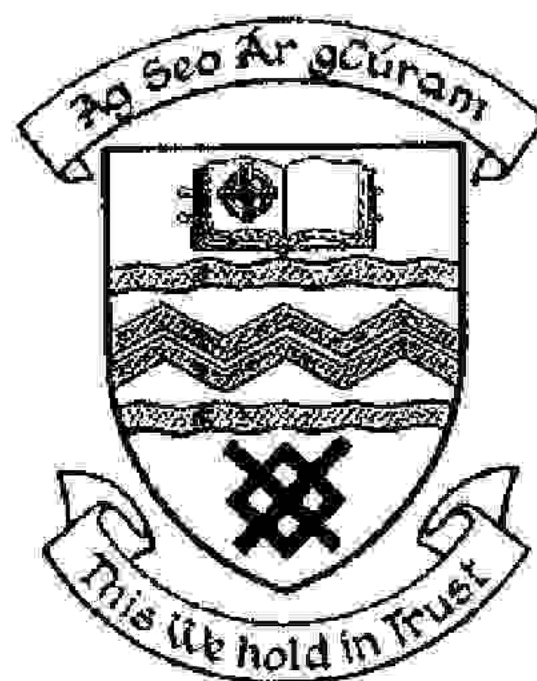


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0355	
1. Location	1 Carriglea Downs, Firhouse, Dublin 24.		
2. Development	2 storey detached dwelling to the side of existing house.		
3. Date of Application	14/06/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 10/08/2001 2.	1. 26/11/2001 2.
4. Submitted by	Name: Liam Flynn Address: 1 Carriglea Downs, Firhouse,		
5. Applicant	Name: Liam Flynn Address: 1 Carriglea Downs, Firhouse, Dublin 24.		
6. Decision	O.C.M. No. 0139 Date 17/01/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0495 Date 01/03/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.	

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Liam Flynn
1 Carriglea Downs,
Firhouse,
Dublin 24.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0495	Date of Final Grant 01/03/2002
Decision Order Number 0139	Date of Decision 17/01/2002
Register Reference S01A/0355	Date 26/11/01

Applicant Liam Flynn

Development 2 storey detached dwelling to the side of existing house.

Location 1 Carriglea Downs, Firhouse, Dublin 24.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

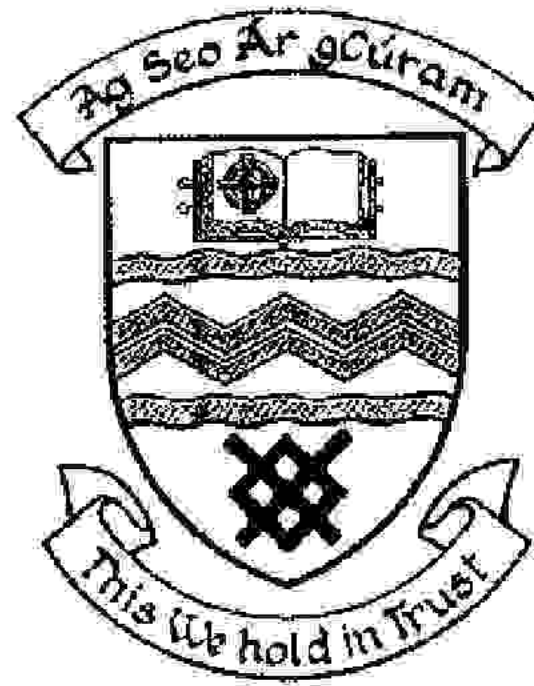
Additional Information Requested/Received 10/08/2001 /26/11/2001

A Permission has been granted for the development described above,
subject to the following (14) Conditions.

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REG REF. S016/01/17

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 21/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all external finishes harmonise in colour and texture with the existing dwelling.
REASON:
In the interest of visual amenity.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
 - i) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - ii) Applicant to ensure full and complete separation of foul and surface water systems.
 - iii) As a 225mm diameter foul sewer is within 5m (approx. 3.5m) of the proposed house prior to the commencement of development the applicant shall submit a detailed method statement for the written agreement of the Planning Authority for the construction of the house including full details of how it is proposed to protect the foul sewer from damage. These shall include constructing the foundations beneath the invert level of the sewer.
 - iv) Prior to the commencement of development the applicant shall submit for the written agreement of the Planning Authority, house surface water drainage plans showing the exact location of all drains, manholes, AJs etc. located within the site boundary. This layout shall be in accordance with the Building Regulations and shall clearly show full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer,

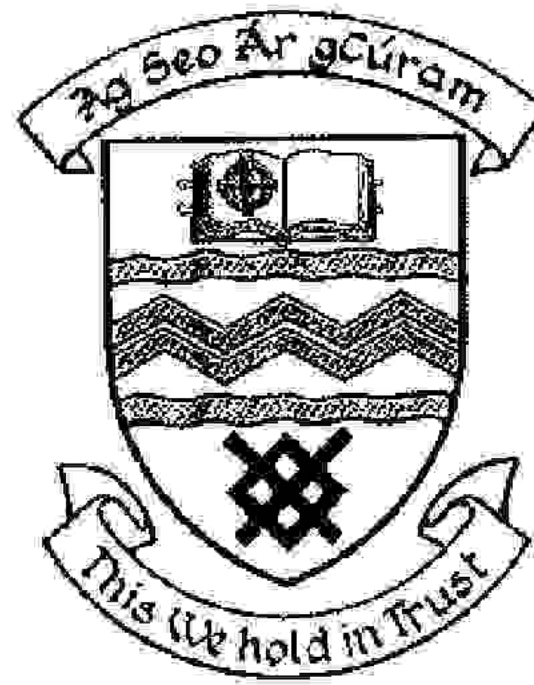
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REG. REF. S014/0071

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watercourse or any sewer with the potential to be taken in charge. All surface water shall be disposed of via the public surface water sewerage system.

- v) The property shall have its own individual service connection to the public watermain and 24 hour storage.
- vi) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 5 Prior to the commencement of development, the applicant shall ascertain and strictly adhere to the requirements of the Roads Traffic Department.

REASON:

In the interest of traffic and pedestrian safety.

- 6 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 7 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 8 That an acceptable house number be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

- 9 Prior to the commencement of development, the applicant shall submit details of landscaping and site boundary treatment for written approval of the Planning Authority.

REASON:

In the interest of amenity.

- 10 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South

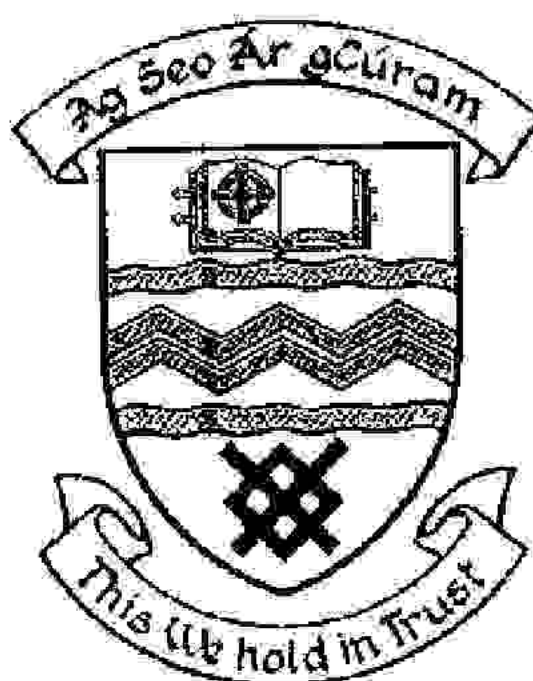
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REG REF. S014/0047

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Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 11 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 12 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 13 That a financial contribution in the sum of EUR 857 (eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

SOUTH DUBLIN COUNTY COUNCIL

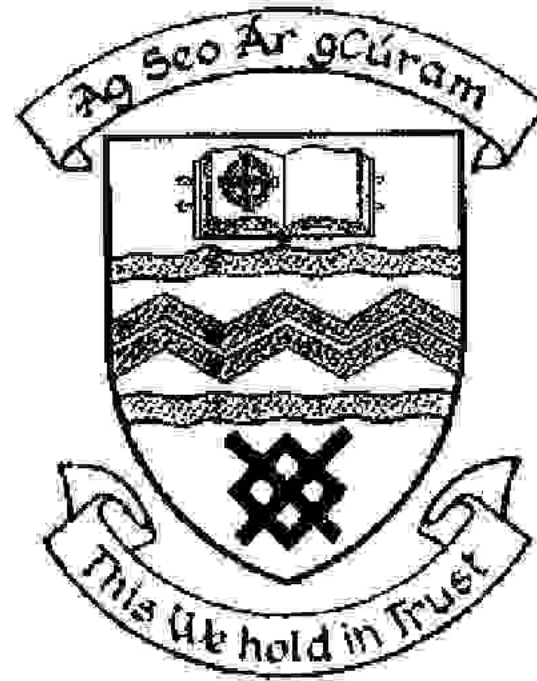
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- 14 That a financial contribution in the sum of EUR 1,451 (one thousand four hundred and fifty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

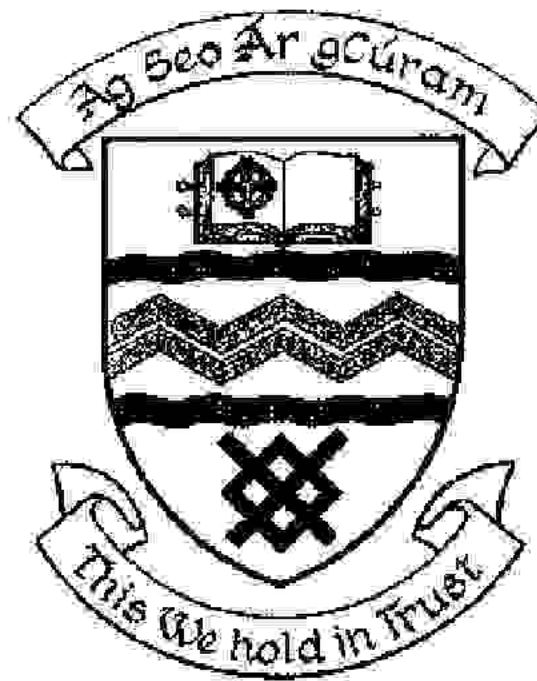
.....01/03/02
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0355	
1. Location	1 Carriglea Downs, Firhouse, Dublin 24.		
2. Development	2 storey detached dwelling to the side of existing house.		
3. Date of Application	14/06/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Liam Flynn Address: 1 Carriglea Downs, Firhouse,		
5. Applicant	Name: Liam Flynn Address: 1 Carriglea Downs, Firhouse, Dublin 24.		
6. Decision	O.C.M. No. 2636 Date 10/08/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar	Date	Receipt No.	

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2636	Date of Decision 10/08/2001
Register Reference S01A/0355	Date: 14/06/01

Applicant Liam Flynn
Development 2 storey detached dwelling to the side of existing house.

Location 1 Carriglea Downs, Firhouse, Dublin 24.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 14/06/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

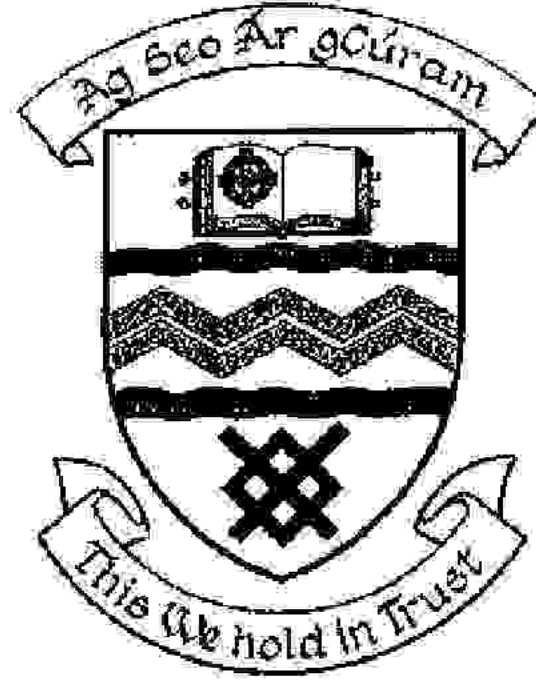
- 1 The proposed development is unacceptable as it lies in close proximity to a public foul sewer (approximately 2m). The applicant is requested to submit revised drawings showing the proposed house as attached to the existing house, which would allow an acceptable separation distance from the sewer. The applicant is advised that this will require the carrying out of revised public notice procedures (site and newspaper notices) amending the description of the proposed development accordingly.
- 2 It is noted that the plans and elevations of the existing house suggest that it is detached rather than semi-detached. The applicant is requested to submit revised drawings rectifying this matter.
- 3 The fall in levels on the site may necessitate the proposed house being at a lower level than the existing house. The applicant is requested to indicate this on the revised drawings.

Liam Flynn
1 Carriglea Downs,
Firhouse,
Dublin 24.

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REG REF. S01A/0355

Signed on behalf of South Dublin County Council


.....
for Senior Administrative Officer

10/08/01