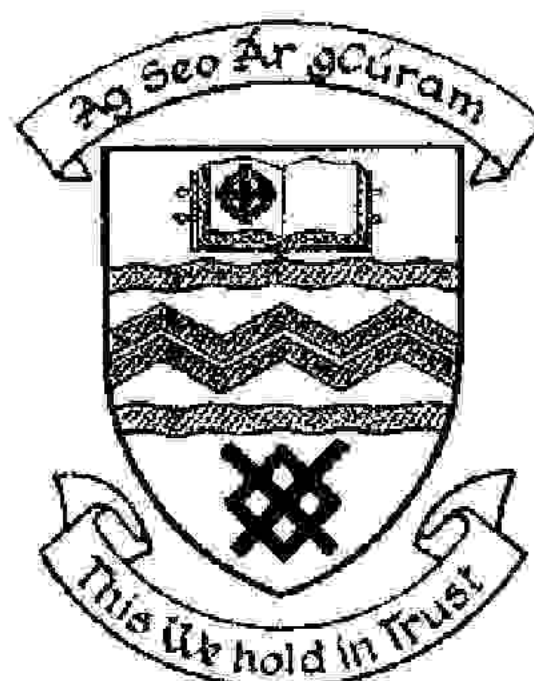


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0421	
1. Location	236 Orwell Park Lawns, Templeogue, Dublin 6W.		
2. Development	Two storey detached dwelling with new vehicular access to side.		
3. Date of Application	04/07/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Approval	1. 2.	1. 2.
4. Submitted by	Name: Jerry Lawless Address: 236 Orwell Park Lawns, Templeogue,		
5. Applicant	Name: Jerry Lawless Address: 236 Orwell Park Lawns, Templeogue, Dublin 6W.		
6. Decision	O.C.M. No. 2802 Date 30/08/2001	Effect AA GRANT APPROVAL	
7. Grant	O.C.M. No. 3119 Date 10/10/2001	Effect AA GRANT APPROVAL	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			
14. Registrar Date Receipt No.			

SOUTH DUBLIN COUNTY COUNCIL
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Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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Jerry Lawless
236 Orwell Park Lawns,
Templeogue,
Dublin 6W.

NOTIFICATION OF GRANT OF Approval

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 3119	Date of Final Grant 10/10/2001
Decision Order Number 2802	Date of Decision 30/08/2001
Register Reference S01A/0421	Date 04/07/01

Applicant Jerry Lawless

Development Two storey detached dwelling with new vehicular access to side.

Location 236 Orwell Park Lawns, Templeogue, Dublin 6W.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

A Approval has been granted for the development described above,
subject to the following (11) Conditions.

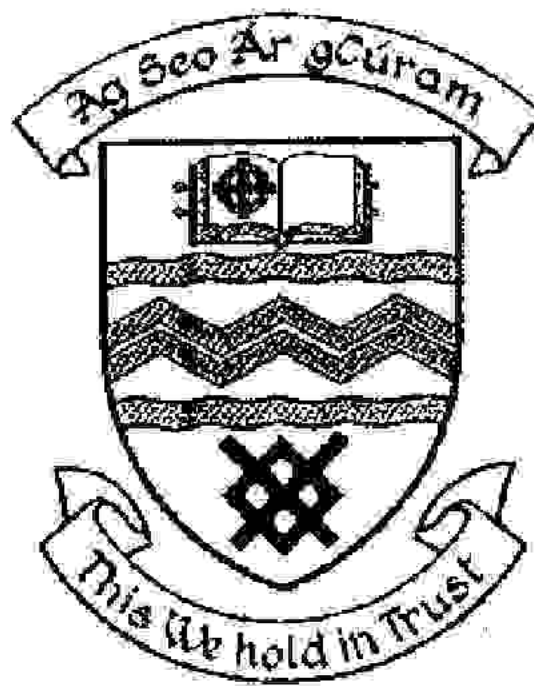
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REG REF. S0117/01/2

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 4 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the South Dublin County Council.
In this regard the following shall be complied with:
(a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential too be taken in charge.
(b) Applicant to ensure full and complete separation of foul and surface water systems.
(c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
(d) The property shall have its own individual service connection to the public watermain and 24hour storage.
(e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.
REASON:
In order to comply with the Sanitary Services Acts, 1878 - 1964.
- 5 That the footpath and kerb to be dished and the new driveway to be constructed to the satisfaction of the Area Engineer, Roads Maintenance, South Dublin County Council at the applicant's own expense.
REASON:
To ensure a satisfactory standard of development.

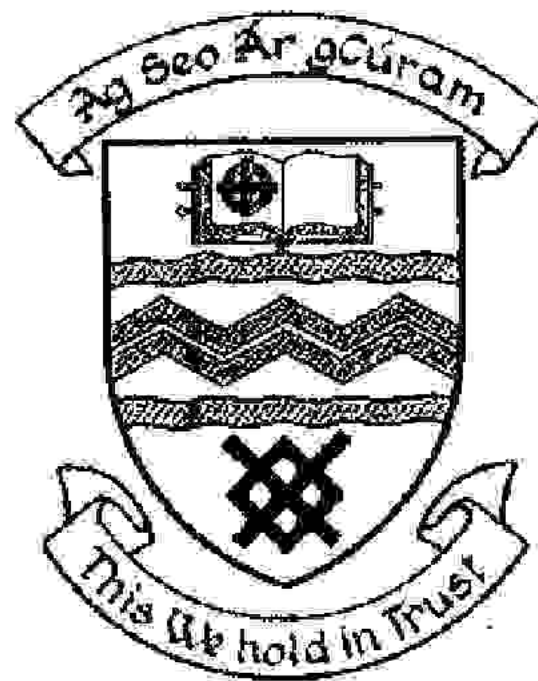
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REG. REF. S01A/08

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- 6 That relocation/replacement of the existing street tree to be at the applicant's own expense if necessary.
REASON:
To ensure a satisfactory standard of development.
- 7 That an acceptable name/house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.
REASON:
In the interest of the proper planning and development of the area.
- 8 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 9 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 10 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of

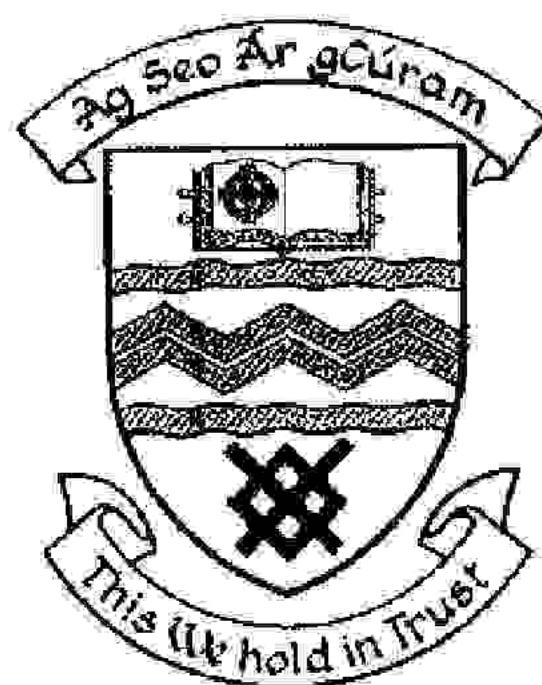
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REG REF. S017/01

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development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 11 That a financial contribution in the sum of £1,143 (one thousand one hundred and forty three pounds) EUR 1,451 (one thousand four hundred and fifty one euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

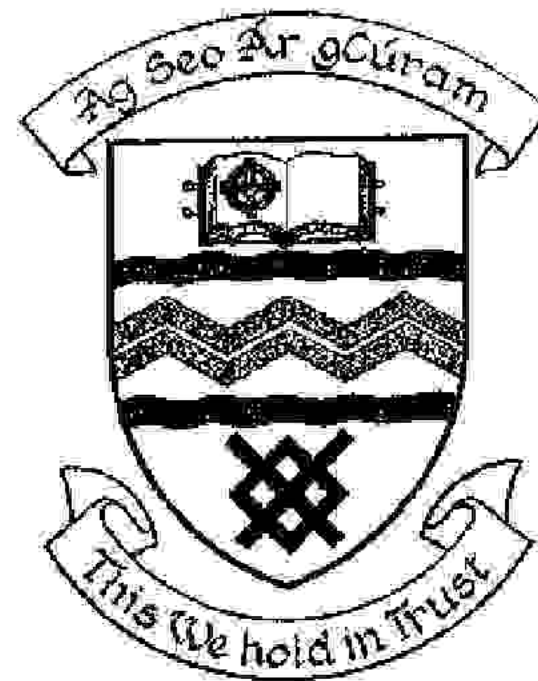
Signed on behalf of South Dublin County Council.

.....*B*.....11/10/01
for SENIOR ADMINISTRATIVE OFFICER

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0421	
1. Location	236 Orwell Park Lawns, Templeogue, Dublin 6W.		
2. Development	Two storey detached dwelling with new vehicular access to side.		
3. Date of Application	04/07/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Approval	1. 2.	1. 2.
4. Submitted by	Name: Jerry Lawless Address: 236 Orwell Park Lawns, Templeogue,		
5. Applicant	Name: Jerry Lawless Address: 236 Orwell Park Lawns, Templeogue, Dublin 6W.		
6. Decision	O.C.M. No. 2802 Date 30/08/2001	Effect AA GRANT APPROVAL	
7. Grant	O.C.M. No. Date	Effect AA GRANT APPROVAL	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

C

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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NOTIFICATION OF DECISION TO GRANT APPROVAL
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2802	Date of Decision 30/08/2001
Register Reference S01A/0421	Date: 04/07/01

Applicant Jerry Lawless

Development Two storey detached dwelling with new vehicular access to side.

Location 236 Orwell Park Lawns, Templeogue, Dublin 6W.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received /

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT APPROVAL in respect of the above proposal.

Subject to the conditions (11) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.


..... 30/08/01
for SENIOR ADMINISTRATIVE OFFICER

Jerry Lawless
236 Orwell Park Lawns,
Templeogue,
Dublin 6W.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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REG REF. S01A/0421

Conditions and Reasons

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REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the entire premises be used as a single dwelling unit.

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- 3 That all external finishes harmonise in colour and texture with the existing premises.

REASON:

In the interest of visual amenity.

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(e) The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

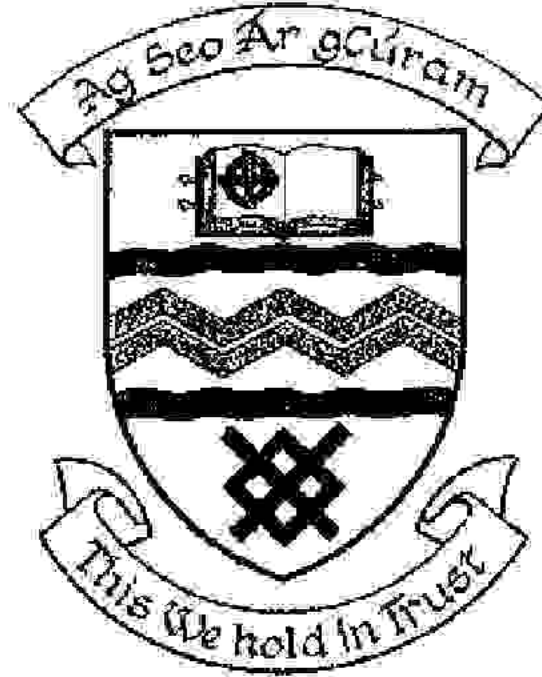
REASON:

In order to comply with the Sanitary Services Acts, 1878 - 1964.

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REG. REF. S01A/0421

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- 6 That relocation/replacement of the existing street tree to be at the applicant's own expense if necessary.

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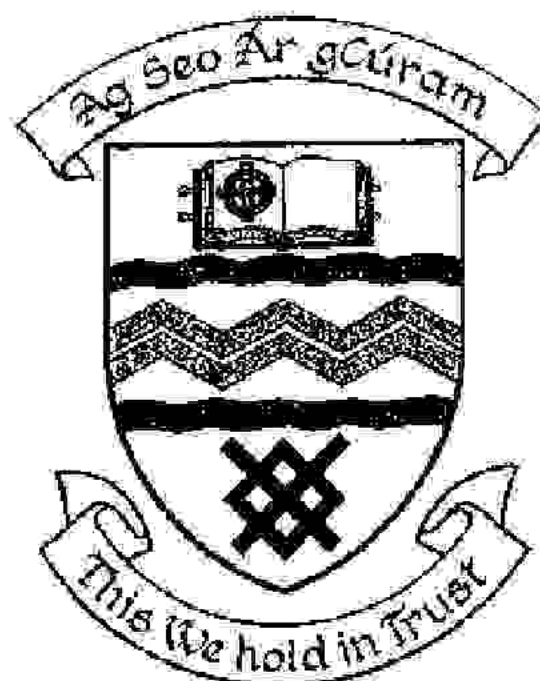
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REASON:

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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REG REF. S01A/0421

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REASON:

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