

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No. S01A/0499	
1. Location	43 Cherrywood Villas, Clondalkin, Dublin 22.		
2. Development	(1) To demolish existing single storey extension to side of existing dwelling. (2) To erect a three bedroom, two storey dwelling attached to the side of existing dwelling. (3) To enlarge driveway and entrance ope. (4) All ancillary site works.		
3. Date of Application	27/07/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 25/09/2002 2.	1. 16/04/2002 2.
4. Submitted by	Name: Colm Fitzpatrick Address: Arch & Struct Design, 55 Cherrywood Park,		
5. Applicant	Name: Mrs Margaret Hayden Address: 43 Cherrywood Villas, Clondalkin, Dublin 22.		
6. Decision	O.C.M. No. 2193 Date 13/06/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2620 Date 25/07/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			

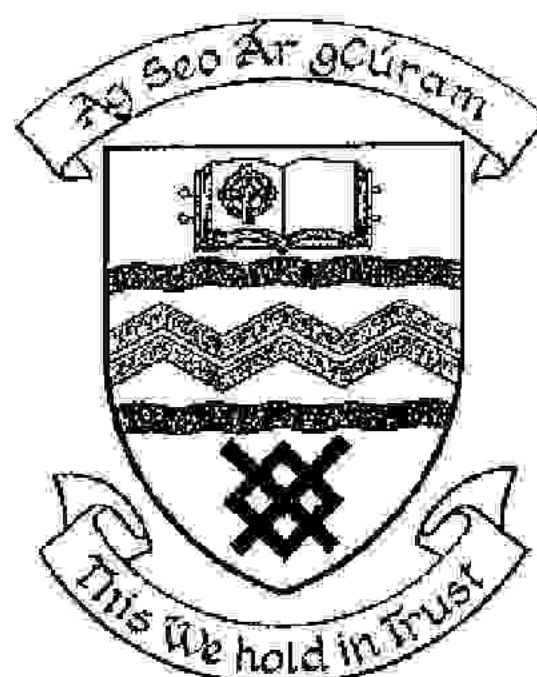
14.	Registrar	Date	Receipt No.
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING & DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING & DEVELOPMENT ACT 2000

Decision Order Number 2193	Date of Decision 13/06/2002
Register Reference S01A/0499	Date: 27/07/01

Applicant Mrs Margaret Hayden

Development (1) To demolish existing single storey extension to side of existing dwelling. (2) To erect a three bedroom, two storey dwelling attached to the side of existing dwelling. (3) To enlarge driveway and entrance ope. (4) All ancillary site works.

Location 43 Cherrywood Villas, Clondalkin, Dublin 22.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 25/09/2002 /16/04/2002

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County of South Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (16) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

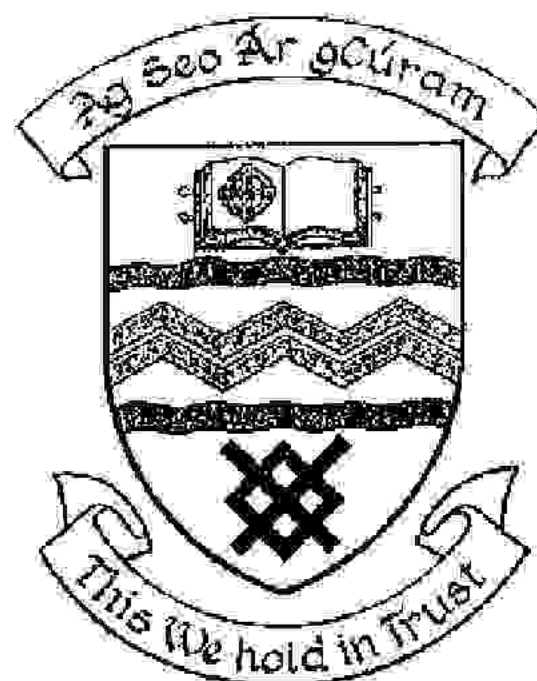
 13/06/02
for SENIOR EXECUTIVE OFFICER

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55 Cherrywood Park,
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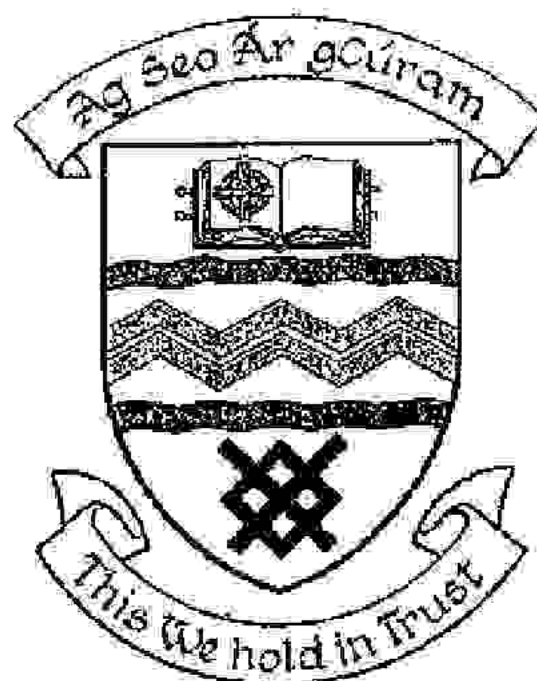
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on 16th April 2002 and unsolicited additional information received on 27th August 2001, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground.
Reason:
In the interest of amenity
- 5 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
(a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in

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charge.

(b) Applicant to ensure full and complete separation of foul and surface water systems.

(c) Any drains that run under proposed buildings shall be protected in accordance with the Building Regulations 1997 Technical Guidance Document H (Drainage and Wastewater Disposal)...

(d) The property shall have its own individual service connection to the public watermain and 24hour storage.

(e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 7 That an acceptable house numbering scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 8 Prior to commencement of development the applicant is requested to submit plans, particulars and details of proposed front garden boundary and vehicular entrance to scale of not less than 1:100 for the written approval of the Planning Authority.

These shall adhere to the following requirements:

(a) Separate vehicular entrance with width between 2.3m - 3.0m (maximum width of 3 metres)

(b) fixed gate piers/ pillars similar to existing gate piers

(c) cast iron/ metal gates which open inwards

(d) front garden boundary wall similar to existing garden boundary walls of adjacent dwelling

(e) at least one third of each of the front garden areas shall be either grassed or landscaped.

Reason:

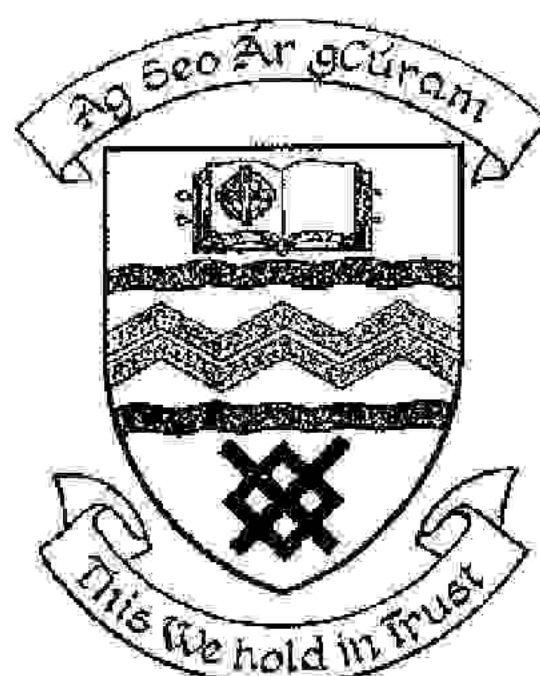
In the interests of proper planning and development of the area.

- 9 The footpath and kerb for both the existing and proposed dwelling shall be dishd to the requirements of the Area

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Engineer, Road Maintenance Department, at the applicants own expense. Any such dishing shall not exceed the width of the vehicular entrance. Any alterations to manhole cover/frame to be at applicant's own expense.

Reason:

In the interest of proper planning and development of the area.

- 10 Provision of 2 off street car parking spaces for each house shall be provided for.

Reason:

In the interest of proper planning and development of the area.

- 11 External finishes to the proposed dwelling, including roof materials and colours, shall be in keeping with the finishes of the existing building.

Reason:

In the interest of visual amenity

- 12 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

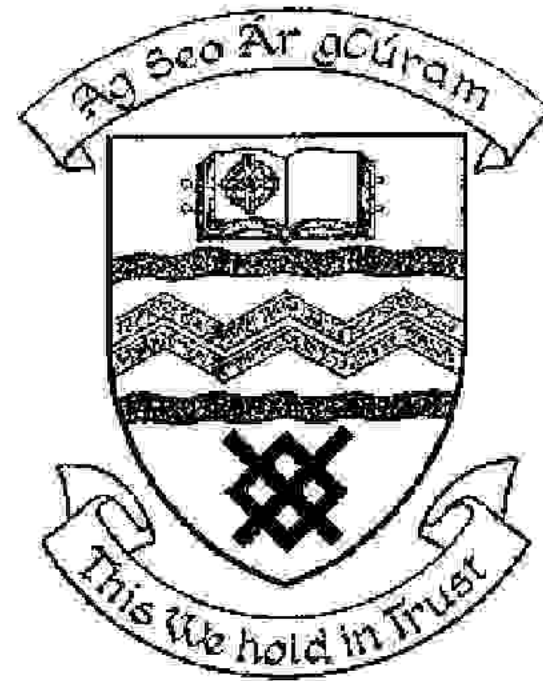
REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road

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improvement works and traffic management schemes
facilitating the proposed development.

- 14 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of EUR 414 (four hundred and fourteen euro) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of EUR 211 (two hundred and eleven euro) be paid by the proposer to South Dublin County Council towards the cost of the "9B" Catchment foul drainage improvement works which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

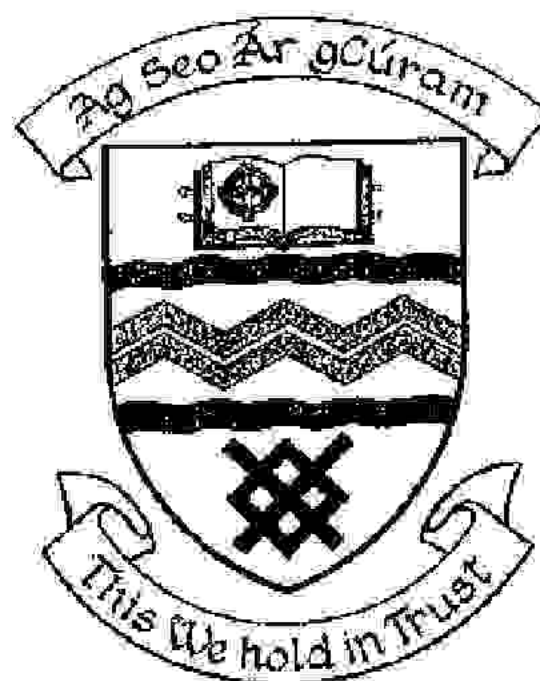
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 2997	Date of Decision 25/09/2001
Register Reference S01A/0499	Date: 27/07/01

Applicant Mrs Margaret Hayden
Development (1) To erect a three-bedroom, two-storey detached dwelling in side garden. (2) To enlarge existing driveway and entrance ope. (3) All ancillary site works.

Location 43 Cherrywood Villas, Clondalkin, Dublin 22.

App. Type Permission

Dear Sir/Madam,
With reference to your planning application, received on 27/07/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

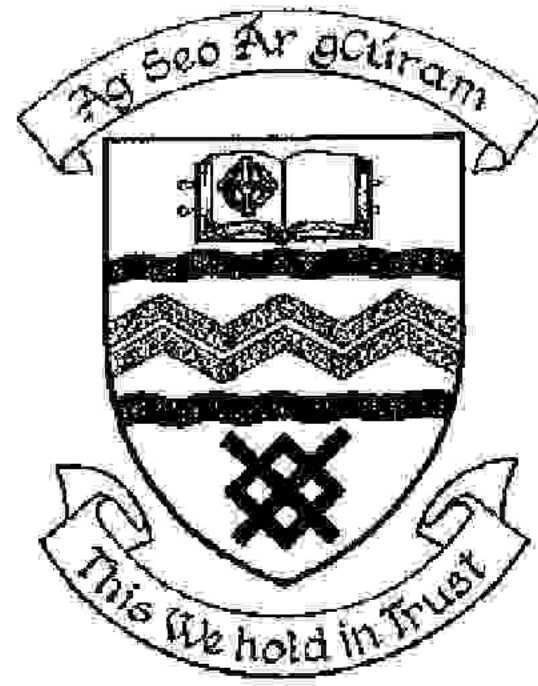
- 1 The proposed development extends approximately 3m to the rear leaving a 7m deep rear garden, this contravenes the Development Plan standard of 11m depth rear garden and is therefore unacceptable. The applicant shall submit revised designs, which allows for this 11m rear garden depth behind the rear building line.
- 2 The design of the proposed development is inconsistent with the existing development in the area. The applicant shall submit revised designs, which show an attached house with a hipped roof which does not break the existing front building line.
- 3 The description of the proposed development is inaccurate. It is noted that the existing dwelling has an existing extension to the side. It appears that it is intended to demolish this structure to construct the proposed

Colm Fitzpatrick
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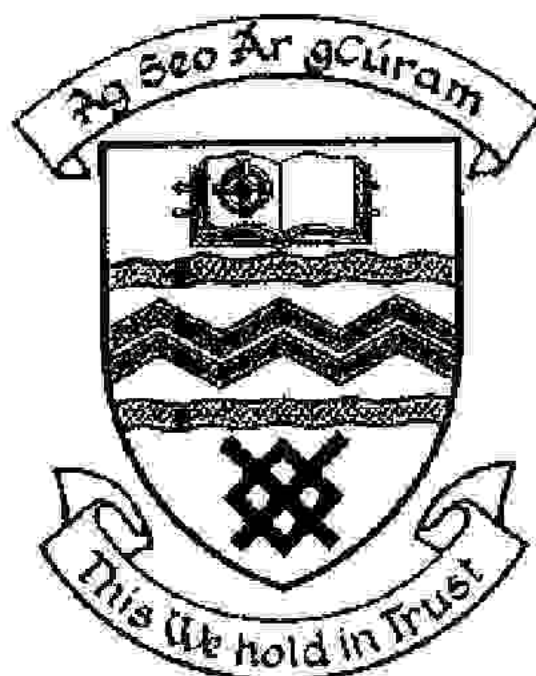
- development. The applicant shall submit revised public notices, which state the intention to demolish this extension.
- 4 The applicant shall submit details of the extension, which it is proposed to demolish. These details shall include, elevations, floor plans and a site layout plan.
 - 5 The site layout is inadequate in that the applicant has failed to show the proposed entrance for the existing and proposed development. The applicant should note that a separate entrance is required for each dwelling. The proposed site must be outlined in colour and a north point must be present on the layout. This site layout should also show the exact location of all public services adjacent to the site.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

25/09/01

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NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2620	Date of Final Grant 25/07/2002
Decision Order Number 2193	Date of Decision 13/06/2002
Register Reference S01A/0499	Date 16/04/02

Applicant Mrs Margaret Hayden

Development (1) To demolish existing single storey extension to side of existing dwelling. (2) To erect a three bedroom, two storey dwelling attached to the side of existing dwelling. (3) To enlarge driveway and entrance ope. (4) All ancillary site works.

Location 43 Cherrywood Villas, Clondalkin, Dublin 22.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

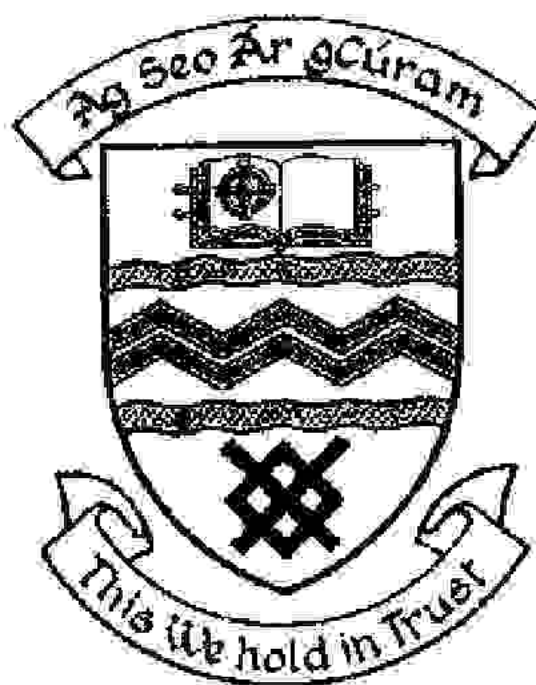
Additional Information Requested/Received 25/09/2002 /16/04/2002

A Permission has been granted for the development described above,
subject to the following (16) Conditions.

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on 16th April 2002 and unsolicited additional information received on 27th August 2001, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 4 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground.
Reason;
In the interest of amenity
- 5 That no dwellinghouse be occupied until all the services have been connected thereto and are operational.
REASON:
In the interest of the proper planning and development of the area.
- 6 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
(a) No buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
(b) Applicant to ensure full and complete separation of foul and surface water systems.
(c) Any drains that run under proposed buildings shall be protected in accordance with the Building Regulations 1997 Technical Guidance Document H (Drainage and Wastewater Disposal) ..

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- (d) The property shall have its own individual service connection to the public watermain and 24hour storage.
(e) The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

Reason:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 7 That an acceptable house numbering scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed houses.

REASON:

In the interest of the proper planning and development of the area.

- 8 Prior to commencement of development the applicant is requested to submit plans, particulars and details of proposed front garden boundary and vehicular entrance to scale of not less than 1:100 for the written approval of the Planning Authority.

These shall adhere to the following requirements:

- (a) Separate vehicular entrance with width between 2.3m - 3.0m (maximum width of 3 metres)
- (b) fixed gate piers/ pillars similar to existing gate piers
- (c) cast iron/ metal gates which open inwards
- (d) front garden boundary wall similar to existing garden boundary walls of adjacent dwelling
- (e) at least one third of each of the front garden areas shall be either grassed or landscaped.

Reason:

In the interests of proper planning and development of the area.

- 9 The footpath and kerb for both the existing and proposed dwelling shall be dished to the requirements of the Area Engineer, Road Maintenance Department, at the applicants own expense. Any such dishing shall not exceed the width of the vehicular entrance. Any alterations to manhole cover/frame to be at applicant's own expense.

Reason:

In the interest of proper planning and development of the area.

- 10 Provision of 2 off street car parking spaces for each house shall be provided for.

Reason:

In the interest of proper planning and development of the area.

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- 11 External finishes to the proposed dwelling, including roof materials and colours, shall be in keeping with the finishes of the existing building.

Reason:

In the interest of visual amenity

- 12 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 13 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 15 That a financial contribution in the sum of EUR 414 (four hundred and fourteen euro) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/

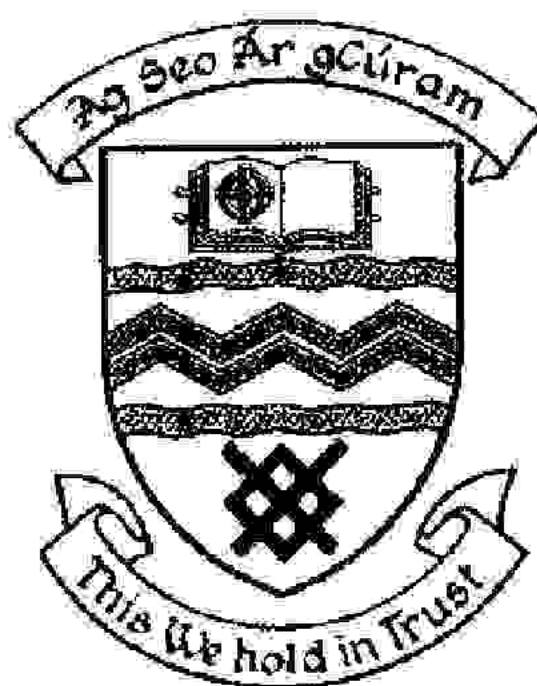
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Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of EUR 211 (two hundred and eleven euro) be paid by the proposer to South Dublin County Council towards the cost of the "9B" Catchment foul drainage improvement works which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....25/07/02
for SENIOR ADMINISTRATIVE OFFICER