

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0305	
1. Location	Belgard Square North, Tallaght, Dublin 24.		
2. Development	An amendment to a previously approved planning permission ref. S98A/0910 consisting of an additional 3 no. double bedroom and 5 no. single bedroom apartments at fifth floor level and for the provision of an additional sixth floor comprising 454sq.m of office accommodation with 12 no. double bedroom and 5 no. single bedroom apartments		
3. Date of Application	18/05/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Moloney O'Beirne Architects Address: Northumberland Hall, Northumberland Ave,		
5. Applicant	Name: Breydon Developments Ltd Address: 3 Upper Ormond Quay, Dublin 7.		
6. Decision	O.C.M. No. 2412 Date 17/07/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2798 Date 30/08/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			

14.	Registrar	Date	Receipt No.
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Registrar

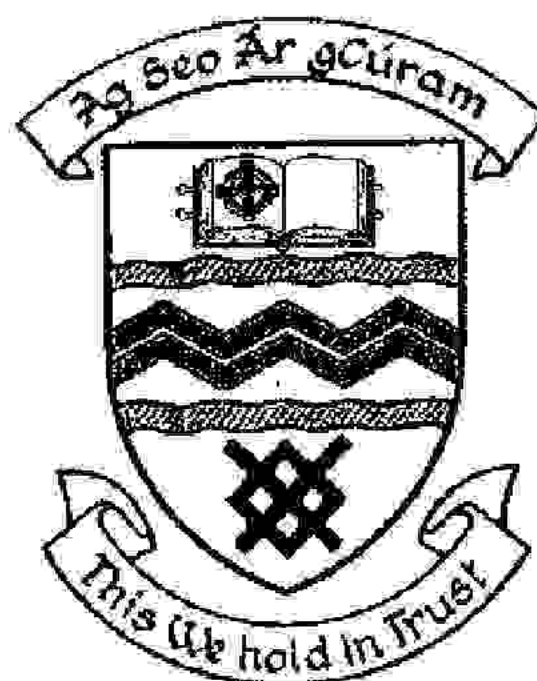
Date _____

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Lár an Bhaile, Tamhlacht
Baile Átha Cliath 24

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Moloney O'Beirne Architects
Northumberland Hall,
Northumberland Ave,
Dun Laoghaire,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 2798	Date of Final Grant 30/08/2001
Decision Order Number 2412	Date of Decision 17/07/2001
Register Reference S01A/0305	Date 18/05/01

Applicant Breydon Developments Ltd

Development An amendment to a previously approved planning permission ref. S98A/0910 consisting of an additional 3 no. double bedroom and 5 no. single bedroom apartments at fifth floor level and for the provision of an additional sixth floor comprising 454sq.m of office accommodation with 12 no. double bedroom and 5 no. single bedroom apartments

Location Belgard Square North, Tallaght, Dublin 24.

Floor Area 454.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (27) Conditions.

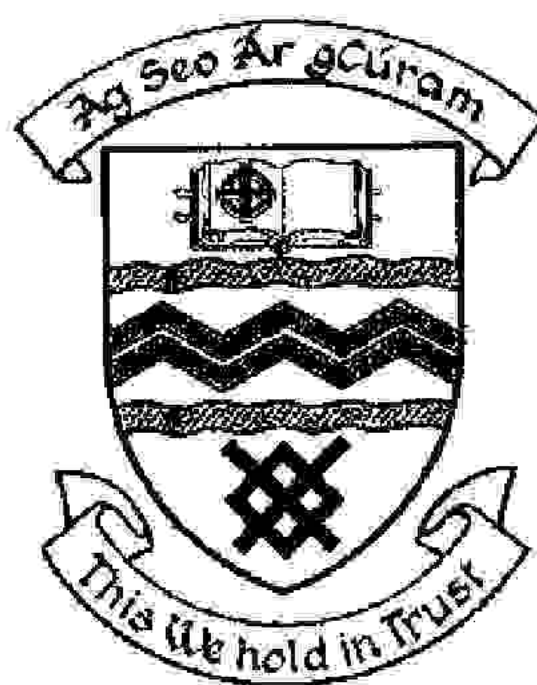
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REG REF. S012/0905

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The applicant shall comply with all conditions as stated in the parent planning permission Reg. Ref. S98/0910

REASON:

In the interest of proper planning and development.

- 3 Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority revised drawings:

- i) omitting the projecting 8th and 9th floor corner element.
- ii) showing a strengthening of the treatments of the ground floor corner entrance.
- iii) omitting the pavement level railings.
- iv) omitting the turning head and access road proposed for the south west corner of the site to the rear of the building and incorporating the said area into the open space.
- v) detailing on a site layout map, a high quality landscaped scheme, including work specifications, for the open space areas including roof gardens and that area referred to under condition 3.iv) above.

Reason: In the interest of visual and residential amenity.

- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 5 The applicant shall strictly adhere to the requirements of the Environmental Health Officer. In that respect:
 - i) During the construction phase of the development Best Practical Means shall be employed to minimise air blown dust emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements and other public areas, and any other precautions necessary to prevent dust nuisance. There must

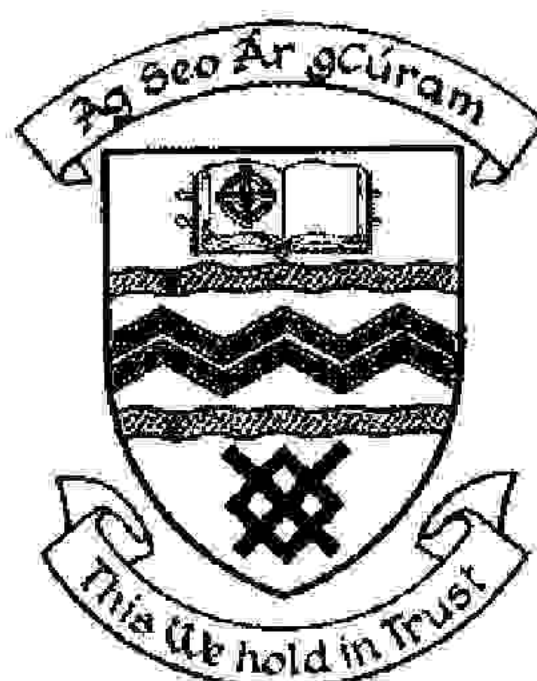
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be compliance with British Standard B.S. 5228 Noise Control on Construction and Open Sites.

ii) No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc.) shall be operated on or adjacent to the construction site before 8.00hr on weekdays and 9.00hr on Saturdays nor after 18.00hr on weekdays and 13.00hr on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.

iii) All rooms, passageways, sanitary accommodation and lobbies shall be ventilated to the external air.

REASON:

To protect the amenities of the area and in the interest of the proper planning and development of the area.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 Footpath along the southern and eastern street frontages, consisting of 1200mm x 600mm concrete paving slabs with granite kerbs, shall be provided at the applicants expense. Details, including specifications and layouts, shall be agreed in writing by the Planning Authority prior to construction.

REASON:

In order to establish an appropriately high standard of street paving at this important town centre site.

- 8 Details of the materials, colours and textures of all the external finishes including windows shall be submitted for the written agreement of the Planning Authority prior to the commencement of development.

REASON:

In order to achieve a high standard of design and finish in this important town centre development.

- 9 Provision shall be made in the development for a substantial amount of covered and secure bicycle parking facilities. Details shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.

REASON:

In the interest of encouraging diverse transportation modes in the town centre area.

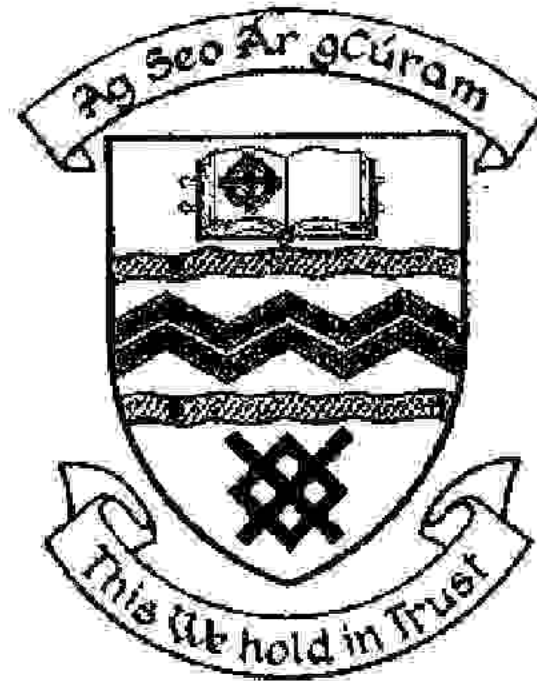
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- 10 Provision shall be made in the development for secure, clean and accessible facilities for refuse storage and collection. Details shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.
REASON:
In the interest of public health.
- 11 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 12 A management scheme for the adequate future maintenance of open spaces, roads and communal areas shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.
REASON:
To ensure the adequate future maintenance of the development in the interest of residential amenity.
- 13 That each proposed apartment be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 14 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 15 That no apartment be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 16 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.
REASON:
To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed

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development it is considered reasonable that the Council should recoup the cost.

- 17 That an acceptable naming and numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 18 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

- 19 The following requirements of the Environmental Services Department shall be adhered to:

- (i) Each apartment shall have its own individual service connection to the public watermain and 24 hour storage.
- (ii) The watermains serving the site shall be fitted to the satisfaction of the Water Management Section of the County Council with a meter, remote readout and logger.
- (iii) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units, to ensure adequate pressure to top storey units.

REASON:

In the interest of public health and the proper planning and development of the area.

- 20 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 21 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with the Council's Housing Strategy prepared in accordance with Part V of the Planning and Development Act 2000 as referred to in Section 2.2.7(ii) and as set out in "Appendix F" of the South Dublin County Development Plan 1998.

REASON:

To promote social integration and having regard to the

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policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

- 22 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No. 24, 25, 26 + 27 of Register Reference S98A/0910 be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 23 That a financial contribution in the sum of £20,915 (twenty thousand nine hundred and fifteen pounds) EUR 26,557 (twenty six thousand five hundred and fifty seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 24 That a financial contribution in the sum of £51,534 (fifty one thousand five hundred and thirty four pounds) EUR 65,435 (sixty five thousand four hundred and thirty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

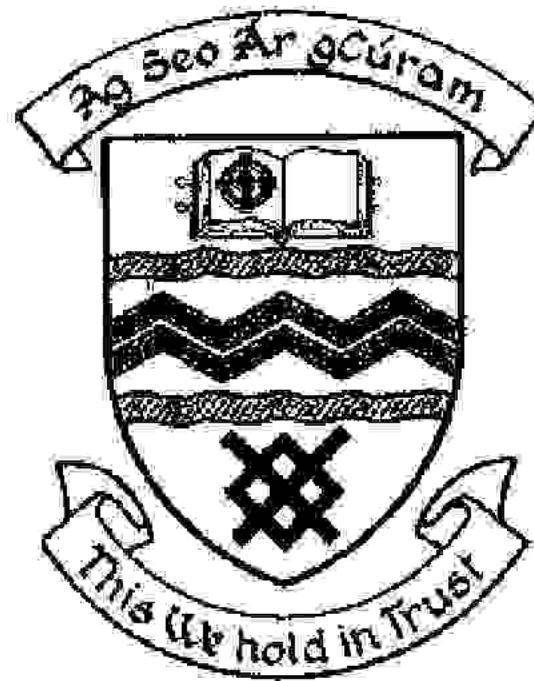
- 25 That a financial contribution in the sum of £15,000 (fifteen thousand pounds) EUR 19,047 (nineteen thousand and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed

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development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 26 That a financial contribution in the sum of £26,487 (twenty six thousand four hundred and eighty seven pounds) EUR 33,632 (thirty three thousand six hundred and thirty two euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 27 Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £25,000 (twenty five thousand pounds) EUR 31,743 (thirty one thousand seven hundred and forty three euros), a bond of an Insurance Company of £37,500 (thirty seven thousand and five hundred pounds) EUR 47,615 (forty seven thousand six hundred and fifteen euros), or other security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development.

REASON:

To ensure the satisfactory completion of the development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced

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Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....30/08/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0305	
1. Location	Belgard Square North, Tallaght, Dublin 24.		
2. Development	An amendment to a previously approved planning permission ref. S98A/0910 consisting of an additional 3 no. double bedroom and 5 no. single bedroom apartments at fifth floor level and for the provision of an additional sixth floor comprising 454sq.m of office accommodation with 12 no. double bedroom and 5 no. single bedroom apartments		
3. Date of Application	18/05/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Moloney O'Beirne Architects Address: Northumberland Hall, Northumberland Ave,		
5. Applicant	Name: Breydon Developments Ltd Address: 3 Upper Ormond Quay, Dublin 7.		
6. Decision	O.C.M. No. 2412 Date 17/07/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. Date	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal

14. Registrar Date Receipt No.

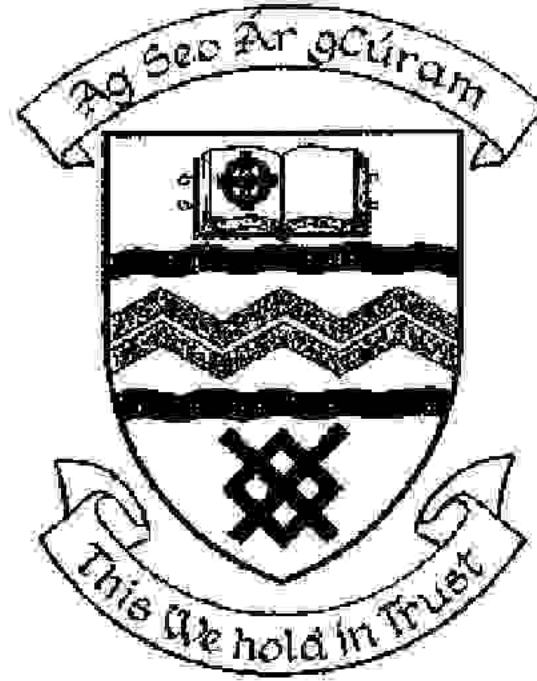
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2412	Date of Decision 17/07/2001
Register Reference S01A/0305	Date: 18/05/01

Applicant Breydon Developments Ltd

Development An amendment to a previously approved planning permission ref. S98A/0910 consisting of an additional 3 no. double bedroom and 5 no. single bedroom apartments at fifth floor level and for the provision of an additional sixth floor comprising 454sq.m of office accommodation with 12 no. double bedroom and 5 no. single bedroom apartments

Location Belgard Square North, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (27) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

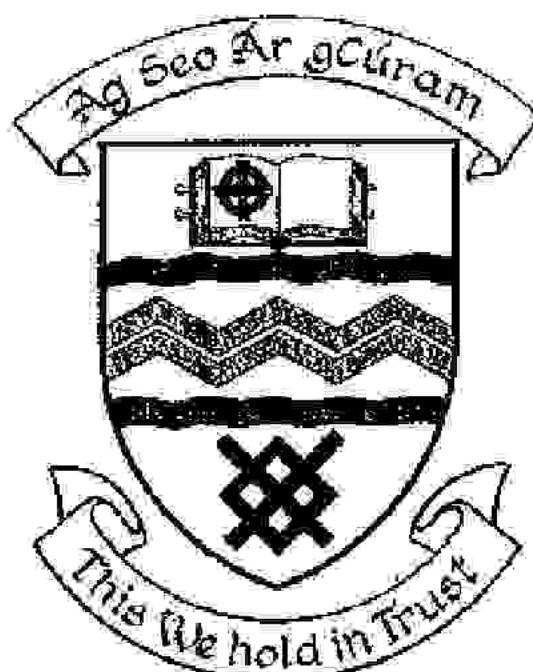
..... 17/07/01
for SENIOR ADMINISTRATIVE OFFICER

Moloney O'Beirne Architects
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The applicant shall comply with all conditions as stated in the parent planning permission Reg. Ref. S98/0910
REASON:
In the interest of proper planning and development.
- 3 Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority revised drawings:
i) omitting the projecting 8th and 9th floor corner element.
ii) showing a strengthening of the treatments of the ground floor corner entrance.
iii) omitting the pavement level railings.
iv) omitting the turning head and access road proposed for the south west corner of the site to the rear of the building and incorporating the said area into the open space.
v) detailing on a site layout map, a high quality landscaped scheme, including work specifications, for the open space areas including roof gardens and that area referred to under condition 3.iv) above.
Reason: In the interest of visual and residential amenity.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
REASON:
In order to comply with the Sanitary Services Acts, 1878-1964.

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- 5 The applicant shall strictly adhere to the requirements of the Environmental Health Officer. In that respect:
- i) During the construction phase of the development Best Practical Means shall be employed to minimise air blown dust emitted from the site. This shall include covering skips and slack-heaps, netting of scaffolding, daily washing down of pavements and other public areas, and any other precautions necessary to prevent dust nuisance. There must be compliance with British Standard B.S. 5228 Noise Control on Construction and Open Sites.
 - ii) No heavy construction equipment/machinery (to include pneumatic drills, construction vehicles, generators, etc.) shall be operated on or adjacent to the construction site before 8.00hr on weekdays and 9.00hr on Saturdays nor after 18.00hr on weekdays and 13.00hr on Saturdays, nor at any time on Sundays, Bank Holidays or Public Holidays.
 - iii) All rooms, passageways, sanitary accommodation and lobbies shall be ventilated to the external air.

REASON:

To protect the amenities of the area and in the interest of the proper planning and development of the area.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 Footpath along the southern and eastern street frontages, consisting of 1200mm x 600mm concrete paving slabs with granite kerbs, shall be provided at the applicants expense. Details, including specifications and layouts, shall be agreed in writing by the Planning Authority prior to construction.

REASON:

In order to establish an appropriately high standard of street paving at this important town centre site.

- 8 Details of the materials, colours and textures of all the external finishes including windows shall be submitted for the written agreement of the Planning Authority prior to the commencement of development.

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REASON:

In order to achieve a high standard of design and finish in this important town centre development.

- 9 Provision shall be made in the development for a substantial amount of covered and secure bicycle parking facilities. Details shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.

REASON:

In the interest of encouraging diverse transportation modes in the town centre area.

- 10 Provision shall be made in the development for secure, clean and accessible facilities for refuse storage and collection. Details shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.

REASON:

In the interest of public health.

- 11 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 12 A management scheme for the adequate future maintenance of open spaces, roads and communal areas shall be submitted for the written agreement of the Planning Authority prior to the commencement of the development.

REASON:

To ensure the adequate future maintenance of the development in the interest of residential amenity.

- 13 That each proposed apartment be used as a single dwelling unit.

REASON:

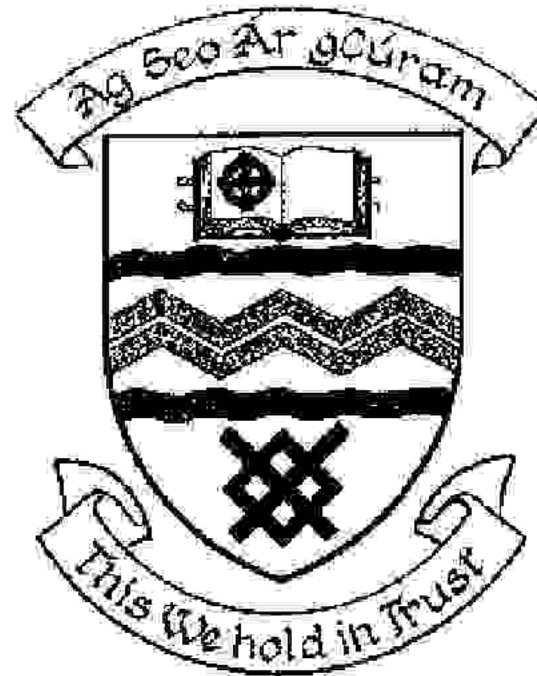
To prevent unauthorised development.

- 14 That all public services to the proposed development, including electrical, telephone cables and equipment be

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located underground throughout the entire site.

REASON:

In the interest of amenity.

- 15 That no apartment be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 16 That all watermain tapplings, branch connections, swabbing and chlorination be carried out by County Council's, Environmental Services Department and that the cost thereof be paid to South Dublin County Council before any development commences.

REASON:

To comply with public health requirements and to ensure adequate standards of workmanship. As the provision of these services by the County Council will facilitate the proposed development it is considered reasonable that the Council should recoup the cost.

- 17 That an acceptable naming and numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed apartments.

REASON:

In the interest of the proper planning and development of the area.

- 18 Heating to be provided by the use of either oil, gas, electricity or by smokeless fuels in fireplaces or appliances suitable only for burning solid smokeless fuels.

REASON:

In the interest of reducing air pollution.

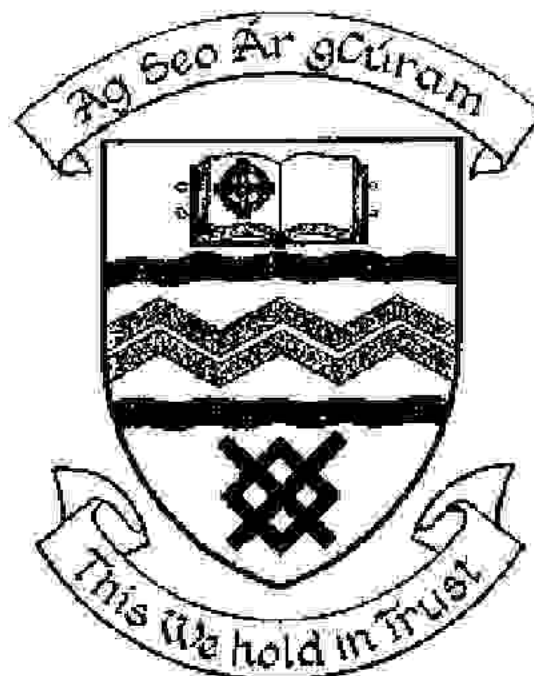
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- (i) Each apartment shall have its own individual service connection to the public watermain and 24 hour storage.
- (ii) The watermains serving the site shall be fitted to the satisfaction of the Water Management Section of the County Council with a meter, remote readout and

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logger.

- (iii) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units, to ensure adequate pressure to top storey units.

REASON:

In the interest of public health and the proper planning and development of the area.

- 20 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 21 Prior to commencement of development the developer shall submit and agree in writing with the Planning Authority detailed proposals for compliance with the Council's Housing Strategy prepared in accordance with Part V of the Planning and Development Act 2000 as referred to in Section 2.2.7(ii) and as set out in "Appendix F" of the South Dublin County Development Plan 1998.

REASON:

To promote social integration and having regard to the policy/objectives of the Council's Housing Strategy as contained in the South Dublin County Development Plan 1998.

- 22 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No. 24, 25, 26 + 27 of Register Reference S98A/0910 be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

- 23 That a financial contribution in the sum of £20,915 (twenty thousand nine hundred and fifteen pounds) EUR 26,557 (twenty six thousand five hundred and fifty seven euros) be paid by

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the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 24 That a financial contribution in the sum of £51,534 (fifty one thousand five hundred and thirty four pounds) EUR 65,435 (sixty five thousand four hundred and thirty five euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

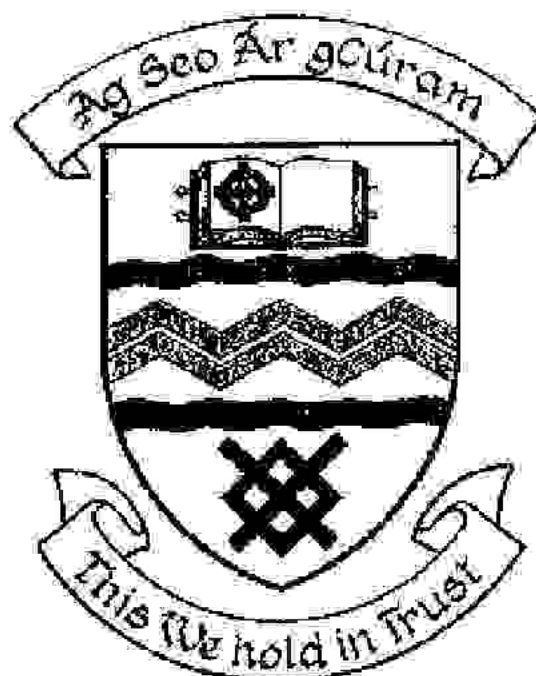
- 25 That a financial contribution in the sum of £15,000 (fifteen thousand pounds) EUR 19,047 (nineteen thousand and forty seven euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 26 That a financial contribution in the sum of £26,487 (twenty six thousand four hundred and eighty seven pounds) EUR

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33,632 (thirty three thousand six hundred and thirty two euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 27 Before the development is commenced, the developer shall lodge with the South Dublin County Council a cash deposit of £25,000 (twenty five thousand pounds) EUR 31,743 (thirty one thousand seven hundred and forty three euros), a bond of an Insurance Company of £37,500 (thirty seven thousand and five hundred pounds) EUR 47,615 (forty seven thousand six hundred and fifteen euros), or other security to secure the provision and satisfactory completion and maintenance to taking-in-charge standard of roads, footpaths, sewers, watermains, drains, public lighting and other services required in connection with the development.

REASON:

To ensure the satisfactory completion of the development.