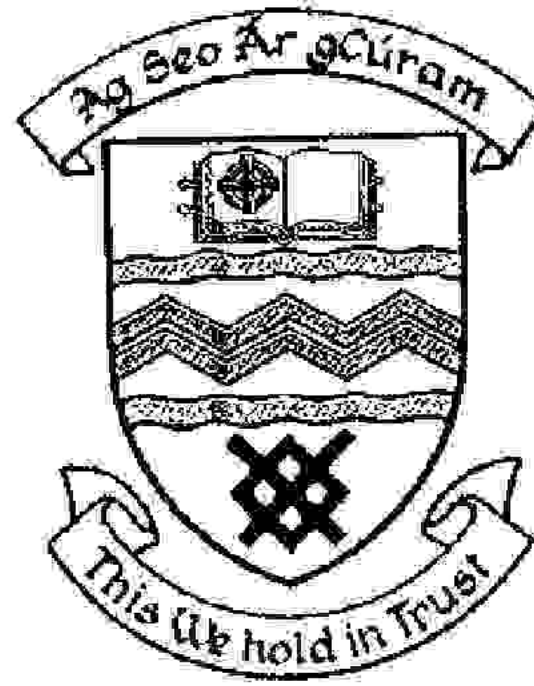


SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Tamhlacht, Baile Átha Cliath 24.

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Mrs. T. O'Connor
1 Limekiln Green,
Dublin 12.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0551	Date of Final Grant 08/03/2002
Decision Order Number 0189	Date of Decision 24/01/2002
Register Reference S01A/0502	Date 28/11/01

Applicant Mrs. T. O'Connor

Development Construction of 1 no. 2 storey domestic dwelling.

Location 1 Limekiln Green, Dublin 12.

Floor Area 118.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 27/09/2001 /28/11/2001

A Permission has been granted for the development described above,
subject to the following (12) Conditions.

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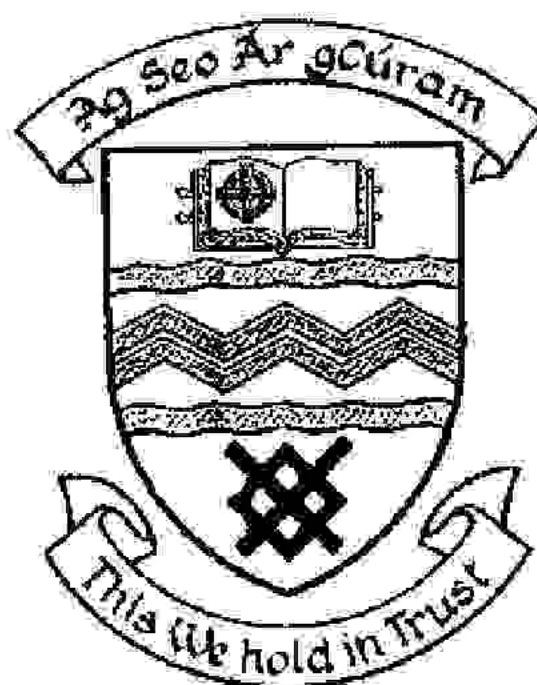
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 22/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 5 Footpath and kerb to be dished and the new driveway constructed to the satisfaction of the Area Engineer, Roads Maintenance.
REASON:
To protect the amenities of the area
- 6 The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.
REASON:
In the interest of the proper planning and development of the area.
- 7 Prior to the commencement of development, the relocation/ replacement of the tree shall occur at applicant's own expense and subject to the agreement with the Parks Department of South Dublin County Council.
REASON:
In the interest of the proper planning and development of the area.

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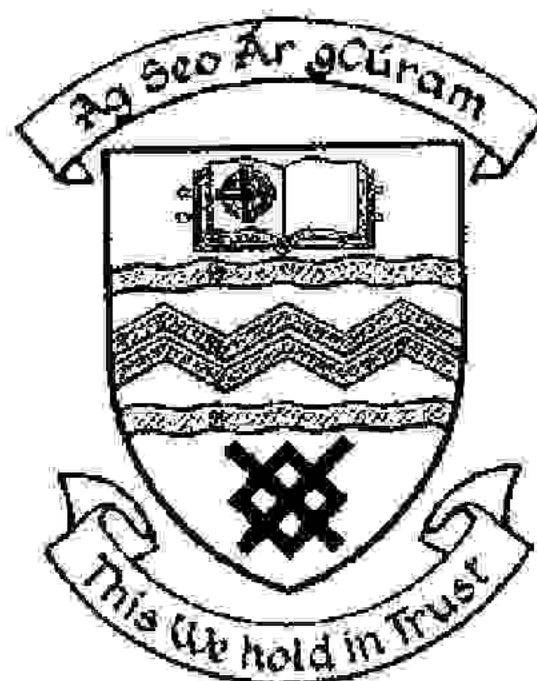
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- 8 That an acceptable house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.

REASON:

In the interest of the proper planning and development of the area.

- 9 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 10 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 11 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 12 That a financial contribution in the sum of EUR 1,451 (one thousand four hundred and fifty one euro) be paid by the

SOUTH DUBLIN COUNTY COUNCIL

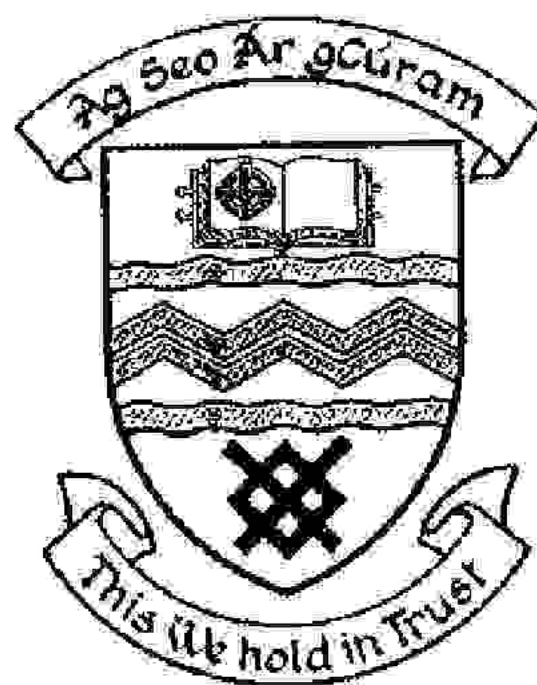
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proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....11/03/02
for SENIOR ADMINISTRATIVE OFFICER

C

SOUTH DUBLIN COUNTY COUNCIL
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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0189	Date of Decision 24/01/2002
Register Reference S01A/0502	Date: 30/07/01

Applicant Mrs. T. O'Connor

Development Construction of 1 no. 2 storey domestic dwelling.

Location 1 Limekiln Green, Dublin 12.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 27/09/2001 /28/11/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (12) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

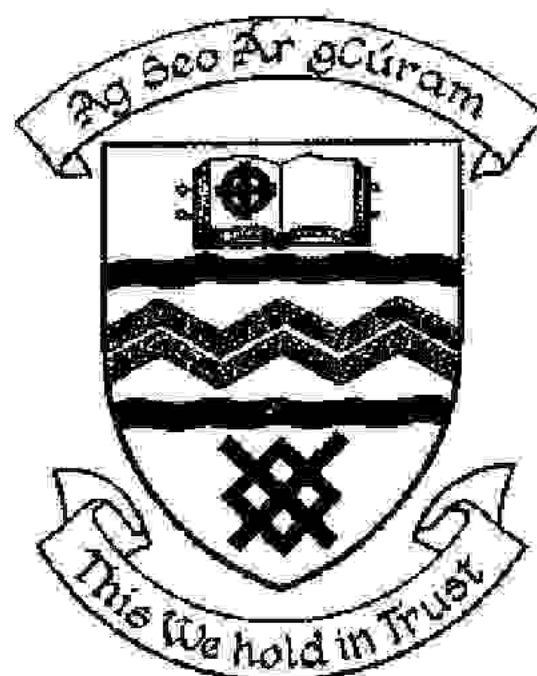
..... 24/01/02
for SENIOR ADMINISTRATIVE OFFICER

Mrs. T. O'Connor
1 Limekiln Green,
Dublin 12.

**SOUTH DUBLIN COUNTY COUNCIL
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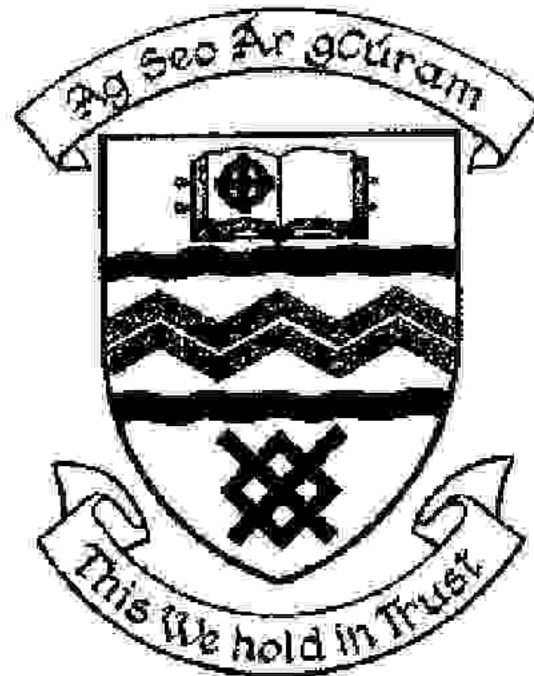
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 22/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 3 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 4 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 5 Footpath and kerb to be dished and the new driveway constructed to the satisfaction of the Area Engineer, Roads Maintenance.
REASON:
To protect the amenities of the area
- 6 The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.
REASON:
In the interest of the proper planning and development of the area.

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REG. REF. 501A/0502

- 7 Prior to the commencement of development, the relocation/ replacement of the tree shall occur at applicant's own expense and subject to the agreement with the Parks Department of South Dublin County Council.
REASON:
In the interest of the proper planning and development of the area.
- 8 That an acceptable house number be submitted and approved by the County Council before any constructional work has taken place on the proposed house.
REASON:
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- 9 That a financial contribution in the sum of EUR 952 (nine hundred and fifty two euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 10 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.
REASON:
It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.
- 11 That a financial contribution in the sum of EUR 1,270 (one thousand two hundred and seventy euro) be paid by the

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proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 12 That a financial contribution in the sum of EUR 1,451 (one thousand four hundred and fifty one euro) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

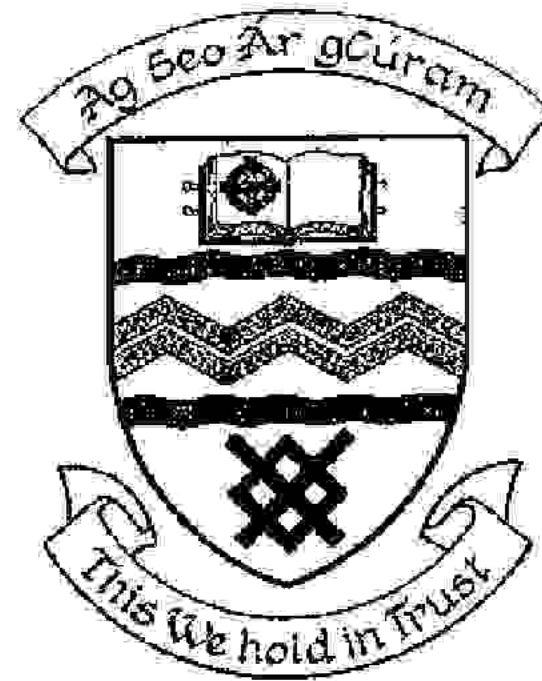
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3021	Date of Decision 27/09/2001
Register Reference S01A/0502	Date: 30/07/01

Applicant Mrs. T. O'Connor
Development Construction of 1 no. 2 storey domestic dwelling.

Location 1 Limekiln Green, Dublin 12.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 30/07/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

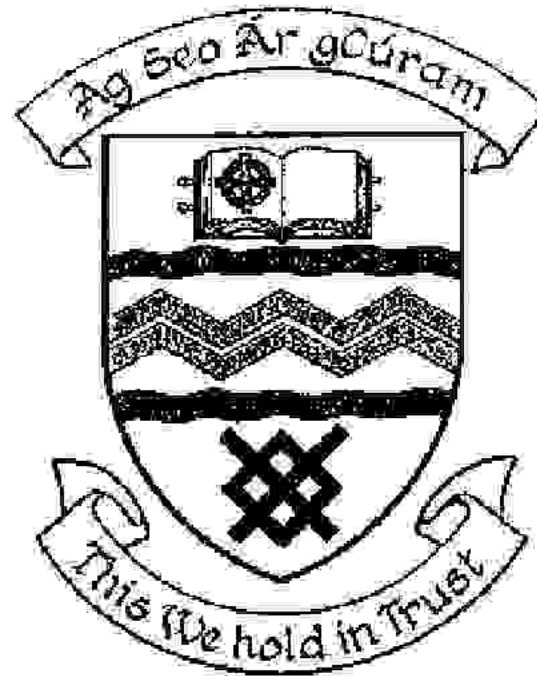
- 1 The applicant is requested to submit accurate elevation and plan drawings for the existing dwelling in accordance with Section 23 (1) (c) the Local Government (Planning and Development) Regulations 1994. The plan drawings appear to be at scale 1:200 not 1:100 as indicated on existing and proposed site layout.
- 2 The applicant is requested to submit plans particulars and details of the proposed front entrances, gates and gate piers and front garden layouts. The applicant is advised that the Planning Authority require vehicular entrances, with fixed gate piers (capped), retention of boundary wall, and wrought iron/ metal gates for each separate unit. Folding gates are not acceptable. All finishes shall be in keeping with existing boundary wall and gates shall not open outwards onto footpath. Gate piers shall be capped and a minimum of one third of the existing and proposed front gardens be either grassed or landscaped. The width of the vehicular entrance as indicated appears to be appropriate at

Mrs. T. O'Connor
1 Limekiln Green,
Dublin 12.

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REG REF. S01A/0502

this location and should be retained in any modified proposal.

- 3 The proposed development shall integrate with the style, scale and design of adjoining development and reflect the prevailing pattern of development in accordance with paragraph 3.4.13.i. (Corner / Side Garden Sites) of the South Dublin County Development Plan 1998. In this regard due to inadequate separation distance between flank walls of existing and proposed houses and between side wall of the proposed dwelling and the back of the public footpath, the applicant is requested to submit plans particulars and details of a revised proposal which meets the following requirements:
- (a) the proposed dwelling shall be attached to the adjoining dwelling to form part of terraced block
 - (b) the proposed dwelling shall be of similar width to the adjoining dwelling .
 - (c) the proposed dwelling shall have similar materials and detailing as adjoining development.
 - (d) the proposed dwelling to have a separation distance of at least 2 metres from side wall to back of public footpath.

Signed on behalf of South Dublin County Council


.....
for Senior Administrative Officer

27/09/01