

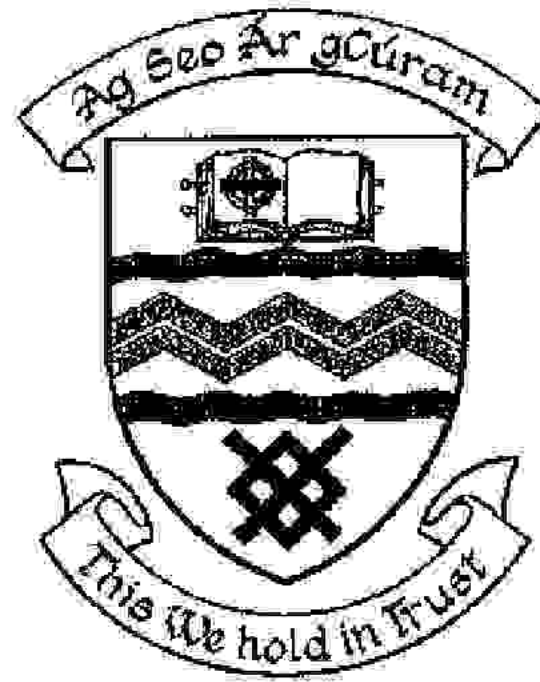
	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0357	
1. Location	343 Glenview Lawn, Tallaght, Dublin 24.		
2. Development	New two storey single family dwelling located to side of existing dwelling. This application includes the provision of dormer accommodation and single storey detached garage.		
3. Date of Application	14/06/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Martin O'Brien Address: 343 Glenview Lawn, Tallaght,		
5. Applicant	Name: Martin O'Brien Address: 343 Glenview Lawn, Tallaght, Dublin 24.		
6. Decision	O.C.M. No. 2629 Date 09/08/2001	Effect FI REQUEST ADDITIONAL INFORMATION	
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. Registrar	Date	Receipt No.	

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2629	Date of Decision 09/08/2001
Register Reference S01A/0357	Date: 14/06/01

Applicant Martin O'Brien
Development New two storey single family dwelling located to side of existing dwelling. This application includes the provision of dormer accommodation and single storey detached garage.

Location 343 Glenview Lawn, Tallaght, Dublin 24.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 14/06/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

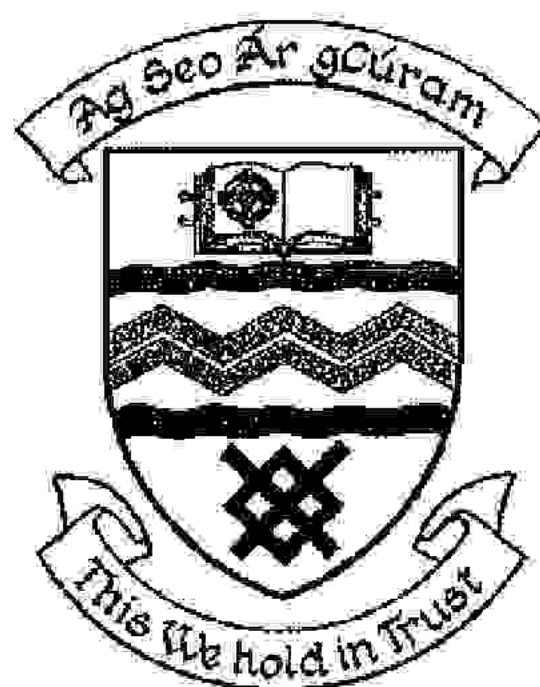
- 1 The applicant is requested to submit revised drawings to the Planning Authority omitting the bay windows on the side elevation of the proposed new dwelling. Prior to submission please discuss the matter with the Area Planner.
- 2 The proposed new dwelling breaks the side building line on Glenview Lawn. The applicant is requested to submit revised drawings to the Planning Authority clearly showing how he intends to deal with breaking the side building line and minimising its effect.
- 3 The applicant is requested to submit a block plan to the Planning Authority showing the proposed works in relation to the neighbouring properties to the rear.

Martin O'Brien
343 Glenview Lawn,
Tallaght,
Dublin 24.

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REG REF. S01A/0357

- 4 The applicant is requested to submit revised Side Elevations showing the correct position of the proposed chimney in relation to gable windows.
- 5 The applicant is requested to submit revised public notice procedures (both newspaper and site notice) to the Planning Authority correctly outlining what is proposed for this site (including the opening up of a new vehicular entrance).
- 6 Section 3.4.16.i of the South Dublin County Development Plan 1998 states that all houses should have an area of private open space behind the front building line of not less than 60sq.metres (exclusive of car parking area) to provide for an adequate level of residential amenity. It appears that the private open space to the rear of the existing property is less than 60 metres sq. as a result of the proposed works. The applicant is requested to submit revised drawings to the Planning Authority redefining the boundary line so as to allow for 60metres sq. of private open space behind the front building line of both properties.
- 7 The applicant is requested to submit foul and surface drainage plan showing the exact location of all drains, manholes, AJs etc. located up to the point of connection to the public sewer. This layout shall be in accordance with the Building Regulations and shall shoe ensure full and complete separation of foul and surface water systems. The applicant shall note that no buildings shall be erected within 5 metres of a public or any sewer with the potential to be taken in charge.

Signed on behalf of South Dublin County Council

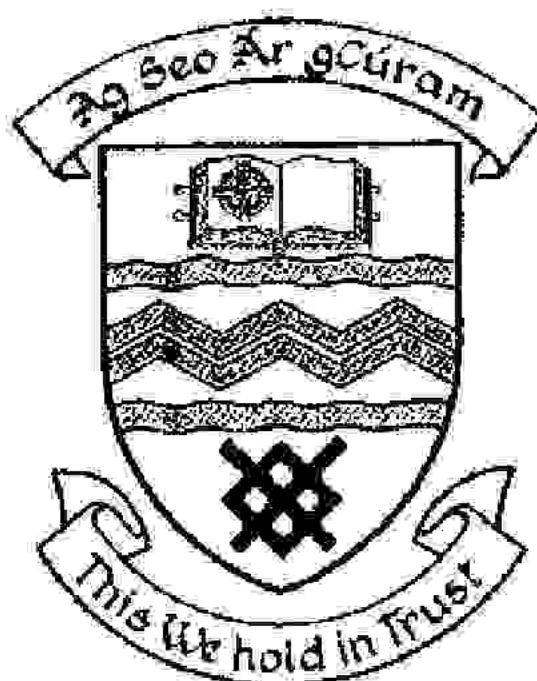

.....
for Senior Administrative Officer

10/08/01

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Richard Bannon Architect.,
36 St. Malachy's Drive,
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Dublin 12.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0657	Date of Final Grant 28/03/2002
Decision Order Number 0343	Date of Decision 13/02/2002
Register Reference S01A/0357	Date 21/12/01

Applicant Martin O'Brien

Development Two storey single family dwelling with dormer accommodation located adjacent to existing house. This application included provision of a new vehicular entrance, new solid timber gates and new single storey detached garage.

Location 343 Glenview Lawn, Tallaght, Dublin 24.

Floor Area 119.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /02/10/2001

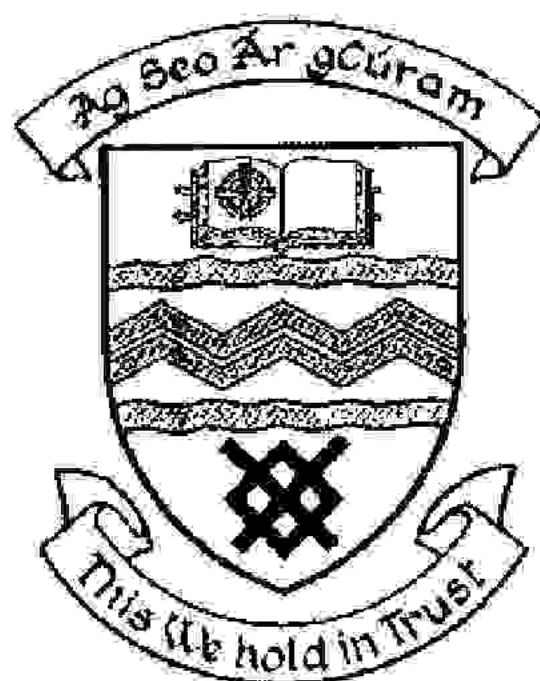
A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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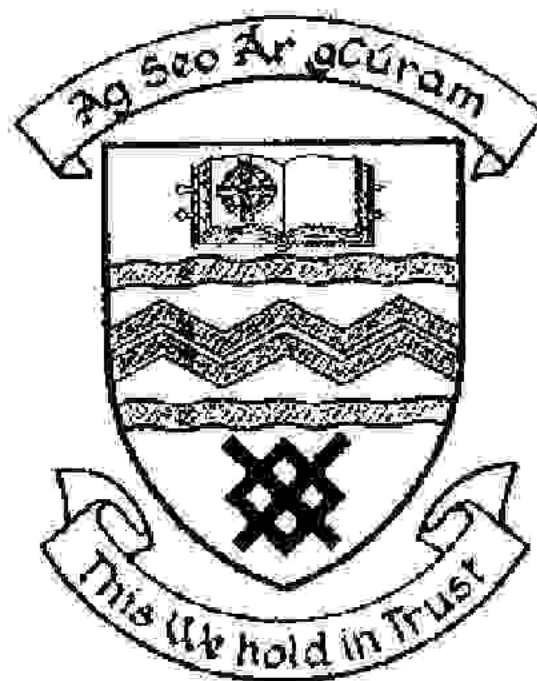
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 02/10/01 and Clarification of Additional Information received on 21/12/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 Details of all proposed boundary treatment shall be submitted to and approved by the Planning Authority prior to the commencement of development.
REASON:
In the interest of amenity.
- 5 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 6 The applicant shall meet the following requirements of the Environmental Services Department:
 - No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - The applicant shall ensure full and complete separation of foul and surface water systems.
 - As a 100mm diameter public watermain is within 5m (approx. 3.5m) of the proposed house prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the house including full details of how it is proposed to protect the watermain from damage. These shall include constructing the foundations beneath the invert level of the sewer.

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REG. REF. S012/0057
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- The house shall have its own individual service connection to the public watermain and 24hour storage.
- The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In the interest of the proper planning and development of the area.

- 7 The applicant shall meet the following requirements of the Roads Department:

- Footpath and kerb to be dished and the new driveway constructed for existing house to the satisfaction of the Area Engineer, Roads Maintenance.
- Footpath and kerb to be dished and the new driveway constructed for side entrance to proposed house to the satisfaction of the Area Engineer, Roads Maintenance.

REASON:

In the interest of the proper planning and development of the area.

- 8 All windows in the gable of the proposed dwelling shall be comprised of obscure glazing

Reason:

To protect the amenities of adjoining properties

- 9 That the proposed garage be used solely for purposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.

REASON:

To prevent unauthorised development.

- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

REASON:

In the interest of amenity.

- 11 That an acceptable house number be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

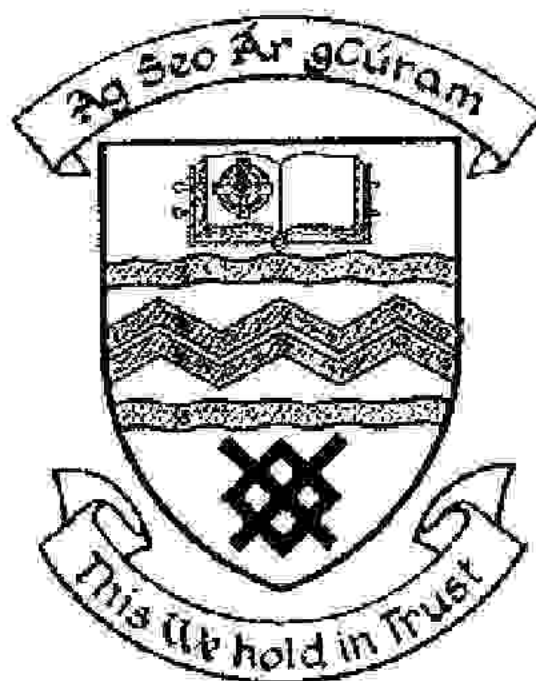
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- 12 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of EUR 1,451 (one thousand four hundred and fifty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

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reasonable that the developer should contribute towards the
cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

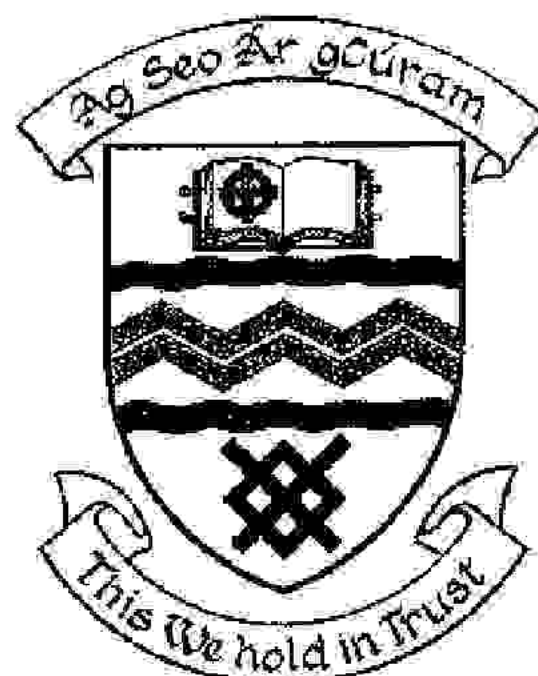
.....28/03/02
for SENIOR ADMINISTRATIVE OFFICER

C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0343	Date of Decision 13/02/2002
Register Reference S01A/0357	Date: 14/06/01

Applicant Martin O'Brien

Development Two storey single family dwelling with dormer accommodation located adjacent to existing house. This application included provision of a new vehicular entrance, new solid timber gates and new single storey detached garage.

Location 343 Glenview Lawn, Tallaght, Dublin 24.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /02/10/2001

Clarification of Additional Information Requested/Received 28/11/2001 / 21/12/2001

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (15) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.


..... 13/02/02
for SENIOR ADMINISTRATIVE OFFICER

Richard Bannon Architect.,
36 St. Malachy's Drive,
Greenhills,
Dublin 12.

**SOUTH DUBLIN COUNTY COUNCIL
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REG REF. S01A/0357

Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 02/10/01 and Clarification of Additional Information received on 21/12/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 Details of all proposed boundary treatment shall be submitted to and approved by the Planning Authority prior to the commencement of development.
REASON:
In the interest of amenity.
- 5 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 6 The applicant shall meet the following requirements of the Environmental Services Department:
 - No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - The applicant shall ensure full and complete separation of foul and surface water systems.

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■ As a 100mm diameter public watermain is within 5m (approx. 3.5m) of the proposed house prior to the commencement of development the applicant shall submit a detailed method statement for the construction of the house including full details of how it is proposed to protect the watermain from damage. These shall include constructing the foundations beneath the invert level of the sewer.

■ The house shall have its own individual service connection to the public watermain and 24hour storage.

■ The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In the interest of the proper planning and development of the area.

7 The applicant shall meet the following requirements of the Roads Department:

■ Footpath and kerb to be dished and the new driveway constructed for existing house to the satisfaction of the Area Engineer, Roads Maintenance.

■ Footpath and kerb to be dished and the new driveway constructed for side entrance to proposed house to the satisfaction of the Area Engineer, Roads Maintenance.

REASON:

In the interest of the proper planning and development of the area.

8 All windows in the gable of the proposed dwelling shall be comprised of obscure glazing

Reason:

To protect the amenities of adjoining properties

9 That the proposed garage be used solely for purposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.

REASON:

To prevent unauthorised development.

10 That all public services to the proposed development, including electrical, telephone cables and equipment be

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located underground throughout the entire site.

REASON:

In the interest of amenity.

- 11 That an acceptable house number be submitted to and approved by the County Council before any constructional work takes place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

- 12 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

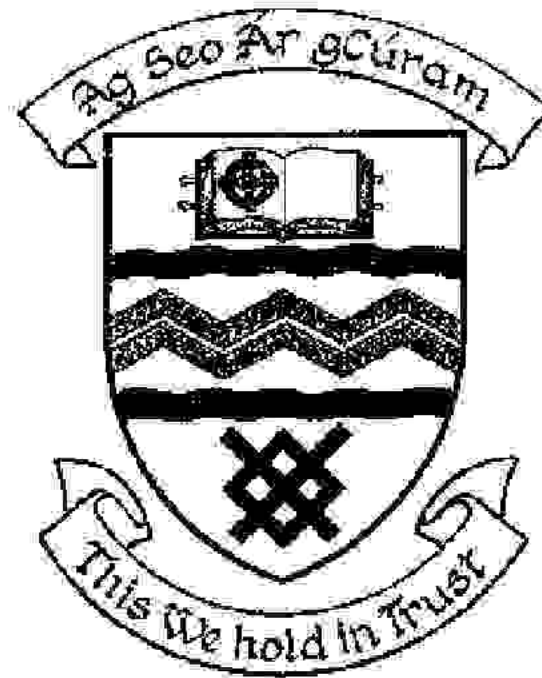
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- 14 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate

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REG. REF. S01A/0357

the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of EUR 1,451 (one thousand four hundred and fifty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

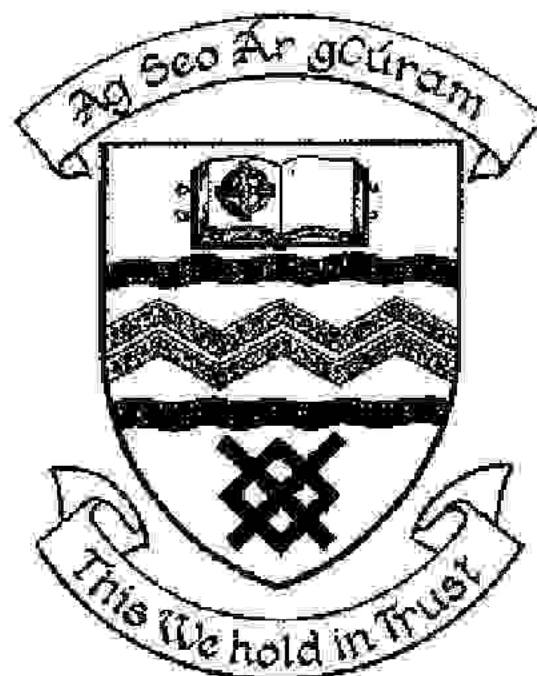
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

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**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 3488	Date of Decision 28/11/2001
Register Reference S01A/0357	Date 14/06/01

Applicant Martin O'Brien
App. Type Permission
Development Two storey single family dwelling with dormer accommodation located adjacent to existing house. This application included provision of a new vehicular entrance, new solid timber gates and new single storey detached garage.

Location 343 Glenview Lawn, Tallaght, Dublin 24.

Dear Sir / Madam,

With reference to your planning application, additional information received on 02/10/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning and Development) Acts 1963 - 1999 and Planning and Development Act 2000, the following Clarification of Additional Information must be submitted in quadruplicate :

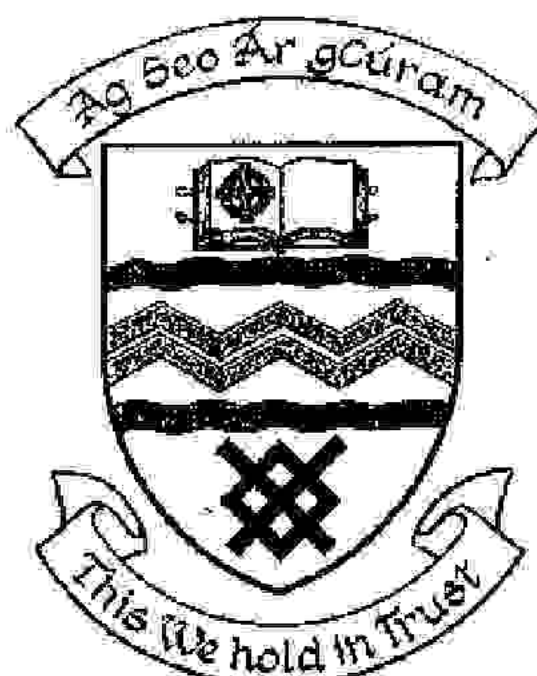
- 1 The applicant is requested to submit foul and surface water drainage plans showing the exact location of all drains, manholes, AJs etc., located up to the point of connection to the public sewer. This layout shall be in accordance with the Building Regulations and shall show full and complete separation of foul and surface water systems. The applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

Richard Bannon Architect.,
36 St. Malachy's Drive,
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- 2 It is considered that the applicant has not adequately addressed the issue of the breaking of the side building line of Glenview Lawn, as per point 2 of the request for Additional Information. The applicant is therefore again requested to address this matter. In particular, the applicant is invited to consider reducing the width of the proposed house such that it matches that of the existing house. In addition, the applicant is invited to investigate the possibility of relocating the garage further away from the boundary wall with no. 342, in order facilitate planting along the entire boundary.

Please mark your reply "CLARIFICATION OF ADDITIONAL INFORMATION" and quote the Planning Reg Ref. No. given above.

Yours faithfully

.....
For SENIOR ADMINISTRATIVE OFFICER

28/11/01