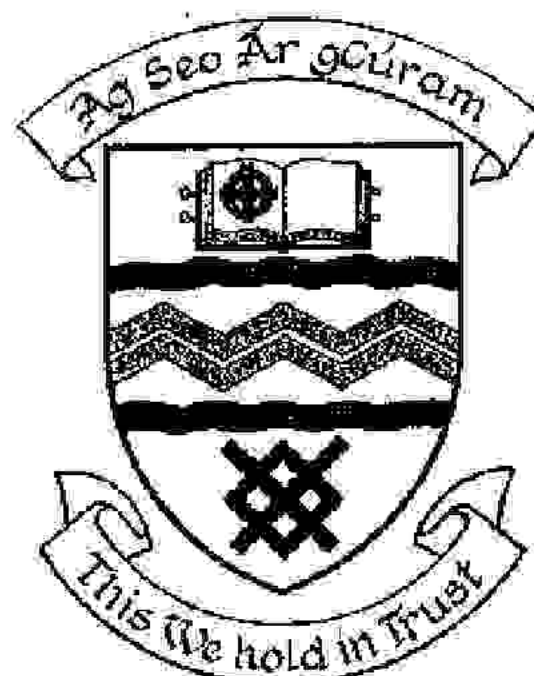
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

M.

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Lár an Bhaile, Tamhlacht,
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Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2408	Date of Decision 16/07/2001
Register Reference S01A/0304	Date: 18/05/01

Applicant KDI Ltd
Development New mezzanine floor with associated internal alterations, a new two storey extension to the front, a new fire escape stairs and the demolition of the single storey side extension at
Location KDI (former Motokov Premises), The Long Mile Road, Dub. 12
App. Type Permission

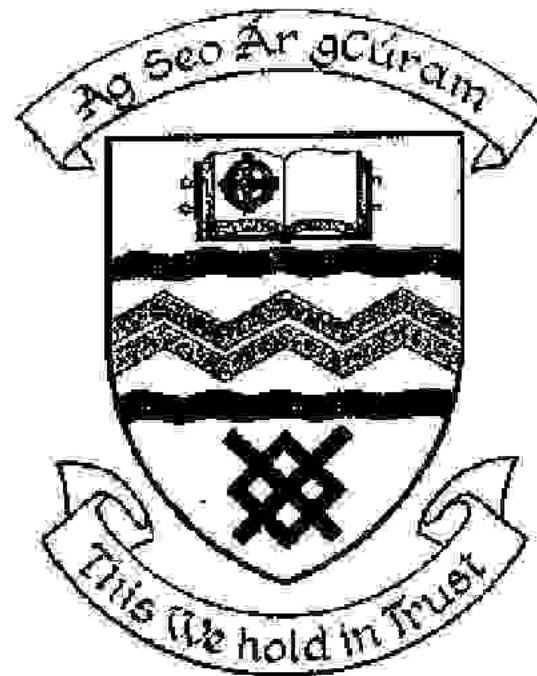
Dear Sir/Madam,

With reference to your planning application, received on 18/05/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following ADDITIONAL INFORMATION must be submitted in quadruplicate:

- 1 The applicant shall submit the following Additional Information with regard to the following:
 - (a) Foul Drainage
No foul drainage information has been provided with this application. The following details are therefore required:
 - (i) The applicant shall submit foul drainage plans showing the exact location of all existing and proposed drains, manholes, AJs etc. located within the site boundary. This layout shall be in accordance with the Building Regulations and shall show full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (ii) All wastewater from canteen kitchens shall be routed

John O'Neill & Associates
3 Irishtown Road,
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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104

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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
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REG REF. S01A/0304

- via an appropriate grease trap or grease removal system before being discharged to the public sewer. Full details of this system to be submitted for approval prior to the commencement of development.
- (iii) No discharge of trade effluent to sewer shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977 - 1990.

(b) Surface Water

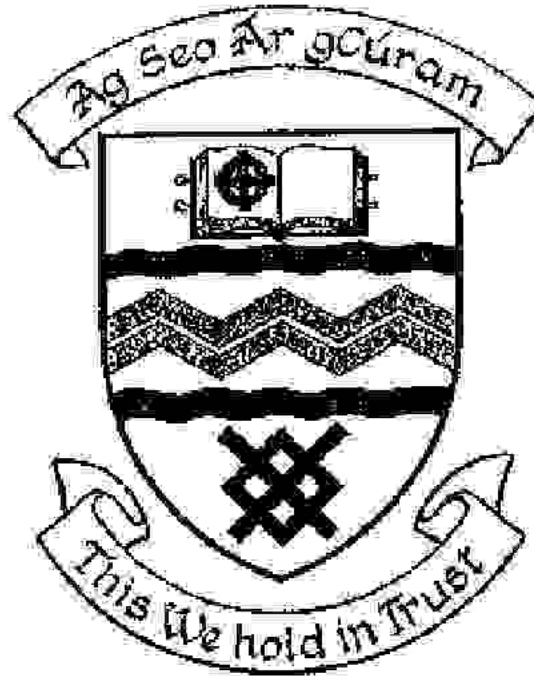
No surface water drainage information has been provided with this application. The following details are therefore required:

- (i) The applicant's site plan (Drawing No. 0025-01) stated "existing stream to be curverted" (sic). There is no other reference to the culverting of this stream anywhere in the application. This Robinhood Stream drains a large section of South Dublin and therefore any proposed culverting will have to be carried out in accordance with the requirements of South Dublin County Council in order to minimise the risk of future flooding. In this regard full details of the proposed culverting of the Robinhood Stream shall be submitted. These details shall include all levels, plans, and cross-sections of any proposed work. Full design calculations for the culvert shall be included. These will clearly show that flow in the stream will not be constricted or reduced during any major storm event. The applicant shall also note that only single span culverts will be acceptable and shall be a minimum of 1.5m in height.
- (ii) The applicant shall submit foul drainage plans showing the exact location of all existing and proposed drains, manholes, gullies, interceptors, AJs, outfalls etc. located within the site boundary. This layout shall be in accordance with the Building Regulations and shall show full and complete separation of foul and surface water systems. The applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
- (ii) All surface water runoff from vehicle parking/

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,
Lár an Bhaile, Tamlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
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marshalling/storage areas shall be routed via a petrol/oil/diesel interceptor before discharging to the stream/surface water sewer.

(c) Water Supply

The applicant has included no water supply information with the application. The following details are required:

- (i) A watermain layout for the development clearly showing existing and proposed watermain, valve, meter and hydrant location, and point of connection to public watermain.
- (ii) No building to lie within 5m of watermains less than 225mm diameter and within 8m of watermains greater than 225mm diameter.
- (iii) If not already the case the water supply to the development shall be commercially metered.
- (iv) The unit shall have its own individual connection to the public watermain and individual full 24-hour water storage.

2 The applicant is requested to comply with the requirements of the Roads Department, South Dublin Council, for 58 no. car parking spaces. The applicant shall indicate car parking spaces on site plan drawings.

3 The applicant shall submit plans, details and particulars of boundary treatment. It is the opinion of the Planning Authority that the boundary treatment to the Long Mile Road, including entrance gates, should be wrought iron/ metal railings.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

16/07/01