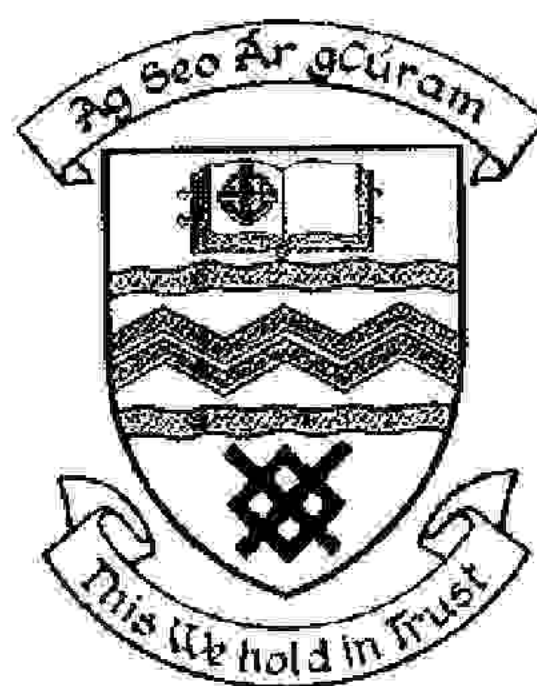


SOUTH DUBLIN COUNTY COUNCIL
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David Pym & Associates
Ellenborough House,
Dublin Road,
Nass,
Co. Kildare.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0538	Date of Final Grant 07/03/2002
Decision Order Number 0188	Date of Decision 24/01/2002
Register Reference S01A/0515	Date 26/11/01

Applicant (1) Florence Shepard & (2) Ivan Johnston

Development 12 stables, haybarn, staff facilities, staff flat, single storey house, waste water treatment unit, alterations to front boundary and gateway and all ancillary works.

Location Calliaghstown, Rathcoole, Co. Dublin.

Floor Area 232.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 04/10/2001 /26/11/2001

A Permission has been granted for the development described above,
subject to the following (16) Conditions.

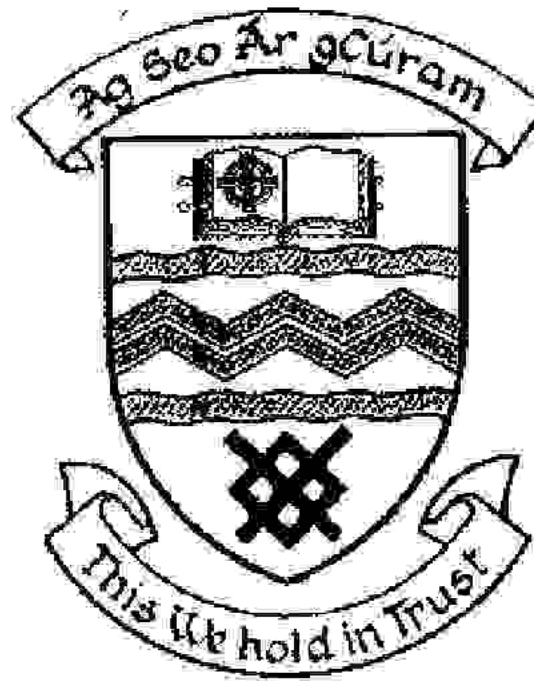
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REG REF. S01A/0001

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 26/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The proposed dwelling when completed shall be first occupied for a period of at least one year as a place of permanent residence by the applicant and/or members of the applicants' immediate family.
REASON:
To secure in the interests of orderly development that the proposed house is used to meet the applicants' stated housing needs and to ensure that development in this rural area is appropriately restricted in the interest of proper planning and development and visual amenity.
- 3 The stables shall be constructed in their entirety prior to the first occupation of the dwelling house.
REASON:
In the interest of the proper planning and development of the area.
- 4 The apartment shall not be sold or let separate from the dwellinghouse and the said apartment shall be occupied only by persons employed to work in the stables on site.
REASON:
In the interest of the proper planning and development of the area.
- 5
 - i) Vision splays of 90 metres from a 3 metre setback shall be provided at the site entrance. The existing roadside hedge /ditch shall be removed only to a sufficient extent to provide these vision splays, but otherwise shall be retained. The new boundary shall be setback along the line of the vision splays.
 - ii) The site boundaries and the setback roadside boundary shall be planted with a continuous line of traditional Irish rural hedgerow species interspersed with broad-leaved deciduous trees. The planting shall be carried out and completed within the first planting season following first

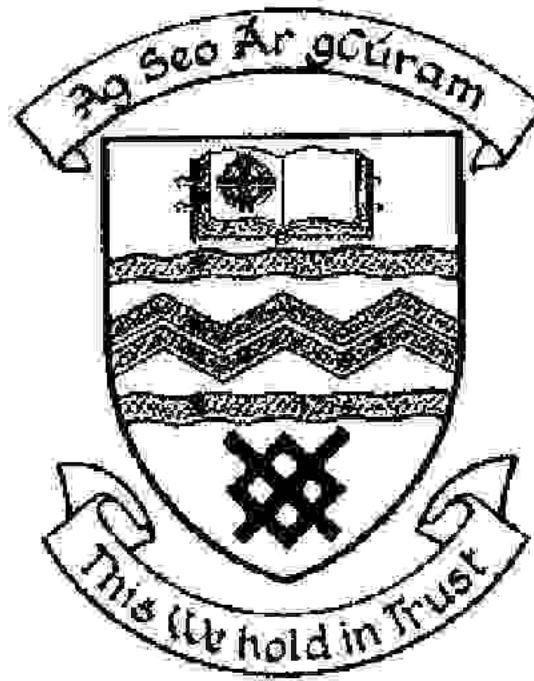
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REG. REF. S018/0914

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occupation of the dwelling. This boundary treatment may be in addition to or instead of the proposed stone wall. Elevational drawings of the latter shall be submitted to and agreed by the Planning Authority prior to the commencement of development. The applicant is advised that (i) railings are not acceptable in a rural area (ii) only natural stone is acceptable and (iii) the stone wall should be low in height.

- iii) Any area remaining between the new boundary and road shall be levelled and sown with grass.

REASON:

In the interest of traffic safety and rural amenity and to screen the proposed development within a reasonable period of time.

- 6
- a) The roof of the dwelling shall be tiled with slate or black colour roof tiles.
 - b) The roof of the stables shall be of profiled metal sheeting in a slate grey or black colour. It shall be ensured that this roofing material is non-reflective.
 - c) The external wall finishes for both stables and house shall be of smooth plaster / render and no brick shall be used.

REASON:

In the interest of visual amenity.

- 7
- That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 8
- The applicant shall strictly adhere to the requirements of the Environmental Health Officer. In that respect:
- i) The applicant shall enter into a maintenance contract with Envirocare for the lifetime of the waste treatment system.
 - ii) The treatment system shall be installed in accordance with Irish Agrément Certificate 97/0094.
 - iii) The applicant shall maintain a potable water supply to the dwelling.

REASON:

In the interest of public health and pollution control.

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REG REF. S014/05VH

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- 9 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.
REASON:
To protect the amenities of the area.
- 10 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.
REASON:
In the interest of amenity.
- 11 That an acceptable house name/number be submitted to and approved by the County Council before any constructional work takes place on the proposed houses.
REASON:
In the interest of the proper planning and development of the area.
- 12 That no advertising sign or structure be erected except those which are exempted development, without prior approval of the Planning Authority or An Bord Pleanála on appeal.
REASON:
In the interest of the proper planning and development of the area.
- 13 Prior to the commencement of development, the applicant shall agree the proposed Landscape plan with the Parks and Landscape Services Department of South Dublin County Council.
REASON:
In the interest of amenity.
- 14 In the event of a connection to the public sewer, a further financial contribution in the sum of EUR 2,355.50 (two thousand three hundred and fifty five euro and fifty cent) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.
REASON:
The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

SOUTH DUBLIN COUNTY COUNCIL

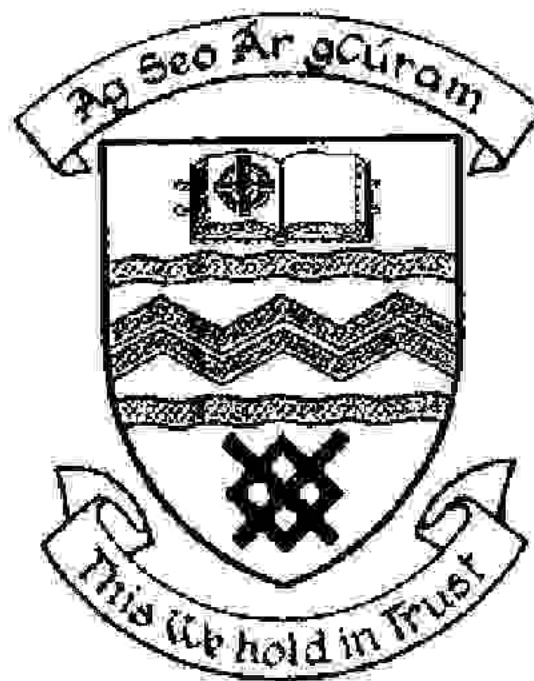
REG. REF. S0147/07/03

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- 15 In the event of a connection to the water supply, a further financial contribution in the sum of EUR 2,355.50 (two thousand three hundred and fifty five euro and fifty cent) to be paid by the proposer to South Dublin County Council towards the cost of public water supply in the area of the proposed development and which will facilitate the development.

REASON:

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 16 That a financial contribution in the sum of EUR 14,461 (fourteen thousand four hundred and sixty one euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....07/03/02
for SENIOR ADMINISTRATIVE OFFICER

C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0188	Date of Decision 24/01/2002
Register Reference S01A/0515	Date: 07/08/01

Applicant (1) Florence Shepard & (2) Ivan Johnston

Development 12 stables, haybarn, staff facilities, staff flat, single storey house, waste water treatment unit, alterations to front boundary and gateway and all ancillary works.

Location Calliaghstown, Rathcoole, Co. Dublin.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 04/10/2001 /26/11/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (16) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

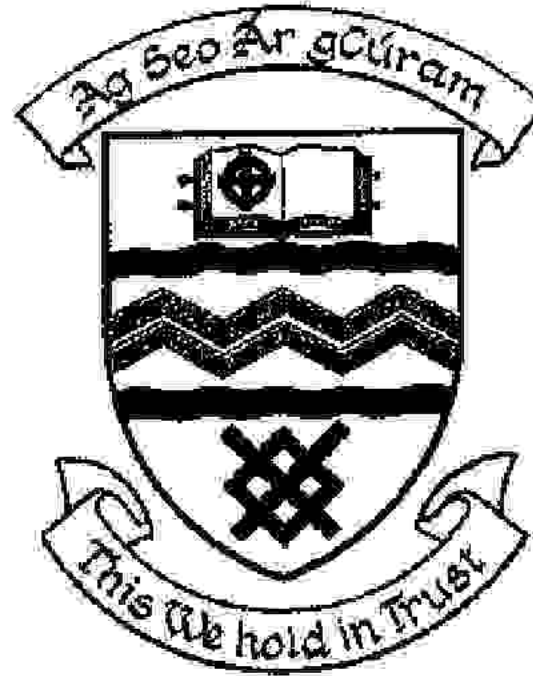
..... 24/01/02
for SENIOR ADMINISTRATIVE OFFICER

David Pym & Associates
Ellenborough House,
Dublin Road,
Nass,
Co. Kildare.

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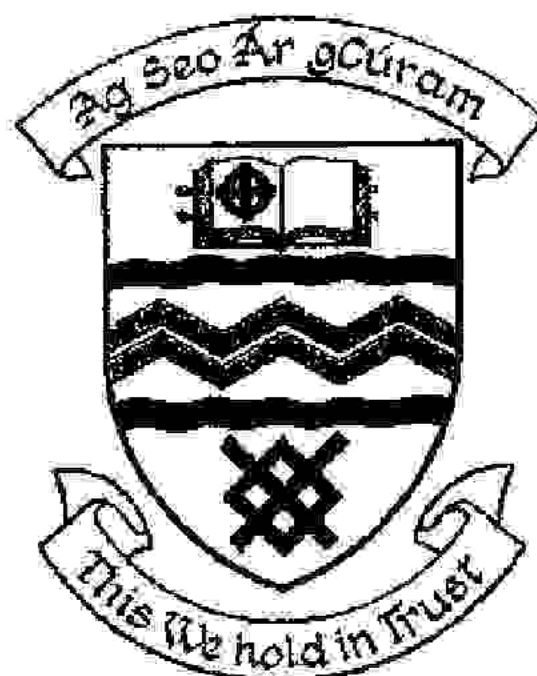
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REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 The proposed dwelling when completed shall be first occupied for a period of at least one year as a place of permanent residence by the applicant and/or members of the applicants' immediate family.
REASON:
To secure in the interests of orderly development that the proposed house is used to meet the applicants' stated housing needs and to ensure that development in this rural area is appropriately restricted in the interest of proper planning and development and visual amenity.
- 3 The stables shall be constructed in their entirety prior to the first occupation of the dwelling house.
REASON:
In the interest of the proper planning and development of the area.
- 4 The apartment shall not be sold or let separate from the dwellinghouse and the said apartment shall be occupied only by persons employed to work in the stables on site.
REASON:
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- 5
 - 1) Vision splays of 90 metres from a 3 metre setback shall be provided at the site entrance. The existing roadside hedge /ditch shall be removed only to a sufficient extent to provide these vision splays, but otherwise shall be retained. The new boundary shall be setback along the line of the

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REG. REF. S01A/0515

- vision splays.
- ii) The site boundaries and the setback roadside boundary shall be planted with a continuous line of traditional Irish rural hedgerow species interspersed with broad-leaved deciduous trees. The planting shall be carried out and completed within the first planting season following first occupation of the dwelling. This boundary treatment may be in addition to or instead of the proposed stone wall. Elevational drawings of the latter shall be submitted to and agreed by the Planning Authority prior to the commencement of development. The applicant is advised that (i) railings are not acceptable in a rural area (ii) only natural stone is acceptable and (iii) the stone wall should be low in height.
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REASON:

In the interest of traffic safety and rural amenity and to screen the proposed development within a reasonable period of time.

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- a) The roof of the dwelling shall be tiled with slate or black colour roof tiles.
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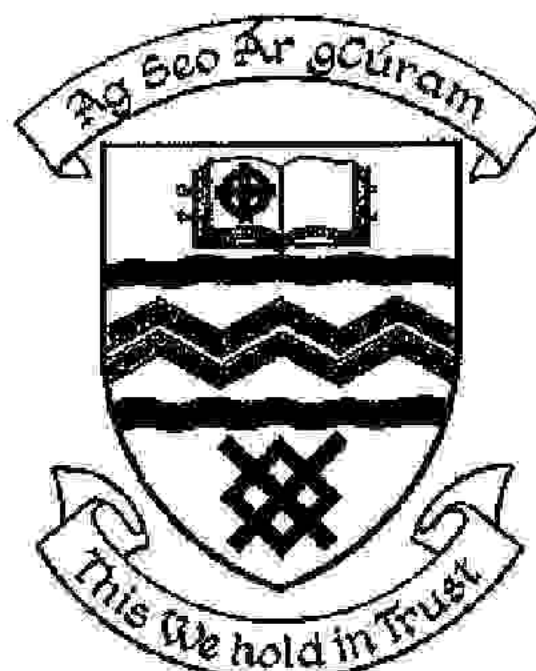
REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

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REG REF. S01A/0515

- 8 The applicant shall strictly adhere to the requirements of the Environmental Health Officer. In that respect:
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REASON:

In the interest of public health and pollution control.

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REASON:

To protect the amenities of the area.

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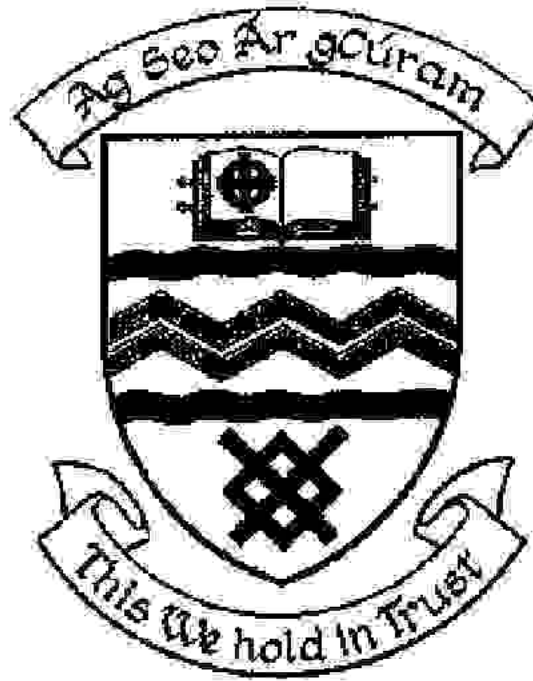
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Council.

REASON:

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