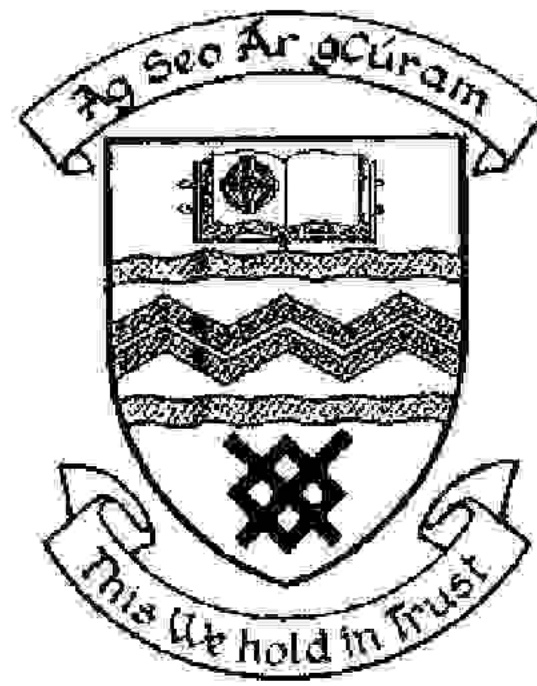


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No. S01A/0522	
1. Location	47 Whitehall Road, Terenure, Dublin 12.		
2. Development	Alterations and retention of partially completed single storey dwelling.		
3. Date of Application	09/08/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 05/10/2001 2.	1. 15/11/2001 2.
4. Submitted by	Name: Peter Ferguson Associates Architects Address: Beaumont Gardens, Blackrock,		
5. Applicant	Name: Frank Mullen Address: 47 Whitehall Road, Terenure, Dublin 12.		
6. Decision	O.C.M. No. 0080 Date 11/01/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 2312 Date 26/06/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged	08/02/2002	Written Representations	
9. Appeal Decision	10/05/2002	Appeal Withdrawn	
10. Material Contravention			
11. Enforcement Compensation Purchase Notice			
12. Revocation or Amendment			
13. E.I.S. Requested E.I.S. Received E.I.S. Appeal			
14. Registrar Date Receipt No.			

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104

**PLANNING
DEPARTMENT**
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

E-Mail: planning.dept@sdublincoco.ie

Peter Ferguson Associates Architects
Beaumont Gardens,
Blackrock,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 2312	Date of Final Grant 26/06/2002
Decision Order Number 0080	Date of Decision 11/01/2002
Register Reference S01A/0522	Date 15/11/01

Applicant Frank Mullen

Development Alterations and retention of partially completed single storey dwelling.

Location 47 Whitehall Road, Terenure, Dublin 12.

Floor Area 0.00 Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 05/10/2001 /15/11/2001

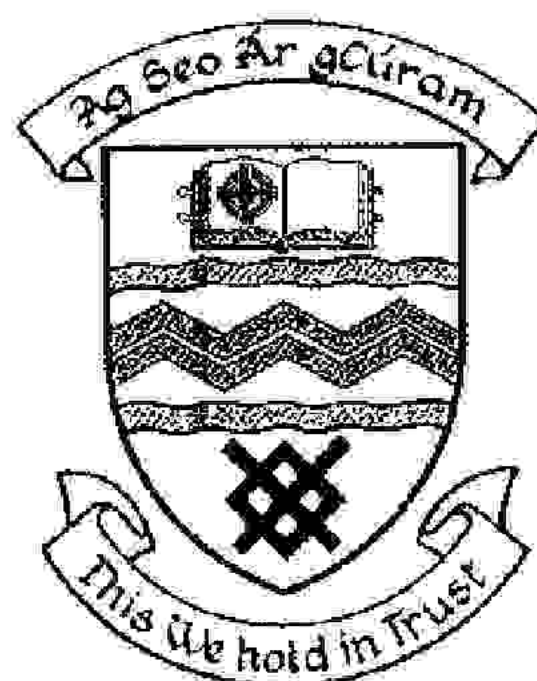
A Permission has been granted for the development described above,
subject to the following (15) Conditions.

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104



PLANNING
DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

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Conditions and Reasons

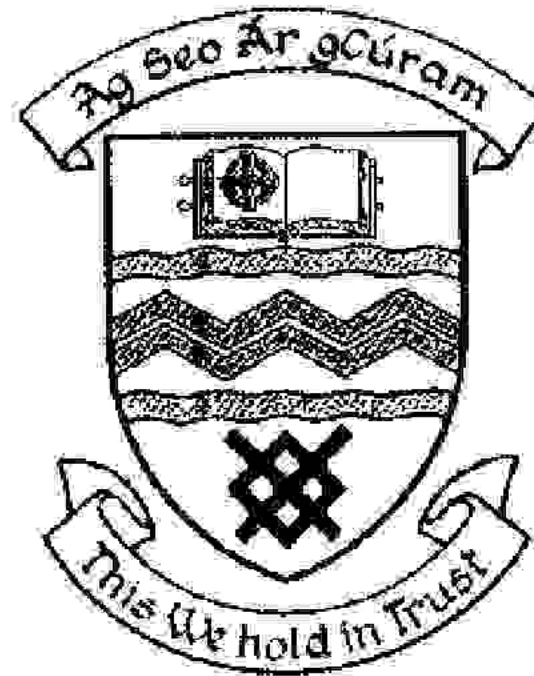
- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 15/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Any extension to the rear of the proposed dwelling as indicated within the site boundary shall not be exempted development and any future extensions to the rear of the proposed dwelling shall be the subject of a separate planning application.
REASON:
In the interest of residential amenity.
- 3 External finishes to the proposed dwelling, including roof materials and colours, shall be in keeping with the finishes on the existing building on No. 47 Whitehall Road.
REASON:
In the interest of visual amenity.
- 4 That the entire premises be used as a single dwelling unit.
REASON:
To prevent unauthorised development.
- 5 The attic space shall be used for storage purposes only and shall be lit by one velux window in the side (western) roof slope. The applicant shall submit a revised roof plan of the dwelling, indicating one velux roof window to the western roof slope, for the written agreement of the Planning Authority within one month of the final grant of planning permission.
REASON:
In the interest of the proper planning and development of the area.
- 6 The proposed structure shall be constructed precisely in accordance with the drawings submitted as Additional Information on 15/11/01.
REASON:
In the interests of the proper planning and development of the area.

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REG. REF. S01A1001 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Telefon: 01-414 9230
Facs: 01-414 9104



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DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

Telephone: 01-414 9230
Fax: 01-414 9104

E-Mail: planning.dept@sdublincoco.ie

- 7 The applicant shall submit a revised block plan to the Planning Authority within one month of the final grant of planning permission, for written agreement, clearly showing the location of the reinstated hedge and fence and omitting the concrete block wall 0.3m from the bungalow. The applicant is advised that the written consent of the adjoining property owner will be required if the applicant is to remove the boundary fence and/or hedge.

REASON:

In the interest of the proper planning and development of the area.

- 8 The applicant shall submit to the Planning Authority for written agreement within one month of the final grant of planning permission details relating to all proposed boundary treatment. Screening, to a minimum 2m high, shall be provided at the boundaries adjoining no.'s 47 and 45 Whitehall Road) and to the rear of the property.

REASON:

In the interest of protecting residential amenity.

- 9 Prior to the first occupation of the dwelling, the front and rear garden areas shall be levelled, graded and seeded and provided with sufficient top soil to allow grass and other vegetation to grow.

REASON:

In the interest of the proper planning and development of the area.

- 10 The dwelling shall not be occupied until all the services have been connected thereto and are operational.

REASON:

In the interest of the proper planning and development of the area.

- 11 Whilst providing a driveway and parking spaces, the applicant shall retain at least one third of the existing front garden area as a green surfaced/landscaped area.

REASON:

In the interest of visual amenity and the protection of residential amenity in the area.

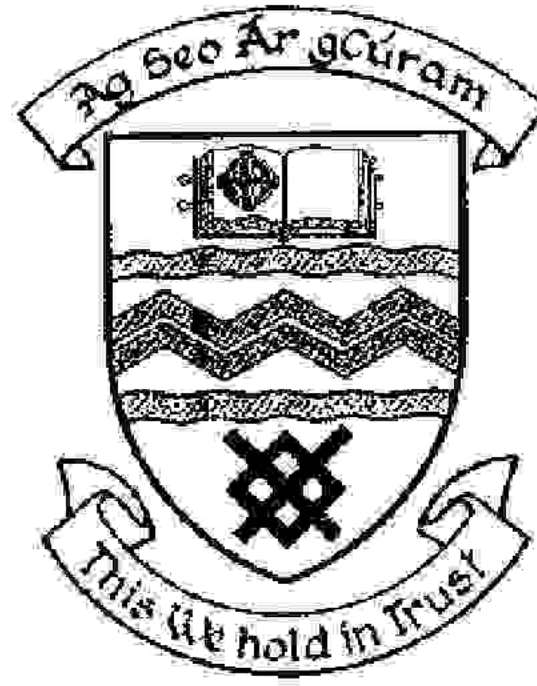
- 12 The footpath and kerb shall be dishd to the requirements of the Area Engineer, Roads Maintenance Department, at the applicant's own expense.

REASON:

In the interest of Residential Amenity.

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104

PLANNING
DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

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- 13 Two no. off-street car parking spaces shall be provided within the curtilage of the proposed dwelling.
REASON:
In the interest of the proper planning and development of the area.
- 14 An acceptable house number/name shall be submitted to and approved by the County Council.
REASON:
In the interest of the proper planning and development of the area.
- 15 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The following requirements of the Environmental Services Department shall also be satisfied:
- (i) Within one month of the date of final grant of planning permission the applicant shall submit a revised drainage layout showing complete separation of foul and surface water systems up until the point of connection to the existing combined system on Whitehall Road. As soon as separate foul and surface systems are provided on Whitehall Road the applicant will be required to provide separate connections to the respective sewers.
 - (ii) No building shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (iii) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
 - (iv) The property shall have its own individual service connection to the public watermain and 24 hour storage.
 - (v) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.
- REASON:
In the interests of public safety and in order to comply with the Sanitary Services Acts, 1878-1964.

NOTE: Applicant is advised that in the event of encroachment or oversailing of the adjoining property, the consent of the adjoining property owner is required.

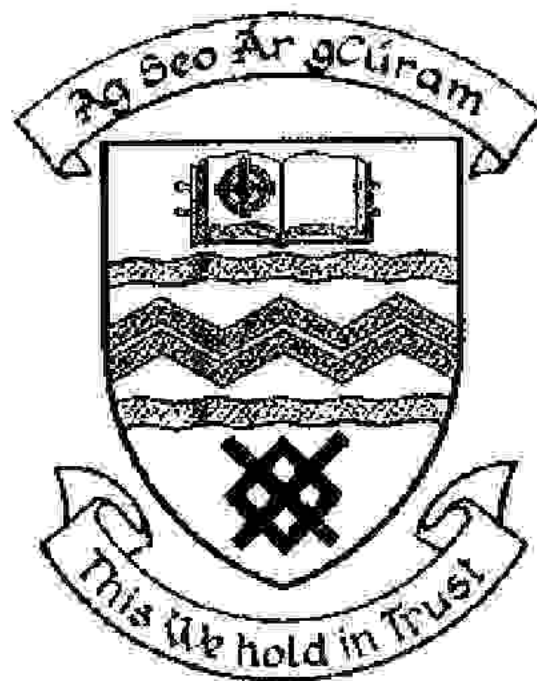
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REG. REF. S018101

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Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

Telefon: 01-414 9230
Facs: 01-414 9104



PLANNING
DEPARTMENT
County Hall, Town Centre,
Tallaght, Dublin 24.

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

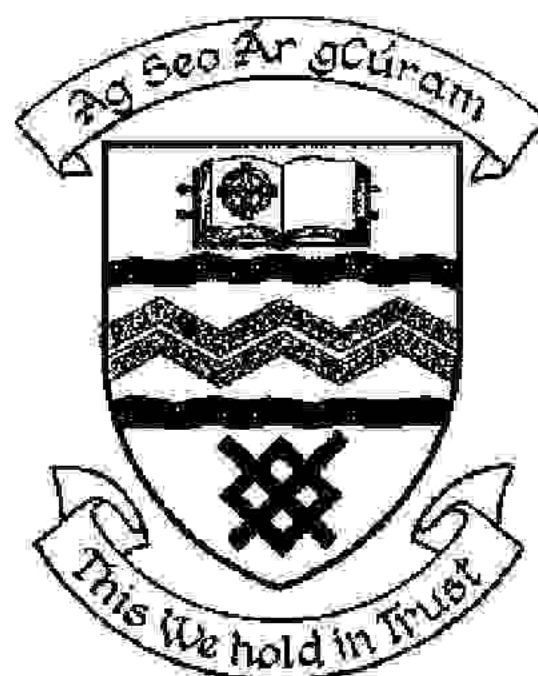
.....01/07/02
for SENIOR ADMINISTRATIVE OFFICER

C

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Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3087	Date of Decision 05/10/2001
Register Reference S01A/0522	Date: 09/08/01

Applicant Frank Mullen
Development Alterations and retention of partially completed single storey dwelling.

Location 47 Whitehall Road, Terenure, Dublin 12.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 09/08/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The applicant is requested to submit accurate scaled drawings indicating:
 - (a) the property boundary (in plan at scale 1:50);
 - (b) the accurate location of the block boundary wall (in plan at scale 1:50);
 - (c) the side wall of the proposed dwelling (in plan at scale 1:50);
 - (d) north east elevation (facing 45 Whitehall Road) indicating separate boundary wall and north east elevation of proposed dwelling (scale 1:50) .

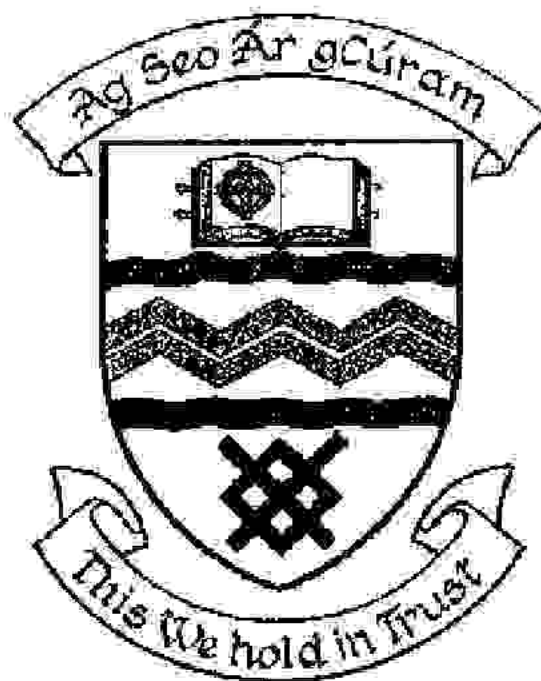
The Planning Authority consider that the use of the block boundary wall as a structural element to the side wall of the proposed dwelling (north east elevation) is not considered appropriate. A separation of a minimum of 0.3 metres should be provided for between the side wall and the block boundary wall. The boundary wall shall be a maximum of

Peter Ferguson Associates Architects
Beaumont Gardens,
Blackrock,
Co. Dublin.

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

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REG REF. S01A/0522

2.7 metres in height and shall be an independent free standing structure.

- 2 The subject site is severely restricted in terms of private open space and potential for the degradation of residential amenity. The applicant is requested to submit revised proposal which excludes stairway to attic and velux windows to first floor area. Any intensification of use of the site from the previous permission is considered to be further detrimental to residential amenity.

The applicant should note that living space at attic level shall be excluded.

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

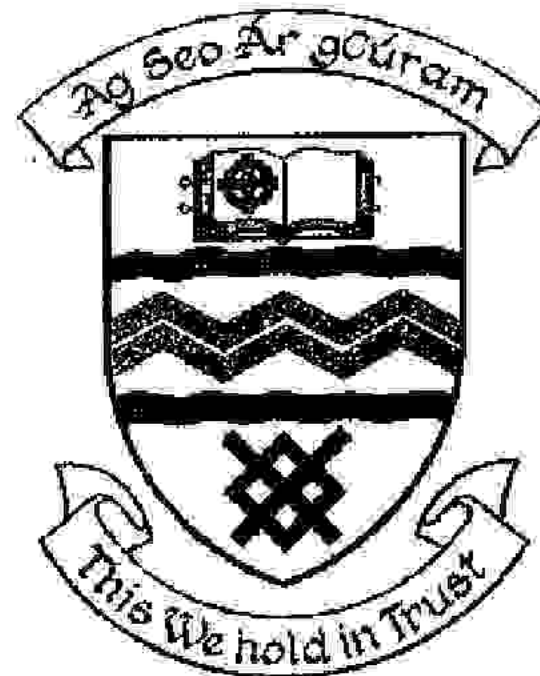
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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

Telefon: 01-414 9000
Facs: 01-414 9104



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DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
Fax: 01-414 9104

NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0080	Date of Decision 11/01/2002
Register Reference S01A/0522	Date: 09/08/01

Applicant Frank Mullen

Development Alterations and retention of partially completed single storey dwelling.

Location 47 Whitehall Road, Terenure, Dublin 12.

Floor Area Sq Metres

Time extension(s) up to and including

Additional Information Requested/Received 05/10/2001 /15/11/2001

Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions (15) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

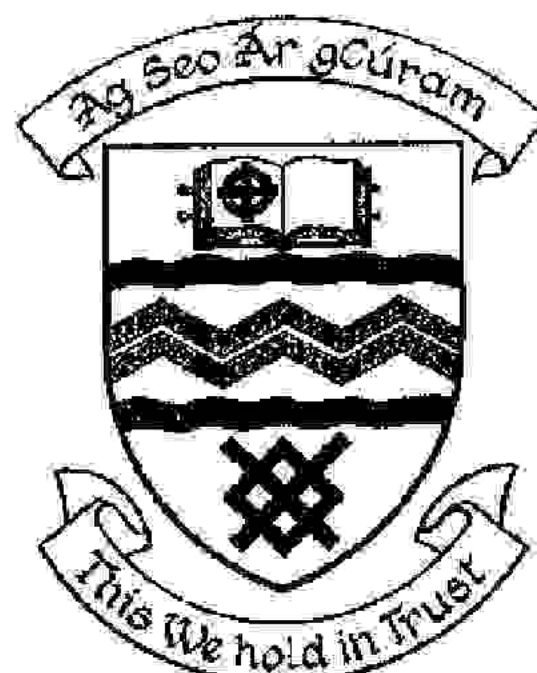
 11/01/02
for SENIOR ADMINISTRATIVE OFFICER

Peter Ferguson Associates Architects
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Blackrock,
Co. Dublin.

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Telefon: 01-414 9000
Facs: 01-414 9104



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Dublin 24.

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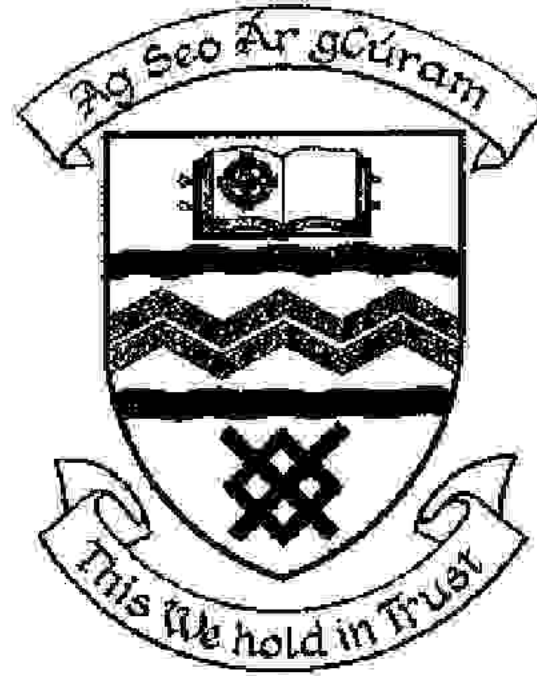
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 15/11/01, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Any extension to the rear of the proposed dwelling as indicated within the site boundary shall not be exempted development and any future extensions to the rear of the proposed dwelling shall be the subject of a separate planning application.
REASON:
In the interest of residential amenity.
- 3 External finishes to the proposed dwelling, including roof materials and colours, shall be in keeping with the finishes on the existing building on No. 47 Whitehall Road.
REASON:
In the interest of visual amenity.
- 4 That the entire premises be used as a single dwelling unit.
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- 5 The attic space shall be used for storage purposes only and shall be lit by one velux window in the side (western) roof slope. The applicant shall submit a revised roof plan of the dwelling, indicating one velux roof window to the western roof slope, for the written agreement of the Planning Authority within one month of the final grant of planning permission.
REASON:
In the interest of the proper planning and development of the area.

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Telefon: 01-414 9000
Facs: 01-414 9104



**PLANNING
DEPARTMENT**
County Hall,
Town Centre, Tallaght,
Dublin 24.

Telephone: 01-414 9000
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- 6 The proposed structure shall be constructed precisely in accordance with the drawings submitted as Additional Information on 15/11/01.

REASON:

In the interests of the proper planning and development of the area.

- 7 The applicant shall submit a revised block plan to the Planning Authority within one month of the final grant of planning permission, for written agreement, clearly showing the location of the reinstated hedge and fence and omitting the concrete block wall 0.3m from the bungalow. The applicant is advised that the written consent of the adjoining property owner will be required if the applicant is to remove the boundary fence and/or hedge.

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- 9 Prior to the first occupation of the dwelling, the front and rear garden areas shall be levelled, graded and seeded and provided with sufficient top soil to allow grass and other vegetation to grow.

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- 10 The dwelling shall not be occupied until all the services have been connected thereto and are operational.

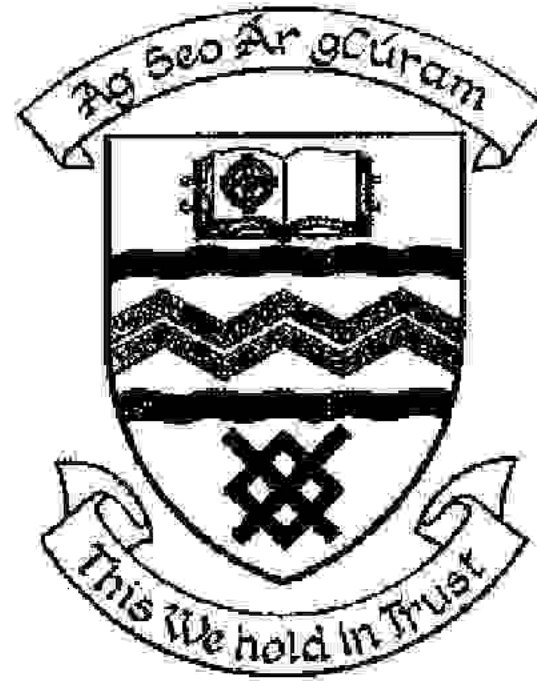
REASON:

In the interest of the proper planning and development of the area.

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Lár an Bhaile, Tamhlacht,
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Facs: 01-414 9104



**PLANNING
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- 11 Whilst providing a driveway and parking spaces, the applicant shall retain at least one third of the existing front garden area as a green surfaced/landscaped area.
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- 14 An acceptable house number/name shall be submitted to and approved by the County Council.
REASON:
In the interest of the proper planning and development of the area.
- 15 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The following requirements of the Environmental Services Department shall also be satisfied:
- (i) Within one month of the date of final grant of planning permission the applicant shall submit a revised drainage layout showing complete separation of foul and surface water systems up until the point of connection to the existing combined system on Whitehall Road. As soon as separate foul and surface systems are provided on Whitehall Road the applicant will be required to provide separate connections to the respective sewers.
 - (ii) No building shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
 - (iii) All pipes shall be laid with a minimum cover of 1.2m

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COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Lár an Bhaile, Tamhlacht,
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