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Decision Order Number 3092	Date of Decision 05/10/2001
Register Reference S01A/0524	Date: 09/08/01

Development Additions to Liffey Valley Retail Park East previously approved under S98A/0161 to provide for 9 no. illuminated advertising signage structures and 4 no. directional signs on all four elevation and an illuminated 'totem' signage structure in the car park area. Also the substitution of cladding in lieu of glazing on the northern entrance elevation.

Floor Area	Sq Metres
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Additional Information Requested/Received /

Clarification of Additional Information Requested/Received

proposal.

Subject to the conditions (8) on the attached Numbered Pages.

Signed on behalf of the South Dublin County Council.

Project Architects
The Priory,
Johns Street West,
Dublin 8.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,
Lár an Bhaile, Tamhlacht,
Baile Átha Cliath 24.

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**PLANNING
DEPARTMENT**
County Hall,
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REG REF. S01A/0524

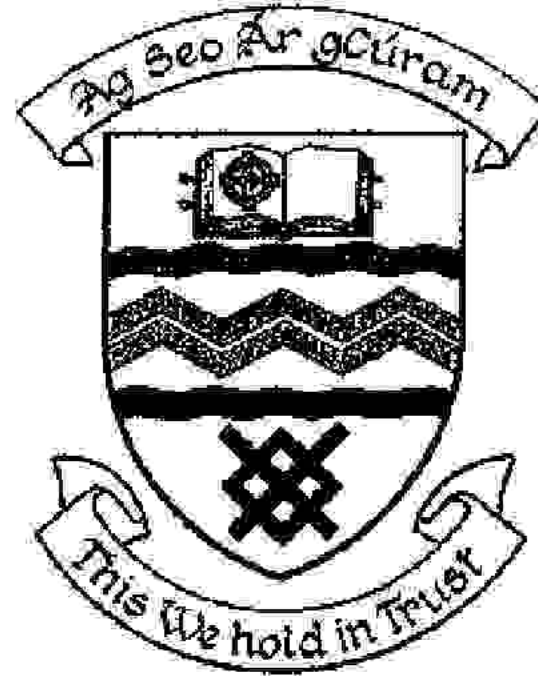
Conditions and Reasons

- 1 The development shall be in accordance with the submitted plans and Unsolicited Additional Information received on the 17/09/2001 and shall otherwise accord with the terms and conditions of planning permission granted under Reg. Ref. S98A/0161, save as amended by the other conditions attached hereto.
REASON:
In the interest of the proper planning and development of the area.
- 2 That no signage be developed on the eastern elevations.
REASON:
To avoid contributing to a sense of visual clutter in the interest of visual amenity.
- 3 That the main sign over the entrance on the north elevation shall be re-designed as follows:
 - The "B&Q" letters to be reduced to a maximum height of 2 metres.
 - The "warehouse" letters to be reduced to a maximum height of 1.2 metres.REASON:
In the interest of visual amenity.
- 4 That the signage on the western and southern elevation shall be re-designed so that the maximum height of the letters is 1 metre.
REASON:
In the interest of visual amenity.
- 5 That the proposed totem pole shall not be developed in accordance with the applicant's letter lodged with the Planning Authority dated 17/09/01.
REASON:
In the interest of clarity and the proper planning and development of the area.
- 6 No internal illumination of the signs is permitted. Full details of the proposed method of illumination to be submitted for written agreement by the Planning Authority

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before development commences.

REASON:

In the interest of visual amenity.

- 7 Before development commences, the applicant shall submit for agreement by the Planning Authority full details of the proposed materials and colouring to be used in the lettering.

REASON:

In the interest of visual amenity.

- 8 That the arrangements made with regard to the payment of financial contributions and lodgement of security in respect of the overall development, as required by Condition No's. 6, 7, 8, 9, 10, 11 and 16 of Register Reference 93A/1161 (An Bord Pleanála Order No. PL06S.093483) be strictly adhered to in respect of this development.

REASON:

It is considered reasonable that the developer should contribute towards the cost of providing services and to ensure that a ready sanction may be available to the Council to induce the provision of services and prevent disamenity in the development.