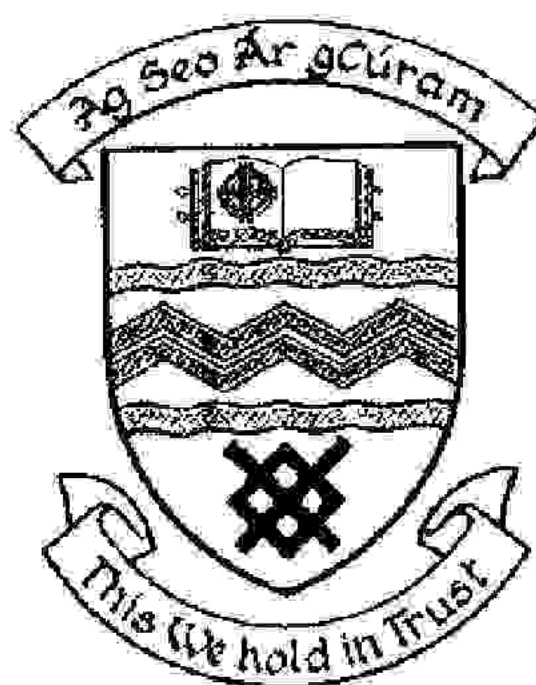


| | | | |
|-----------------------------|--|--|---------------------|
| | South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1) | Plan Register No. S01A/0428 | |
| 1. Location | 2 Palmerstown Avenue, Palmerstown, Dublin 20. | | |
| 2. Development | Change of use to Creche and Montessori facilities and erection of two one storey extensions planning permission is also being sought to provide vehicular access off Palmerstown Avenue and three on site carparking spaces. | | |
| 3. Date of Application | 06/07/01 | Date Further Particulars (a) Requested (b) Received | |
| 3a. Type of Application | Permission | 1. 04/09/2001 2. | 1. 17/09/2001 2. |
| 4. Submitted by | Name: Liam A Curran, Aidan A.O'Driscoll & Ass. Address: 6 Knocklyon Avenue, Knocklyon, | | |
| 5. Applicant | Name: Ciaran Fitzpatrick Esq. Address: 28 Harmony Avenue, Donnybrook, Dublin 4. | | |
| 6. Decision | O.C.M. No. 3397 Date 15/11/2001 | Effect AP GRANT PERMISSION | |
| 7. Grant | O.C.M. No. 0050 Date 10/01/2002 | Effect AP GRANT PERMISSION | |
| 8. Appeal Lodged | | | |
| 9. Appeal Decision | | | |
| 10. Material Contravention | | | |
| 11. Enforcement | | Compensation | Purchase Notice |
| 12. Revocation or Amendment | | | |
| 13. E.I.S. Requested | E.I.S. Received | E.I.S. Appeal | |
| 14. Registrar | Date | Receipt No. | |

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Tamhlacht, Baile Átha Cliath 24.

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E-Mail: planning-dept@sdublincoco.ie

Liam A Curran, Aidan A O'Driscoll & Ass.
6 Knocklyon Avenue,
Knocklyon,
Dublin 16.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|-------------------------------|--------------------------------|
| Final Grant Order Number 0050 | Date of Final Grant 10/01/2002 |
| Decision Order Number 3397 | Date of Decision 15/11/2001 |
| Register Reference S01A/0428 | Date 17/09/01 |

Applicant Ciaran Fitzpatrick Esq.

Development Change of use to Creche and Montessori facilities and erection of two one storey extensions planning permission is also being sought to provide vehicular access off Palmerstown Avenue and three on site carparking spaces.

Location 2 Palmerstown Avenue, Palmerstown, Dublin 20.

Floor Area 191.27 Sq Metres.

Time extension(a) up to and including

Additional Information Requested/Received 04/09/2001 /17/09/2001

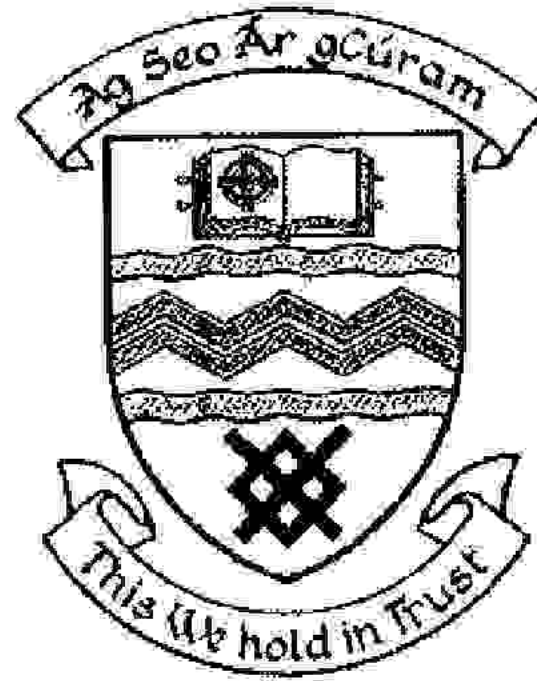
A Permission has been granted for the development described above,
subject to the following (8) Conditions.

SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/0001 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 17/09/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The proposed development shall be subject to the following conditions:-
 - (a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (b) Applicant to ensure full and complete separation of foul and surface water systems.
 - (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (d) If not already the case the water supply to the development shall be commercially metered.
 - (e) The property shall have its own individual service connection to the public watermain and 24 hour storage.
 - (f) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.REASON:
In order to comply with the Sanitary Services Acts, 1878-1964.
- 3 Footpath and kerb to be dished and the new driveway constructed to the satisfaction of the Area Engineer, Roads Maintenance.
REASON:
In the interest of the proper planning and development of the area.
- 4 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

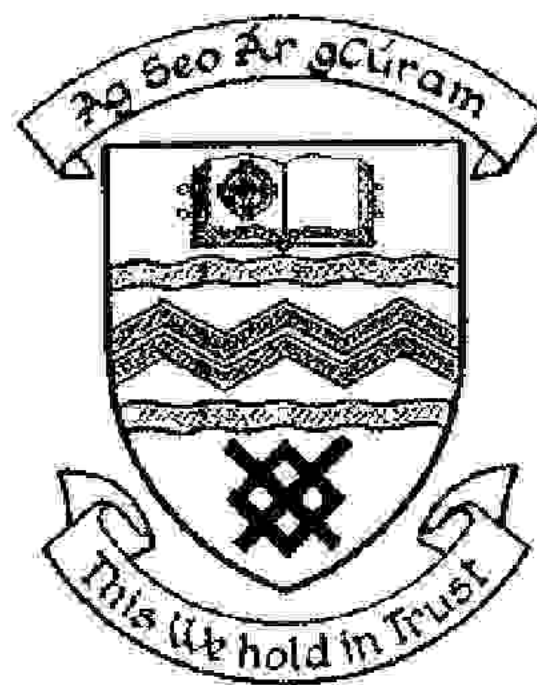
SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01A/0144

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REASON:

In the interest of safety and the avoidance of fire hazard.

- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 6 That a financial contribution in the sum of £533 (five hundred and thirty three pounds) EUR 677 (six hundred and seventy seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 7 That a financial contribution in the sum of £1,040 (one thousand and forty pounds) EUR 1,320 (one thousand three hundred and twenty euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 8 That a financial contribution in the sum of £160 (one hundred and sixty pounds) EUR 204 (two hundred and four euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered

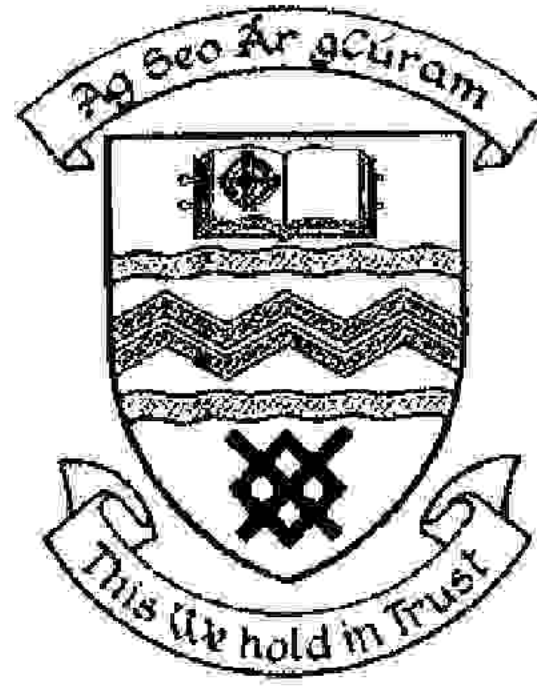
SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/01/01

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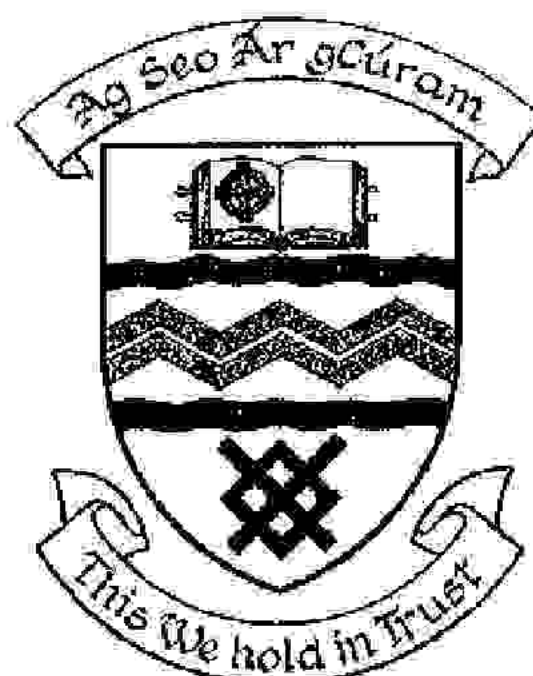
reasonable that the development should contribute towards
the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....*gk*.....10/01/02
for SENIOR ADMINISTRATIVE OFFICER

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|------------------------------|-----------------------------|
| Decision Order Number 3397 | Date of Decision 15/11/2001 |
| Register Reference S01A/0428 | Date: 06/07/01 |

Applicant Ciaran Fitzpatrick Esq.

Development Change of use to Creche and Montessori facilities and
erection of two one storey extensions planning permission is
also being sought to provide vehicular access off
Palmerstown Avenue and three on site carparking spaces.

Location 2 Palmerstown Avenue, Palmerstown, Dublin 20.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 04/09/2001 /17/09/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a **DECISION TO GRANT PERMISSION** in respect of the above proposal.

Subject to the conditions (8) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

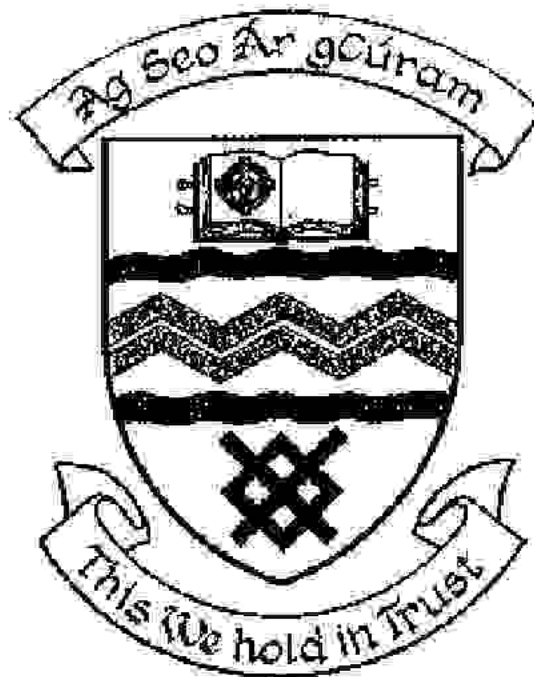
..... 15/11/01
for SENIOR ADMINISTRATIVE OFFICER

Liam A Curran, Aidan A O'Driscoll & Ass.
6 Knocklyon Avenue,
Knocklyon,
Dublin 16.

**SOUTH DUBLIN COUNTY COUNCIL
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 17/09/01, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The proposed development shall be subject to the following conditions:-
- (a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (b) Applicant to ensure full and complete separation of foul and surface water systems.
 - (c) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (d) If not already the case the water supply to the development shall be commercially metered.
 - (e) The property shall have its own individual service connection to the public watermain and 24 hour storage.
 - (f) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

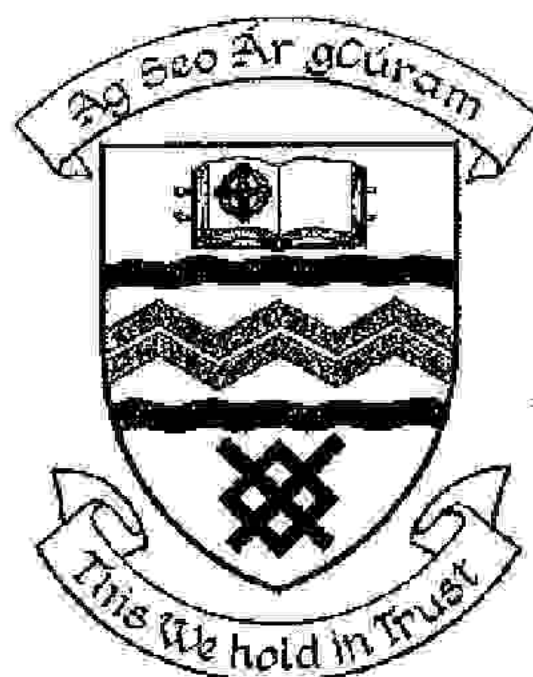
- 3 Footpath and kerb to be dished and the new driveway constructed to the satisfaction of the Area Engineer, Roads Maintenance.

REASON:

**SOUTH DUBLIN COUNTY COUNCIL
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REG. REF. S01A/0428

In the interest of the proper planning and development of the area.

- 4 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 5 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 6 That a financial contribution in the sum of £533 (five hundred and thirty three pounds) EUR 677 (six hundred and seventy seven euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 7 That a financial contribution in the sum of £1,040 (one thousand and forty pounds) EUR 1,320 (one thousand three hundred and twenty euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

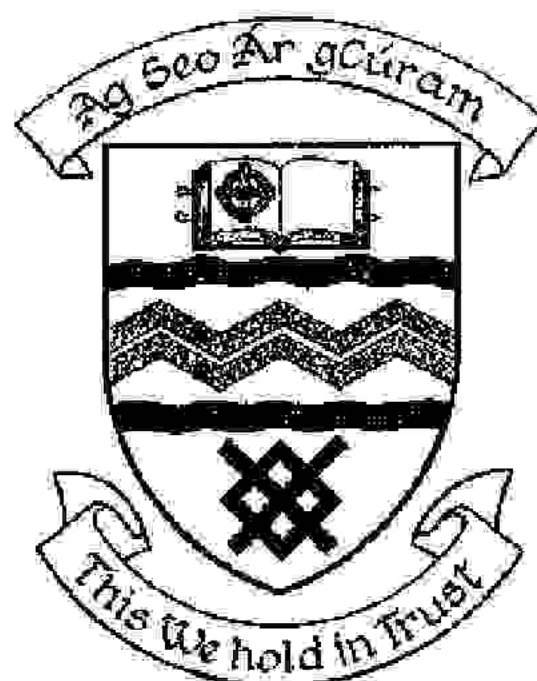
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road

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REG REF. S01A/0428

improvement works and traffic management schemes
facilitating the proposed development.

- 8 That a financial contribution in the sum of £160 (one hundred and sixty pounds) EUR 204 (two hundred and four euros) be paid by the proposer to South Dublin County Council towards the cost of the Lucan/Palmerstown Water Supply Improvement Scheme which serves this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the development should contribute towards the cost of the works.

| | | | |
|-----------------------------|--|--|-----------------|
| | South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1) | Plan Register No. S01A/0428 | |
| 1. Location | 2 Palmerstown Avenue, Palmerstown, Dublin 20. | | |
| 2. Development | Change of use of former Credit Union offices to a Creche and Montessori facilities and for the erection of two one storey extensions to the building. | | |
| 3. Date of Application | 06/07/01 | Date Further Particulars (a) Requested (b) Received | |
| 3a. Type of Application | Permission | 1. 04/09/2001 2. | 1. 2. |
| 4. Submitted by | Name: Liam A Curran, Aidan A O'Driscoll & Ass. Address: 6 Knocklyon Avenue, Knocklyon, | | |
| 5. Applicant | Name: Ciaran Fitzpatrick Esq. Address: 28 Harmony Avenue, Donnybrook, Dublin 4. | | |
| 6. Decision | O.C.M. No. 2834 Date 04/09/2001 | Effect FI REQUEST ADDITIONAL INFORMATION | |
| 7. Grant | O.C.M. No. Date | Effect FI REQUEST ADDITIONAL INFORMATION | |
| 8. Appeal Lodged | | | |
| 9. Appeal Decision | | | |
| 10. Material Contravention | | | |
| 11. Enforcement | | Compensation | Purchase Notice |
| 12. Revocation or Amendment | | | |
| 13. E.I.S. Requested | | E.I.S. Received | E.I.S. Appeal |
| 14. Registrar | Date | Receipt No. | |

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

| | |
|------------------------------|-----------------------------|
| Decision Order Number 2834 | Date of Decision 04/09/2001 |
| Register Reference S01A/0428 | Date: 06/07/01 |

Applicant Ciaran Fitzpatrick Esq.
Development Change of use of former Credit Union offices to a Creche and
 Montessori facilities and for the erection of two one storey
 extensions to the building.

Location 2 Palmerstown Avenue, Palmerstown, Dublin 20.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 06/07/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is advised that three off-street car parking spaces are required to be provided within the curtilage of the premises with vehicular access to the site to be provided via a new access from Palmerstown Avenue. Accordingly, suitably revised public notices and site layout drawings are required to be submitted to amend the application in this regard.
- 2 Surface water drainage plans are required showing the exact location of all drains, manholes, AJs etc., located within the site boundary. This layout shall be in accordance with the Building Regulations and shall ensure the full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

Liam A Curran, Aidan A O'Driscoll & Ass.
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REG REF. S01A/0428

3 Details are required of the total number and the ages of
children to be accommodated in the proposed development.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

04/09/01