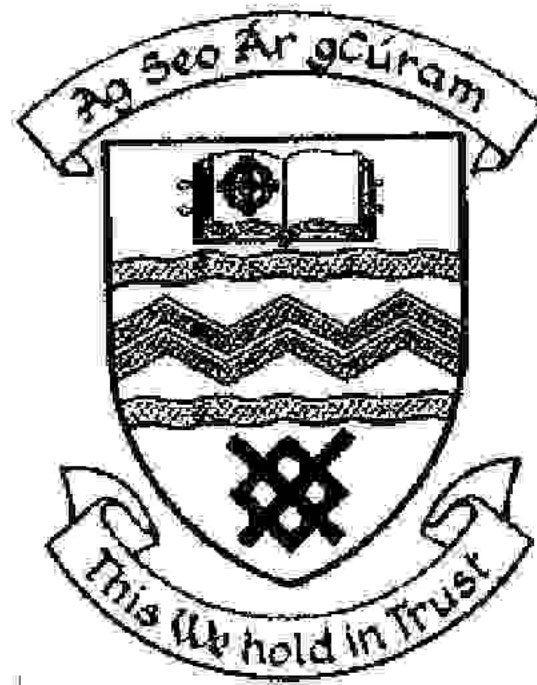


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0504	
1. Location	250 Templeogue Road, Dublin 6W.		
2. Development	Dormer bungalow and detached garage (Outline Planning Ref:S99A/0287)		
3. Date of Application	31/07/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Approval	1.  2.	1.  2.
4. Submitted by	Name: Lynch O'Toole Martin Architects Address: Dodder Park Road, Rathfarnham,		
5. Applicant	Name: Rose Snedker Address: 250 Templeogue Road, Dublin 6W.		
6. Decision	O.C.M. No. 3027  Date 28/09/2001	Effect AA GRANT APPROVAL	
7. Grant	O.C.M. No. 3357  Date 08/11/2001	Effect AA GRANT APPROVAL	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement	Compensation	Purchase Notice	
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. .... Registrar	..... Date	..... Receipt No.	

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Lynch O'Toole Martin Architects  
Dodder Park Road,  
Rathfarnham,  
Dublin 14.

**NOTIFICATION OF GRANT OF Approval**

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 3357	Date of Final Grant 08/11/2001
Decision Order Number 3027	Date of Decision 28/09/2001
Register Reference S01A/0504	Date 31/07/01

Applicant                      Rose Snedker

Development                Dormer bungalow and detached garage (Outline Planning  
Ref: S99A/0287)

Location                    250 Templeogue Road, Dublin 6W.

Floor Area                    208.57                      Sq Metres  
Time extension(s) up to and including  
Additional Information Requested/Received                      /

A Approval has been granted for the development described above,  
subject to the following (14) Conditions.

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## Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

### REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The proposed development shall adhere to the requirements of the previous outline permission Reg.Ref. S99A/0287 except where modified by these conditions. In this regard the applicant shall submit revised plans particulars and details, prior to the commencement of development which repositions the proposed development on the site in order to minimise the visual impact of the proposed development on the High Amenity area and to enable potential development on adjoining sites. The proposed development shall be set back on the site to accord with the position of proposed dwelling under outline permission Reg.Ref. S99A/0287. The proposed dwelling shall be positioned on the site so that the main rear wall ( not projecting living room element) of the proposed development shall be 41.5 metres from the existing main rear wall of no. 250 Templeogue Road.

### REASON:

In the interest of the effective control of development, the protection and improvement of the high amenity area and the proper planning and development of the area.

- 3 Vehicular access to the south western boundary shall be omitted.

### REASON:

In the interest of the proper planning and development of the area.

- 4 That the proposed house be used as a single dwelling unit.

### REASON:

To prevent unauthorised development.

- 5 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

### REASON:

To protect the amenities of the area.



# SOUTH DUBLIN COUNTY COUNCIL

REG. REF. SOLA709 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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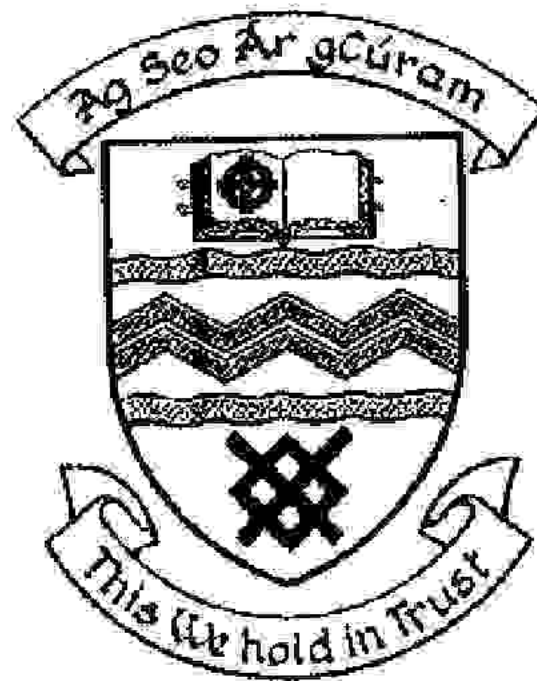
- 6 That the proposed garage be used solely for purposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.  
REASON:  
To prevent unauthorised development.
- 7 That an acceptable house numbering scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed houses.  
REASON:  
In the interest of the proper planning and development of the area.
- 8 The proposed materials and finishes shall meet the following requirements:  
a) The window frame, door frames, eaves and awnings of the proposed structure shall be constructed of wood or shall have a wooden finish.  
b) The roof shall be constructed of blue/black slate.  
c) Guttering, including down pipes, shall be constructed of metal.  
d) Stone work finish and brick surrounds shall be complementary.  
REASON:  
In the interest of the protection of residential amenity and the maintenance of visual amenity.
- 9 The applicant shall comply with the following requirements of the Environmental Services Department, South Dublin County Council:  
  
(a) No building shall be erected within 5 metres of the 850mm diameter public sewer or any sewer with the potential to be taken in charge.  
(b) Applicant to ensure full and complete separation of foul and surface water systems.  
(c) All pipes shall be laid with a minimum of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.  
(d) Soakaways are to be located at least 5m from any buildings, public sewer or structures and not in such a position that the ground below foundations is likely to be adversely effected.  
(e) Soakaways are to be located at least 10m from the nearest road boundary and not within 3m of the boundary of the adjoining site.  
(f) Soakaways must be designed in accordance with the

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requirements of BRE Digest 365 Soakaway Design and certification to that effect is required. Report on suitability of soil for soakaway to be submitted with the additional information.

(g) Soakaway area to meet the requirements of EHO.

(h) The property shall have its own individual service connection to the public watermain and 24hour storage.

(i) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

(j) If the water service connection for the property will cross through adjoining properties then a letter of consent from owner of this property shall be submitted prior to the commencement of development. Service connections over 90m in length shall be metered at the applicants expense.

#### REASON:

In the interest of public health and the proper planning and development of the area.

- 10 The applicant shall comply with the following requirements of the Parks and Landscapes Services Department, South Dublin County Council, with regard to the following.

- a) The precise line of the boundary between the site and the lands to be ceded to the County Council shall be agreed in writing with the Planning Department, in advance of any works commencing on site.
- b) Precise details in relation to the treatment of the boundary to the ceded lands are to be agreed with the Parks Department prior to the commencement of any works on the site.

#### REASON:

In the interest of amenity and the proper planning and development of the area.

- 11 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

#### REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.



# SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01A/03 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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- 12 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 13 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 14 That a financial contribution in the sum of £1,143 (one thousand one hundred and forty three pounds) EUR 1,451 (one thousand four hundred and fifty one euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

# SOUTH DUBLIN COUNTY COUNCIL

REG REF. S01A/01

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....12/11/01  
for SENIOR ADMINISTRATIVE OFFICER

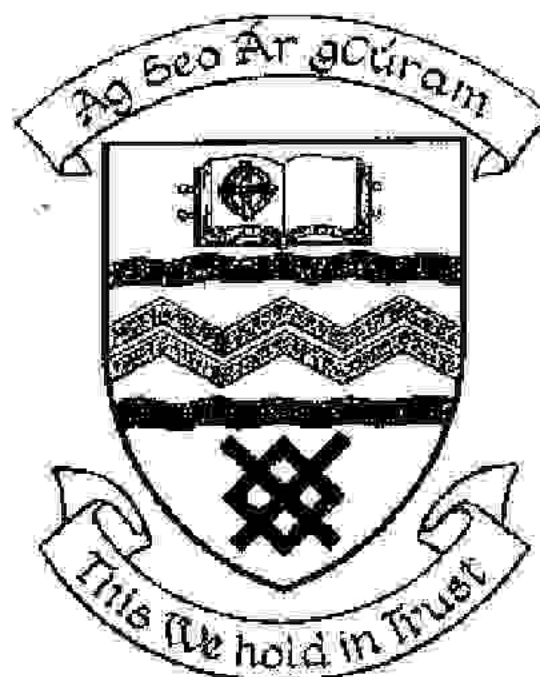


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NOTIFICATION OF DECISION TO GRANT APPROVAL  
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3027	Date of Decision 28/09/2001
Register Reference S01A/0504	Date: 31/07/01

Applicant                      Rose Shedker

Development                Dormer bungalow and detached garage (Outline Planning  
Ref: S99A/0287)

Location                    250 Templeogue Road, Dublin 6W.

Floor Area                                      Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received                      /

Clarification of Additional Information Requested/Received                      /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT APPROVAL in respect of the above proposal.

Subject to the conditions ( 14 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

..... 28/09/01  
for SENIOR ADMINISTRATIVE OFFICER

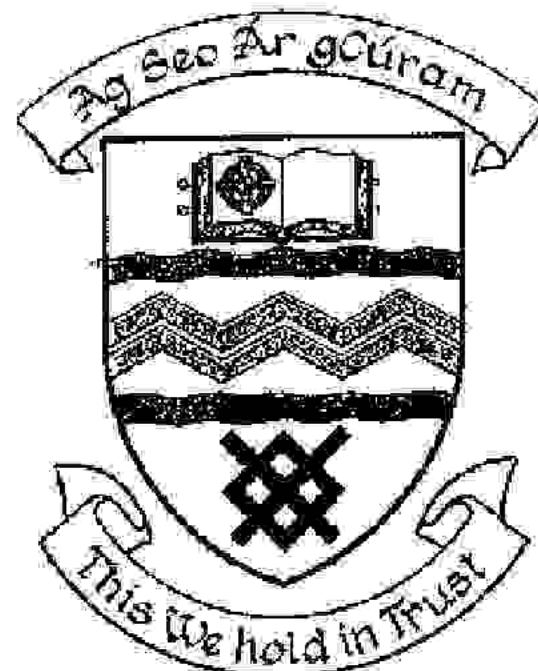
Lynch O'Toole Martin Architects  
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Rathfarnham,  
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REG REF. S01A/0504

**Conditions and Reasons**

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.

**REASON:**

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 The proposed development shall adhere to the requirements of the previous outline permission Reg.Ref. S99A/0287 except where modified by these conditions. In this regard the applicant shall submit revised plans particulars and details, prior to the commencement of development which repositions the proposed development on the site in order to minimise the visual impact of the proposed development on the High Amenity area and to enable potential development on adjoining sites. The proposed development shall be set back on the site to accord with the position of proposed dwelling under outline permission Reg.Ref. S99A/0287. The proposed dwelling shall be positioned on the site so that the main rear wall ( not projecting living room element) of the proposed development shall be 41.5 metres from the existing main rear wall of no. 250 Templeogue Road:

**REASON:**

In the interest of the effective control of development, the protection and improvement of the high amenity area and the proper planning and development of the area.

- 3 Vehicular access to the south western boundary shall be omitted.

**REASON:**

In the interest of the proper planning and development of the area.

- 4 That the proposed house be used as a single dwelling unit.

**REASON:**

To prevent unauthorised development.

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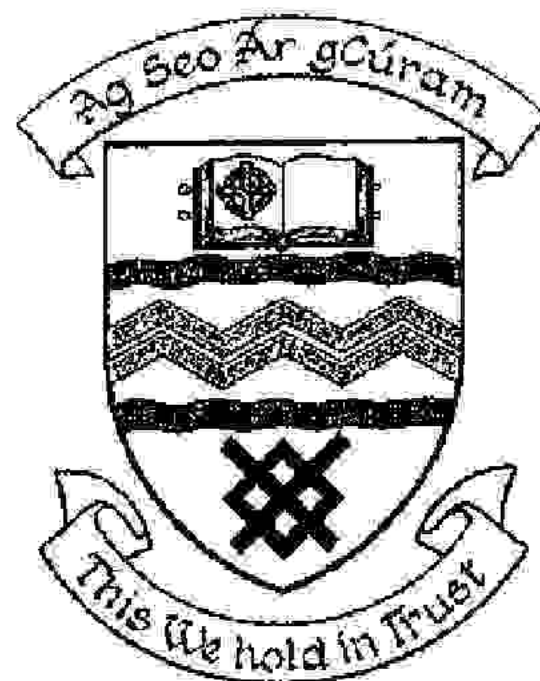
- 5 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 6 That the proposed garage be used solely for purposes incidental to the enjoyment of the dwelling house as such and shall not be used for the carrying on of any trade or business.  
REASON:  
To prevent unauthorised development.
- 7 That an acceptable house numbering scheme be submitted to and approved by the South Dublin County Council before any constructional work takes place on the proposed houses.  
REASON:  
In the interest of the proper planning and development of the area.
- 8 The proposed materials and finishes shall meet the following requirements:  
a) The window frame, door frames, eaves and awnings of the proposed structure shall be constructed of wood or shall have a wooden finish.  
b) The roof shall be constructed of blue/black slate.  
c) Guttering, including down pipes, shall be constructed of metal.  
d) Stone work finish and brick surrounds shall be complementary.  
REASON:  
In the interest of the protection of residential amenity and the maintenance of visual amenity.
- 9 The applicant shall comply with the following requirements of the Environmental Services Department, South Dublin County Council:  
  
(a) No building shall be erected within 5 metres of the 850mm diameter public sewer or any sewer with the potential to be taken in charge.  
(b) Applicant to ensure full and complete separation of foul



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and surface water systems.

(c) All pipes shall be laid with a minimum of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

(d) Soakaways are to be located at least 5m from any buildings, public sewer or structures and not in such a position that the ground below foundations is likely to be adversely effected.

(e) Soakaways are to be located at least 10m from the nearest road boundary and not within 3m of the boundary of the adjoining site.

(f) Soakaways must be designed in accordance with the requirements of BRE Digest 365 Soakaway Design and certification to that effect is required. Report on suitability of soil for soakaway to be submitted with the additional information.

(g) Soakaway area to meet the requirements of EHO.

(h) The property shall have its own individual service connection to the public watermain and 24hour storage.

(i) The connection to and tapping of public watermain shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

(j) If the water service connection for the property will cross through adjoining properties then a letter of consent from owner of this property shall be submitted prior to the commencement of development. Service connections over 90m in length shall be metered at the applicants expense.

REASON:

In the interest of public health and the proper planning and development of the area.

10 The applicant shall comply with the following requirements of the Parks and Landscapes Services Department, South Dublin County Council, with regard to the following.

- a) The precise line of the boundary between the site and the lands to be ceded to the County Council shall be agreed in writing with the Planning Department, in advance of any works commencing on site.
- b) Precise details in relation to the treatment of the boundary to the ceded lands are to be agreed with the Parks Department prior to the commencement of

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any works on the site.

**REASON:**

In the interest of amenity and the proper planning and development of the area.

- 11 That a financial contribution in the sum of £750 (seven hundred and fifty pounds) EUR 952 (nine hundred and fifty two euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 That a financial contribution in the sum of £2,100 (two thousand one hundred pounds) EUR 2,666 (two thousand six hundred and sixty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 13 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

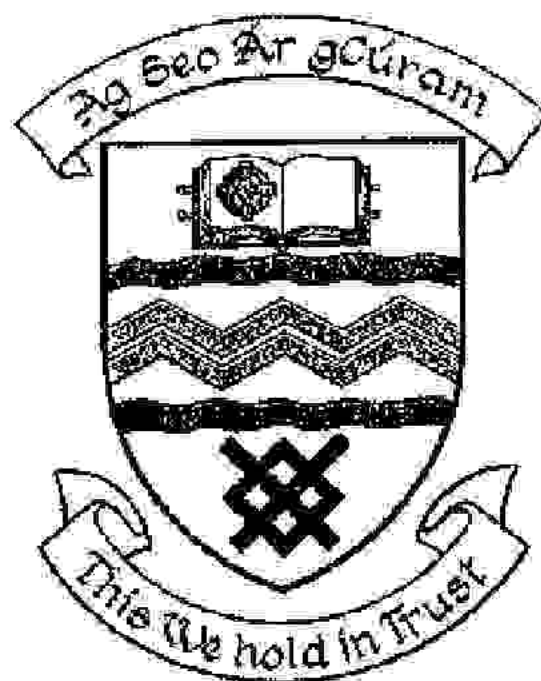
It is considered reasonable that the developer should



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contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

- 14 That a financial contribution in the sum of £1,143 (one thousand one hundred and forty three pounds) EUR 1,451 (one thousand four hundred and fifty one euros) be paid by the proposer to South Dublin County Council towards the cost of the Dodder Valley Catchment Drainage Improvement Works which serves this development.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.