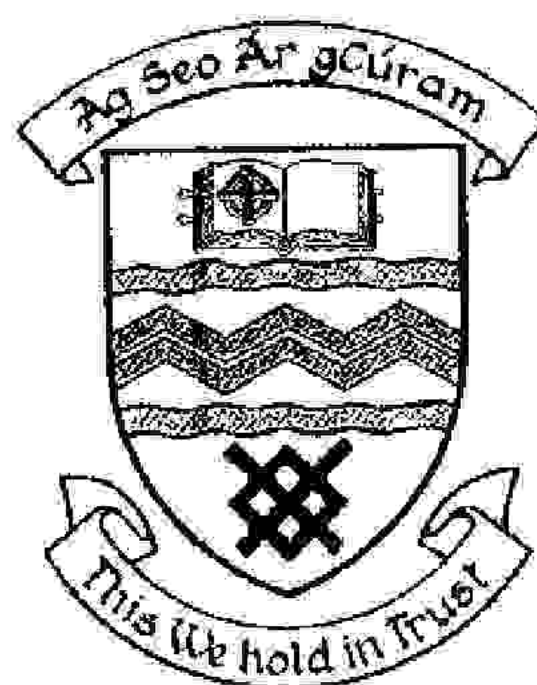


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0354	
1. Location	Rear of 1 Daletree Road, Firhouse, Dublin 24.		
2. Development	2 no. dormer type bungalows.		
3. Date of Application	13/06/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 04/10/2001 2.	1. 31/10/2001 2.
4. Submitted by	Name: Draftec Address: 15 Hermitage Court, Rathfarnham,		
5. Applicant	Name: David Delaney Address: c/o 15 Hermitage Court, Rathfarnham, Dublin 16.		
6. Decision	O.C.M. No. 3714 Date 17/12/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0304 Date 06/02/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

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Drafted
15 Hermitage Court,
Rathfarnham,
Dublin 16.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0304	Date of Final Grant 06/02/2002
Decision Order Number 3714	Date of Decision 17/12/2001
Register Reference S01A/0354	Date 31/10/01

Applicant David Delaney

Development 2 no. dormer type bungalows.

Location Rear of 1 Daletree Road, Firhouse, Dublin 24.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 04/10/2001 /31/10/2001

A Permission has been granted for the development described above,
subject to the following (17) Conditions.

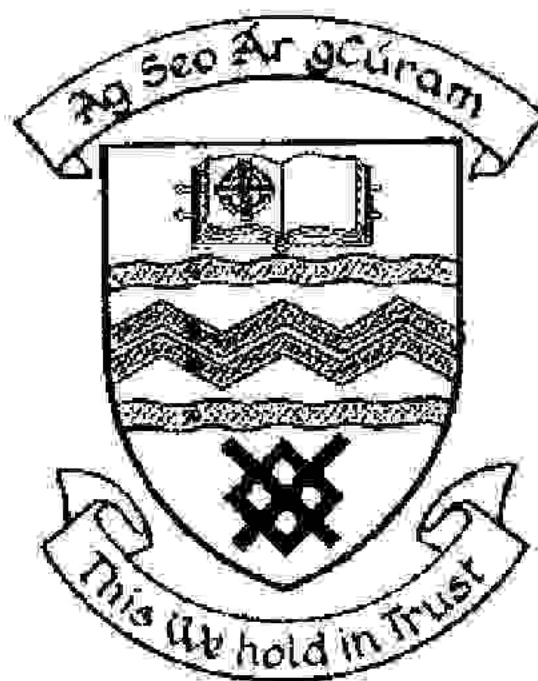
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REG REF. S01A/0007

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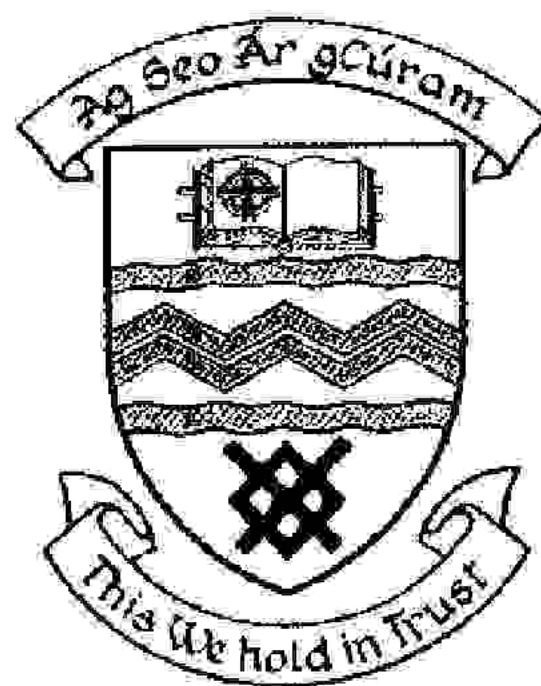
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on the 31/10/2001, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each dwelling shall be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 The water supply and drainage arrangements, including the disposal of surface water, shall be in accordance with the requirements of the County Council. In particular, the following requirements of the Environmental Services Department shall also be satisfied:
 - (i) No building shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (ii) The applicant shall ensure the full and complete separation of foul and surface water systems.
 - (iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (iv) Each property shall have its own individual service connection to the public watermain and 24 hour storage.
 - (v) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.REASON:
In the interests of public safety and in order to comply with the Sanitary Services Acts, 1878-1964.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 5 That an acceptable house numbering scheme be submitted to and approved by the County Council before any constructional

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REG. REF. S0117/0864

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work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 8 That details of landscaping, entrance gates/piers and boundary treatment, to include plans and elevations, be submitted to and approved by the Planning Authority and work thereon completed prior to occupation of the houses.

REASON:

In the interest of amenity.

- 9 It is noted that while the revised site layout plan indicates in text a 2.3 metre separation distance between the houses, this distance scales at under 1 metre. Prior to the commencement of development, revised drawings shall be submitted to the Planning Authority showing a 2.3 metre separation distance between the two houses. Revised floorplans and elevations, as required shall also be submitted.

REASON:

IN the interest of clarity.

- 10 Roofing materials shall consist of blue/black slate or concrete tiles, while exterior walls shall be finished in smooth plaster painted in a pale colour. The applicant is advised that reconstituted stone is not acceptable.

REASON:

In the interest of visual amenity.

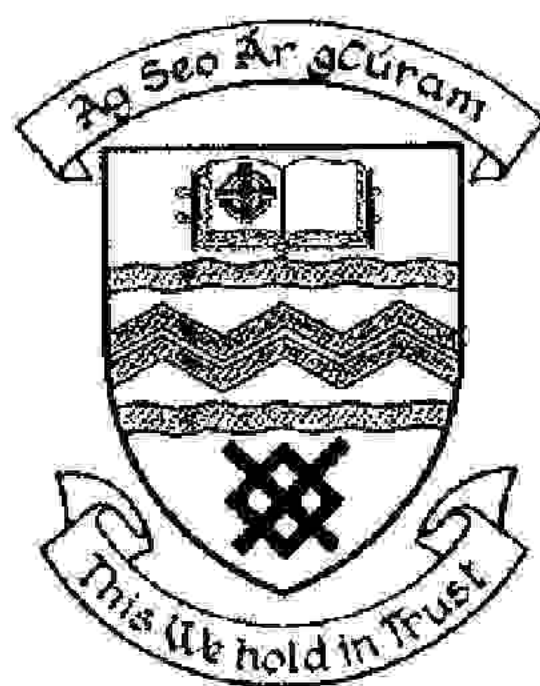
- 11 The first floor level porthole windows on the front elevations shall be in obscured glazing.

REASON:

In the interest of residential amenity.

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- 12 That a financial contribution in the sum of £1,500 (One Thousand Five Hundred Pounds) EUR 1,905 (One Thousand Nine Hundred and Five Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of £4,200 (Four Thousand Two Hundred Pounds) EUR 5,333 (Five Thousand Three Hundred and Thirty Three Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 That a financial contribution in the sum of £1,500 (One Thousand Five Hundred Pounds) EUR 1,905 (One Thousand Nine Hundred and Five Euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

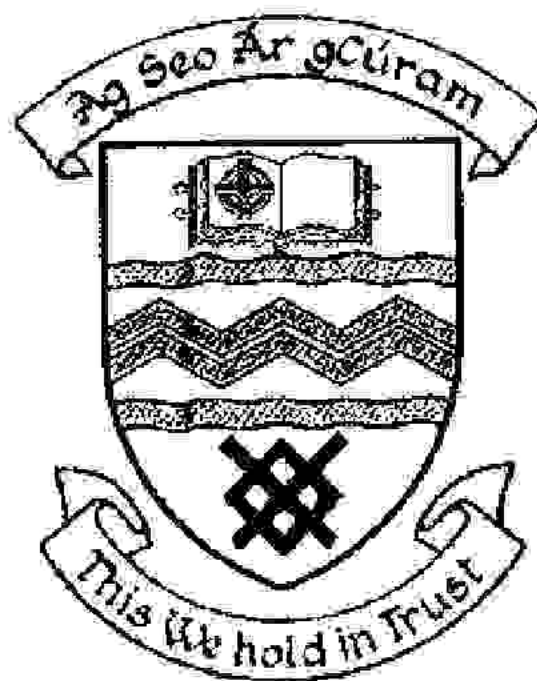
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of £1,350 (One Thousand Three Hundred and Fifty Pounds) EUR 1,714 (One Thousand Seven Hundred and Fourteen Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

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REG. REF. S01A/0854

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REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

16

That a financial contribution in the sum of £2,286 (Two Thousand Two Hundred and Eighty Six Pounds) EUR 2,903 (Two Thousand Nine Hundred and Three Euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

17

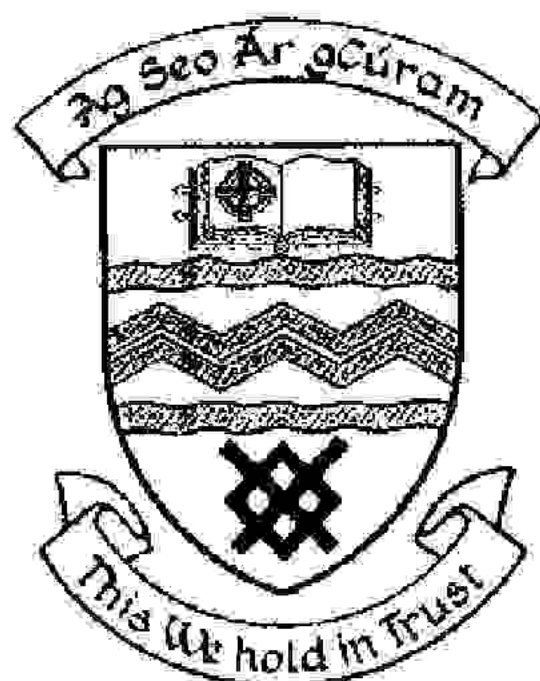
That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

- a. Lodgement with the Council of an approved Insurance Company Bond in the sum of £8,000 (Eight Thousand Pounds) EUR 10,158 (Ten Thousand One Hundred and Fifty Eight Euros) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...
- b. Lodgement with the Council of a Cash Sum of £5,000 (Five Thousand Pounds) EUR 6,349 (Six Thousand Three Hundred and Forty Nine Euros) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...
- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....*J.H.*.....11/02/02
for SENIOR ADMINISTRATIVE OFFICER

C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3714	Date of Decision 17/12/2001
Register Reference S01A/0354	Date: 13/06/01

Applicant David Delaney

Development 2 no. dormer type bungalows.

Location Rear of 1 Daletree Road, Firhouse, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 04/10/2001 /31/10/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (17) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

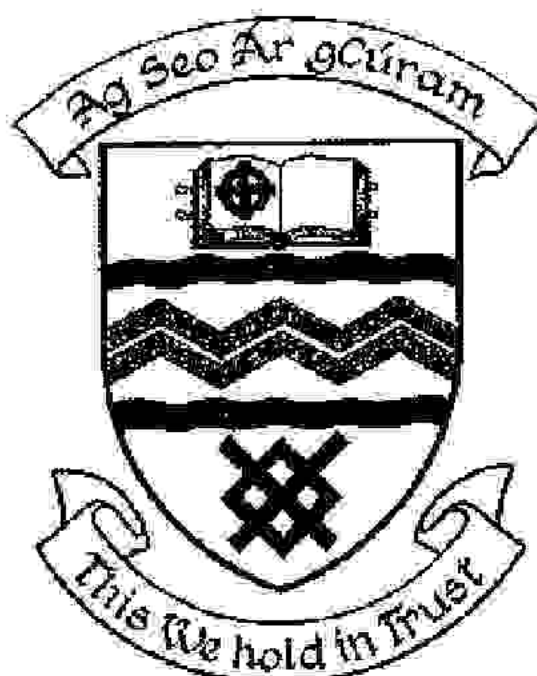
 18/12/01
for SENIOR ADMINISTRATIVE OFFICER

Draftec
15 Hermitage Court,
Rathfarnham,
Dublin 16.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on the 31/10/2001, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That each dwelling shall be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 The water supply and drainage arrangements, including the disposal of surface water, shall be in accordance with the requirements of the County Council. In particular, the following requirements of the Environmental Services Department shall also be satisfied:
 - (i) No building shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (ii) The applicant shall ensure the full and complete separation of foul and surface water systems.
 - (iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (iv) Each property shall have its own individual service connection to the public watermain and 24 hour storage.
 - (v) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.REASON:
In the interests of public safety and in order to comply with the Sanitary Services Acts, 1878-1964.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be

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REG. REF. S01A/0354

located underground throughout the entire site.

REASON:

In the interest of amenity.

- 5 That an acceptable house numbering scheme be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 8 That details of landscaping, entrance gates/piers and boundary treatment, to include plans and elevations, be submitted to and approved by the Planning Authority and work thereon completed prior to occupation of the houses.

REASON:

In the interest of amenity.

- 9 It is noted that while the revised site layout plan indicates in text a 2.3 metre separation distance between the houses, this distance scales at under 1 metre. Prior to the commencement of development, revised drawings shall be submitted to the Planning Authority showing a 2.3 metre separation distance between the two houses. Revised floorplans and elevations, as required shall also be submitted.

REASON:

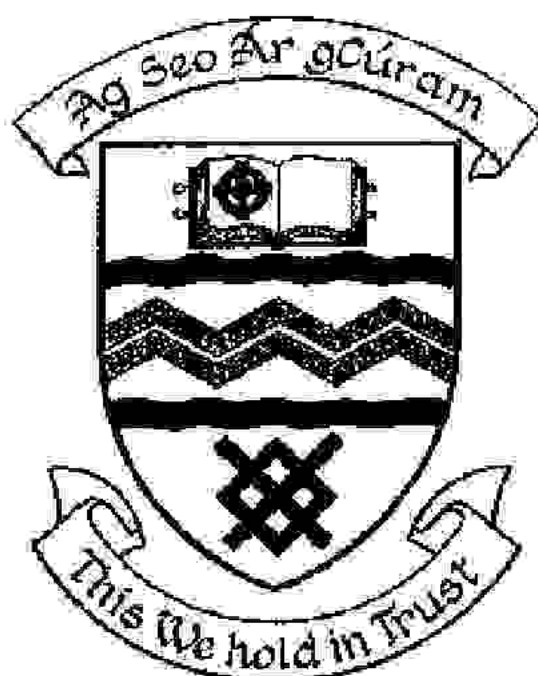
IN the interest of clarity.

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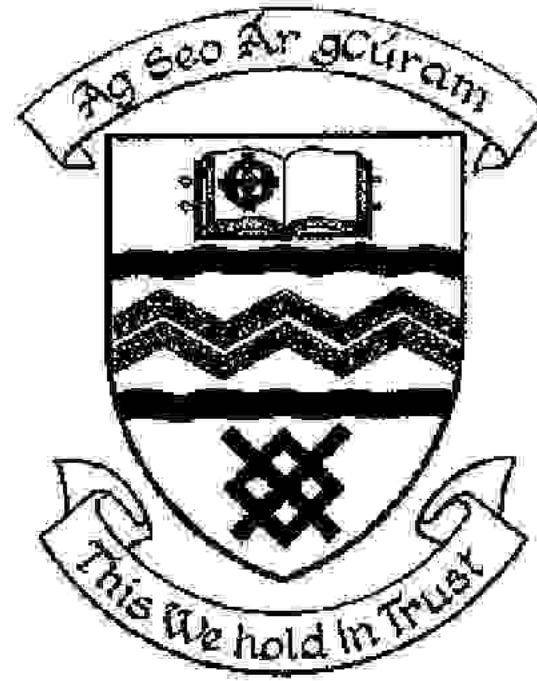
REG REF. S01A/0354

- 10 Roofing materials shall consist of blue/black slate or concrete tiles, while exterior walls shall be finished in smooth plaster painted in a pale colour. The applicant is advised that reconstituted stone is not acceptable.
REASON:
In the interest of visual amenity.
- 11 The first floor level porthole windows on the front elevations shall be in obscured glazing.
REASON:
In the interest of residential amenity.
- 12 That a financial contribution in the sum of £1,500 (One Thousand Five Hundred Pounds) EUR 1,905 (One Thousand Nine Hundred and Five Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 13 That a financial contribution in the sum of £4,200 (Four Thousand Two Hundred Pounds) EUR 5,333 (Five Thousand Three Hundred and Thirty Three Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 14 That a financial contribution in the sum of £1,500 (One Thousand Five Hundred Pounds) EUR 1,905 (One Thousand Nine Hundred and Five Euros) be paid by the proposer to South

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REG. REF. S01A/0354

Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of £1,350 (One Thousand Three Hundred and Fifty Pounds) EUR 1,714 (One Thousand Seven Hundred and Fourteen Euros) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £2,286 (Two Thousand Two Hundred and Eighty Six Pounds) EUR 2,903 (Two Thousand Nine Hundred and Three Euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 17 That no development under any permission granted pursuant to this decision be commenced until security for the provision and satisfactory completion of services, including maintenance, until taken in charge by the Local Authority for Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains, has been given by:-

a. Lodgement with the Council of an approved Insurance

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Company Bond in the sum of £8,000 (Eight Thousand Pounds) EUR 10,158 (Ten Thousand One Hundred and Fifty Eight Euros) until such time as the Roads, Open Spaces, Car Parks, Sewers, Watermains and Drains are taken in charge by the Council.
Or./...

- b. Lodgement with the Council of a Cash Sum of £5,000 (Five Thousand Pounds) EUR 6,349 (Six Thousand Three Hundred and Forty Nine Euros) to be applied by the Council at its absolute discretion if such services are not duly provided to its satisfaction on the provision and completion of such services to standard specifications.
Or./...

- c. Lodgement with the Planning Authority of a letter of guarantee issued by the Construction Industry Federation in respect of the proposed development, in accordance with the guarantee scheme agreed with Planning Authority.

REASON:

To ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.