

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0423
1. Location	Esker, Lucan, Co. Dublin	
2. Development	Protect and carry out minor works on graveyard boundary wall which is a protected structure and abuts the subject site. To demolish existing bungalow, derelict two storey dwelling and out buildings and to build on resultant cleared site circa 2.2 hectares, 99 no. 2/3 storey residential units to contain / 8 no. 3 bed semi-detached units / 16 no. 2/3 be courtyard house units / 48 no. 2/3 bed duplex blocks / 27 no. 2 bed apartment units / 2 no. semi basement car parking decks with a total of 43 no. spaces and 85 no. surface car parking, provision for creche and new access road with landscaping and ancillary works.	
3. Date of Application	03/07/01	Date Further Particulars (a) Requested (b) Received
3a. Type of Application	Permission	1. 2.
4. Submitted by	Name: Project Architects Address: The Priory, John St. West,	
5. Applicant	Name: Devondale Ltd Address: 70 Patrick St., Dunlaoghaire, Co. Dublin.	
6. Decision	O.C.M. No. 2812 Date 31/08/2001	Effect FI REQUEST ADDITIONAL INFORMATION
7. Grant	O.C.M. No. Date	Effect FI REQUEST ADDITIONAL INFORMATION
8. Appeal Lodged		
9. Appeal Decision		
10. Material Contravention		
11. Enforcement	Compensation	Purchase Notice

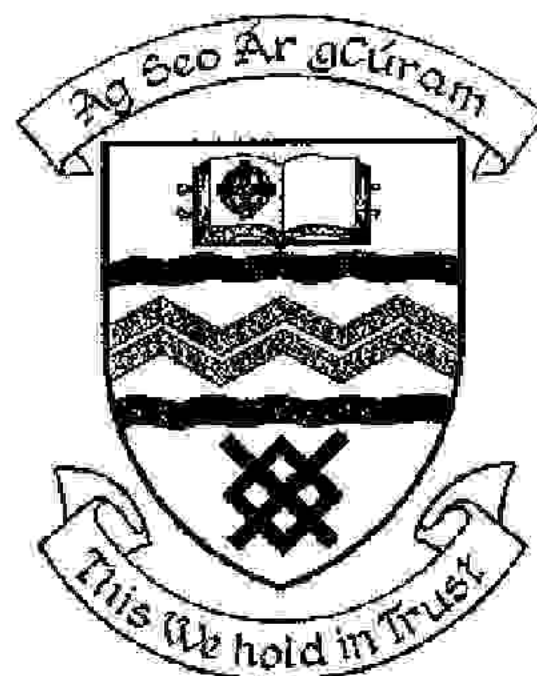
12. Revocation or Amendment		
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal
14. Registrar Date Receipt No.

C

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2812	Date of Decision 31/08/2001
Register Reference S01A/0423	Date: 03/07/01

Applicant Devondale Ltd
Development Protect and carry out minor works on graveyard boundary wall which is a protected structure and abuts the subject site. To demolish existing bungalow, derelict two storey dwelling and out buildings and to build on resultant cleared site circa 2.2 hectares, 99 no. 2/3 storey residential units to contain / 8 no. 3 bed semi-detached units / 16 no. 2/3 be courtyard house units / 48 no. 2/3 bed duplex blocks / 27 no. 2 bed apartment units / 2 no. semi basement car parking decks with a total of 43 no. spaces and 85 no. surface car parking, provision for creche and new access road with landscaping and ancillary works.

Location Esker, Lucan, Co. Dublin

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 03/07/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

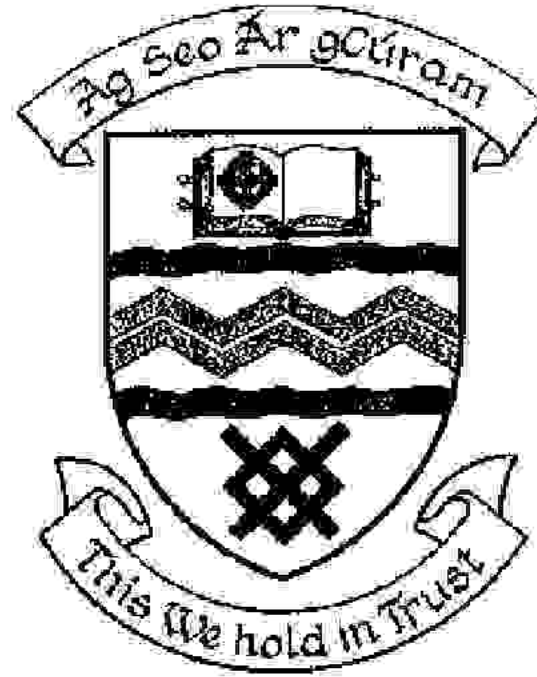
- 1 In view of the relationship of the site with two Recorded Monuments (RMP no. DU 017:022 Church and Graveyard and RMP no. DU 017:078 Bridge), Duchas recommend that a fully detailed archaeological assessment be carried out prior to any decision being made on the application. The archaeological assessment to consist of the following:
 - The applicant shall employ an archaeologist to carry out the assessment. No sub-surface work or demolition work shall be undertaken in the absence of the archaeologist without

Project Architects
The Priory,
John St. West,
Dublin 8.

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
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Facs: 01-414 9104



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his/her express consent.

■ The archaeologist shall carry out an inspection of the upstanding remains and compile a report. The report shall contain descriptions, drawings and photographs of any possible medieval fabric, along with an archaeological and historical background of the site, compiled from an examination of any relevant maps or other sources. Copies of the report shall be forwarded to Duchas and the Planning Authority. Duchas shall then advise of any subsequent requirements regarding the preservation in situ of any medieval fabric.

■ The archaeologist shall then excavate test trenches at locations chosen by him/her, having consulted the site plans and in liaison with the Licensing Section of Duchas.

■ Having completed the work, the archaeologist shall include in the report comment on the degree to which the extent, location and levels of all proposed foundations, services trenches and other sub-surface works associated with the development will effect the archaeological remains. This should be illustrated with appropriate plans, sections, etc. The archaeologist shall also address the Visual Amenity Impact of the proposed development on the church and graveyard.

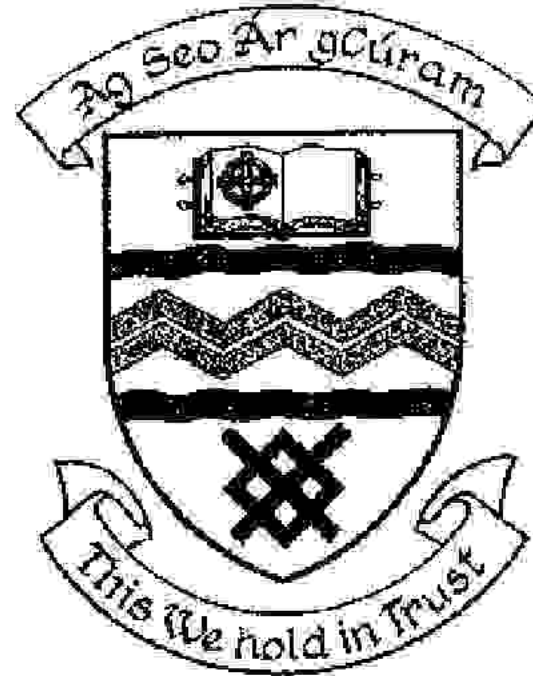
The applicant shall note that where archaeological material is shown to be present, (including burials) further mitigatory measures will be required; such measures may include refusal of permission, preservation in situ, excavation and/or monitoring. The applicant may need to redesign the layout to accommodate preservation in situ of deposits.

- 2 The applicant shall note that a 300mm diameter trunk watermain crosses the site, and runs directly under the proposed apartment building. A 16 metre wayleave is generally required for a watermain of this size. The granting of permission in its present form could not be contemplated due to the relationship of the proposal with the watermain. The applicant is therefore requested to address how the requirement for such a wayleave may be satisfactorily accommodated in the development.
- 3 (a) The applicant shall submit a watermain layout for the proposed development. This layout shall clearly show

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watermain sizes, valve, meter and hydrant locations as well as the proposed points of connection to existing watermains. The layout to be in accordance with Part B of 1997 Building Regulations and with "Recommendations for Site Development Works for Housing Areas" published by the Department of the Environment and Local Government. The watermain shall be a minimum of 100mm in diameter. No part of any building shall be more than 46 m from the nearest hydrant. No hydrant or valve shall be located in a parking space. The new watermain shall be looped or interconnected, to facilitate self-cleansing.

(b) The watermains serving the site shall be fitted, to the satisfaction of the Water Management Section of South Dublin County Council with a meter, remote readout and logger.

(c) Buildings of 3 storeys or more shall require balancing tanks and booster pumps on rising main to top storey units to ensure adequate pressure to top storey units.

(d) Each residential unit shall have its own individual service connection to the public watermain and 24hour storage.

(e) The water supply to any crèche shall be commercially metered.

(f) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

4 In relation to the wayleave for the foul-sewer and rising mains traversing the site, Environmental Services state their preference for a 20 metre wayleave. The applicant shall address how this requirement may be satisfied.

5 In relation to foul drainage details, the applicant shall demonstrate compliance with the requirements of the Environmental Services Dept in relation to the following:

(a) The applicant shall provide longitudinal profiles of all proposed sewers and watermains which cross over these twin rising mains together with details of how they are to be protected.

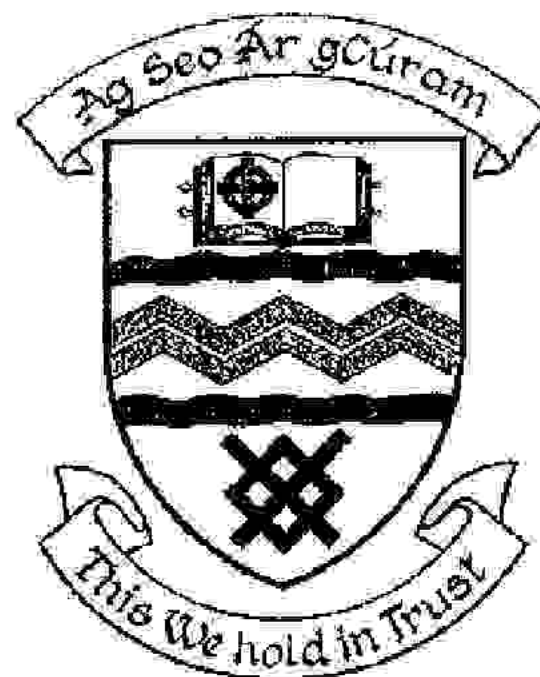
(b) The applicant to ensure full and complete separation of foul and surface water systems.

(c) The applicant shall note that all sewers with the potential to be taken in charge shall be a minimum of 225mm in diameter.

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6 The applicant's proposals with regard to surface water attenuation are unclear. The following details are therefore required:

(a) With regard to the proposed surface water attenuation the applicant shall clearly provide the following details: Total Area of Site, Total Impermeable Area of Site, Maximum Surface Water Run-off from Site and Total Surface Water Storage Volume to be provided. The run-off from the new development shall be limited to 6 l/s/ha for the effective impermeable area of the site. Therefore the applicant shall submit details indicating surface water attenuation facilities and flow control mechanism necessary to limit surface water discharges based on a rainfall intensity for a 20 year return period of 2 hour duration. Full details of how the attenuation facility shall be kept free from siltation and cleaned shall also be included.

(b) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

(c) The applicant to ensure full and complete separation of foul and surface water systems.

(d) All surface water runoff from car parking areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer

(e) No drainage information has been provided for the underground car parks. Full drainage details are therefore required. If the car parks cannot drain by gravity the applicant shall provide details of any proposed pumping systems. In such a case adequate provision shall also be allowed for a storage facility in the event of pump failure. If services are to be slung / suspended over the proposed basement any pumped system shall discharge to the foul drainage.

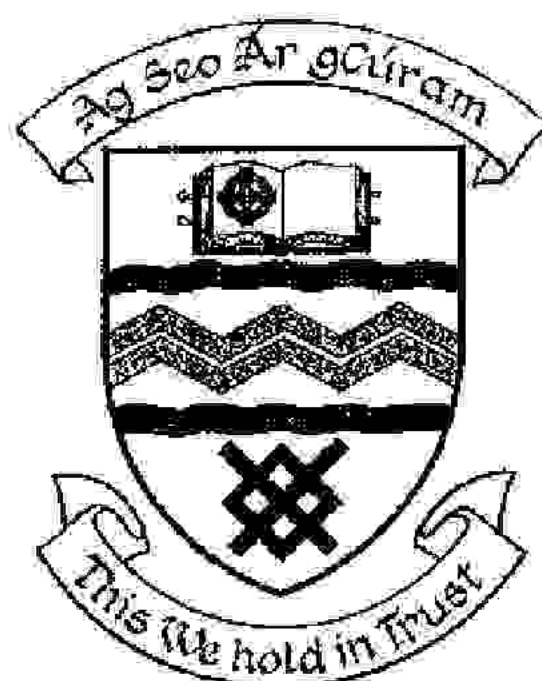
7 In relation to the conservation aspects of the proposal, the applicant is requested to submit the following details:

(a) The applicant is requested to submit a schedule that sets out clearly all proposed repair works to be carried out on the Protected Structure, ie the boundary wall to the cemetery. All works should include very specific details of materials and methods to be used. The applicant should be aware that the definition of "works" includes "any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal" as per the 1963

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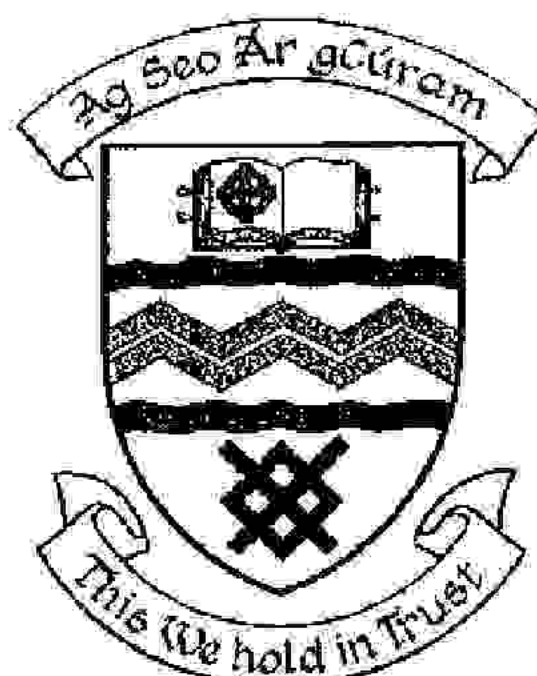
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- Act. The applicant is also requested to indicate their legal entitlement to carry out the works to the boundary wall with the cemetery.
- (b) The applicant is requested to provide clear information in relation to how the applicant proposes to ensure the safety of the Protected Structure during proposed works on site.
- (c) The applicant is requested to submit survey drawings showing the existing two-storey dwelling and out buildings. A detailed description of the existing house and out buildings with a full photographic record are required.
- 8 (a) A detailed tree and hedgerow survey to be provided, indicating the location, species, age, condition, crown spread and height of the trees/hedgerows on site. Proposals for the retention of trees and hedgerows, together with an assessment of the impact of the proposed development works on the future health and condition of the trees/hedgerows to be retained, in particular those in the vicinity of Esker Cemetery, should be provided.
- (b) The route of the existing Lucan/Newlands Road should be indicated on the site plan, so that the precise area of land remaining to the west of the realigned road (to Roads Dept. requirements), can be ascertained.
- 9 The applicant is requested to indicate if it is proposed to establish a Management Company, or whether the roads, open space, etc. are to be taken in charge.
- 10 The applicant is requested to provide full details of the boundary treatment to the proposed re-aligned Lucan-Newlands Rd.
- 11 The applicant is requested to consider the provision of a secure play area for children within one of the open spaces to the front of one of the apartment/duplex blocks.
- 12 The Planning Authority is not fully satisfied with the proposed layout as it relates to the adjoining cemetery. It is felt that the inclusion of the stone boundary wall into the rear gardens of houses is not ideal from the point of view of the setting of the cemetery and possible future development in proximity to the wall. Revisions to the northern part of the proposed layout should be made,

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relating to the semi-detached houses and the creche. Consideration should be given to relocating the proposed creche in the place of house nos 1-6. The building should be well setback from the boundary, with open ground surrounding it. The play area suggested under no. 11 above may be provided in this general area. In addition, the retention of a predominantly open area in the vicinity of the boundary with the cemetery should be provided. This would involve relocating the two northernmost blocks of duplex/apartments further south.

- 13 It appears that no details are proposed in relation to the proposed creche. The applicant is requested to submit full details including elevations, floor plans, and sections, in addition to the following information:
- nature of the facility
 - numbers of children to be catered for
 - parking provision for customers and staff
 - proposed hours of operation
 - open space provision serving the creche and measures for management of the space

In responding to the above, the applicant shall have regard to the Dept of Environment & Local Government, "Childcare Facilities - Guidelines for Planning Authorities" published in June 2001.

- 14 The applicant shall indicate how it is proposed to comply with the County Council's requirement for the provision of social/affordable housing in terms of the Housing Strategy 2001 - 2005.
- 15 In relation to the proposed apartment block, it appears that the orientation of the submitted elevation drawings does not correspond with the layout. The applicant shall confirm this and submit revised drawings.
- 16 The applicant shall consider the possibility of providing balconies on all upper floor apartments/duplexes, in order to enhance the provision of private open space.
- 17 It is noted from the levels submitted that the proposed finished floor levels of the two northernmost duplex blocks are high relative to the road. The applicant is requested to

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- submit a section through this part of the site and the road showing how the variation in levels is to be addressed.
- 18 The applicant is requested to incorporate the following requirements of the Roads Department into a revised submission:
- (a) Correct reservation line for improvement of Lucan/Newlands Road north of the proposed access point.
 - (b) Vision splays of 3m x 90m in both directions of the access point. This will involve setting back the proposed front boundary wall along the line required to provide visibility from the site entrance point.
 - (c) Minimum driveway length of 7.5m to the semi-detached houses nos. 6/7/8, notwithstanding any possible revisions to the layout which might involve the removal/relocation of these units in response to question no 12 above.
 - (d) Access road (from site entrance) to be minimum 6.0m wide with footpath 1.5m and grass verge 1.75m.
- 19 The level of car parking provision is too low having regard to the mix of units proposed. The Roads Department would require a total of 182 spaces to serve the town-houses/apartments. The applicant is requested to submit revised details providing for an increase in the number of parking spaces to serve the development. The applicant shall note that spaces no. 79 and 80 are not possible to access.

Signed on behalf of South Dublin County Council


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for Senior Administrative Officer

31/08/01