

C

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

Halla an Chontae,  
Lár an Bhaile, Tamhlacht,  
Baile Átha Cliath 24.

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**PLANNING  
DEPARTMENT**  
County Hall,  
Town Centre, Tallaght,  
Dublin 24.

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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 3526	Date of Decision 03/12/2001
Register Reference S01A/0545	Date: 17/08/01

**Applicant** Frank & Bernadette Brooks

**Development** Equestrian Centre incorporating stables for 32 horses, also an indoor arena, associated changing facilities and office/reception/classroom of circa 1608 sq. metres and one outdoor arena, visitor parking facilities and a 5 bed bungalow for the accommodation of the Equestrian Centre Manager, the installation of a biocycle sewerage treatment facility, construction of an entrance off Oldcourt Road and all associated site works on this site .

**Location** Junction of Oldcourt Road and Kilakee Road, Ballycullen, Co. Dublin.

**Floor Area** Sq Metres

**Time extension(s) up to and including** 03/12/2001

**Additional Information Requested/Received** /

**Clarification of Additional Information Requested/Received** /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

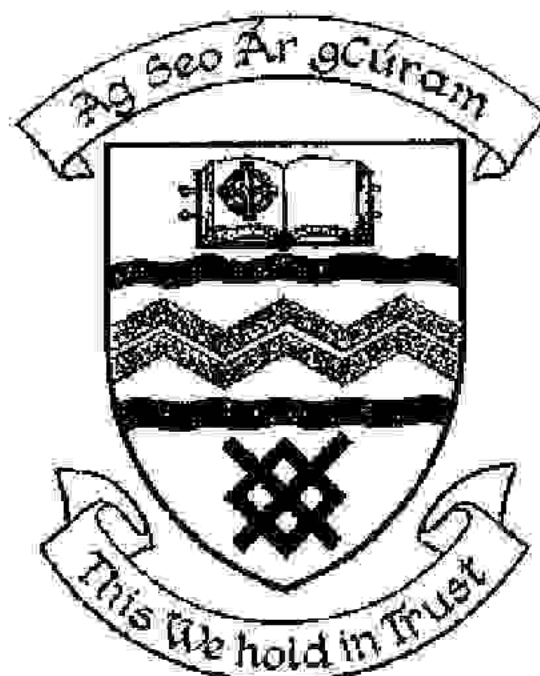
Subject to the conditions ( 16 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

Fenton Simons  
29 Fitzwilliam Place,  
Dublin 2.

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..... 03/12/01  
for SENIOR ADMINISTRATIVE OFFICER

**Conditions and Reasons**

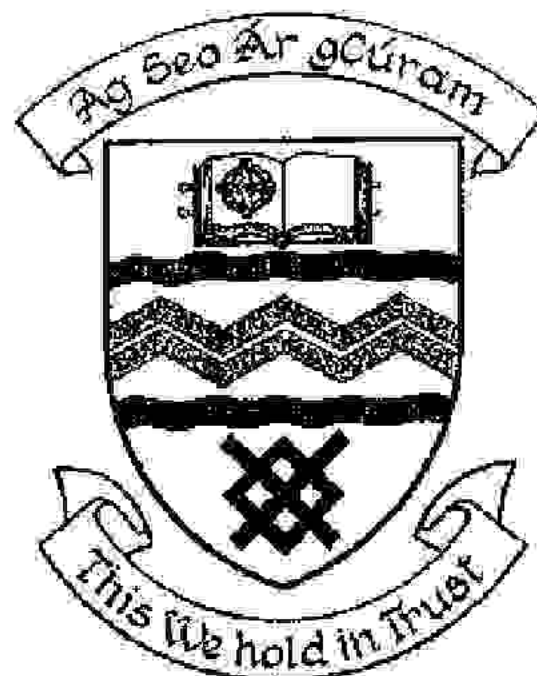
- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Unsolicited Additional Information received by the Planning Authority on 31/10/01, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 Prior to the commencement of development, the applicant shall submit for the approval of the Planning Authority a revised site layout plan indicating the following:
  - (i) Road widening plus dedicated right turn lane in vicinity of proposed access point. This Road widening shall not under any circumstances interfere with the hedgerow/row of trees on the northern side of Oldcourt Road.
  - (ii) The gradient of the access shall not exceed 2.5% over the last 6 metres of approach to the public road.
  - (iii) Vision splays of 3m x 90m on right hand side (when exiting Oldcourt Road) of Oldcourt Road/Killakee Road junction. This will involve removal of part of existing fencing/hedging on Killakee Road frontage and setting back of new front boundary along line



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required to provide visibility.

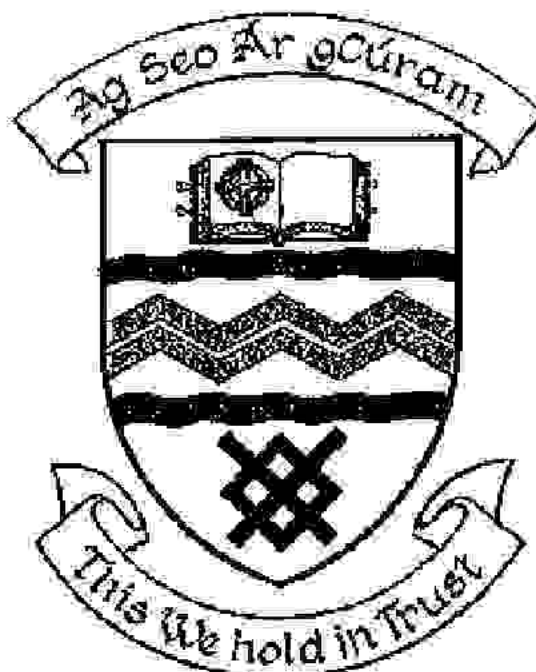
**REASON:**

In the interest of traffic safety, amenity and the proper planning and development of the area.

3 The applicant shall meet the following requirements of the Parks Department:

- (i) The proposed road widening in the vicinity of the site entrance shall be restricted to the southern side of the Oldcourt Road. The existing hedgerow situated on the northern side of the road at this location shall be retained as part of the proposed road-widening works.
- (ii) Precise details in relation to the treatment of the boundaries of the site including the boundaries in the vicinity of the proposed vehicular entrance at Oldcourt Road, shall be agreed in writing with the Planning Authority in advance of works commencing on site. Details to be provided shall include proposed fencing, replacement planting, provision of footpath along the road, etc.
- (iii) The hedgerows proposed for retention shall be protected by suitable fencing and any necessary felling/surgery works are to be carried out prior to the commencement of construction works. An official from the Parks and Landscape Services Department will inspect the protective fencing which is to be erected by the developer and kept intact for the duration of the construction works.
- (iv) Prior to the commencement of the development the applicant shall submit to the Planning Department for the approval of the Parks Department a detailed Landscape Plan (with full Works Specification) for the landscape treatment of the site. This plan shall include proposals aimed at reducing the visual impact of the buildings on the site so as to ensure the integration of the proposed development into the surrounding landscape. Emphasis should be given to the use of suitable mounding and landform and the provision of extensive screen planting along all site boundaries. In particular screen planting should be provided along the contours just above the buildings in order to

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minimise their interference with the protected view from Kilakee Road. The works shall be in accordance with South Dublin County Council's "Guidelines for Open Space Development and Taking- in-Charge", available from the Parks and Landscape Services Department.

**REASON:**

In the interest of amenity.

- 4 The applicant shall meet the following requirements in relation to materials for the proposed development:
- (i) Details of materials, including samples for the proposed stables and indoor arena shall be submitted to and approved by the Planning Authority prior to the commencement of development.
  - (ii) Particular regard shall be had to the choice of roofing materials for the latter buildings in view of the large expanse of roof proposed and the possible impact on protected views. A non-reflective material in a suitable colour shall be used and a detailed visual analysis shall be submitted to the Planning Authority demonstrating how the proposed material would be appropriate in the context of the rural environment of the site and the protected views from Kilakee Road.
  - (iii) Roofing materials for the proposed house and for the office/reception/changing rooms part of the equestrian centre shall consist of natural or artificial slate.
  - (iv) External wall finishes for the proposed house and for the office/reception/changing rooms part of the equestrian centre shall consist of pale coloured render.
  - (v) Windows for the proposed house and for the office/reception/changing rooms part of the equestrian centre shall be of timber.

**REASON:**

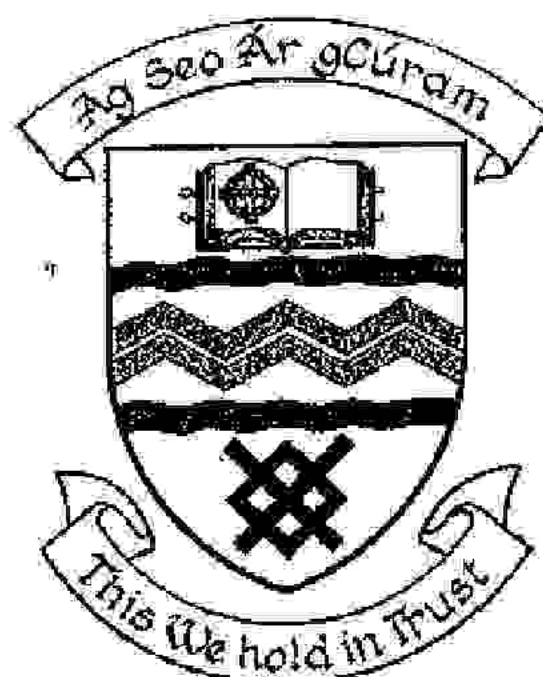
In the interest of visual amenity.

- 5 The applicant shall meet the following requirements of the Environmental Services Department:

- (i) Wastewater package treatment plant and percolation/irrigation area shall meet the requirements of BS



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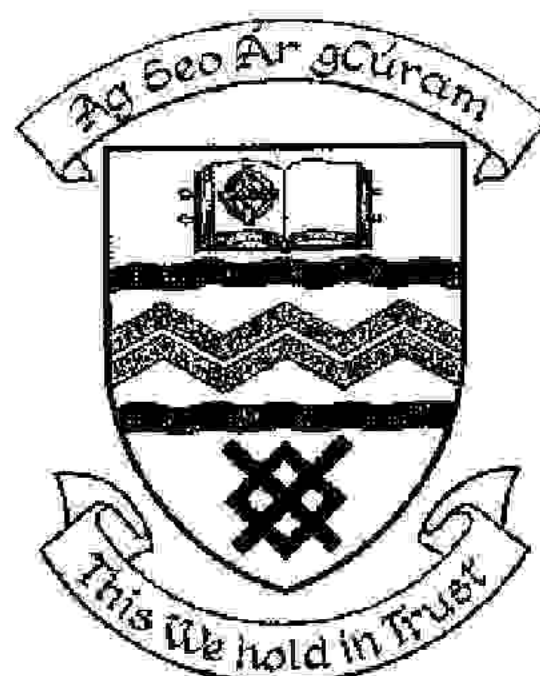
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- 6297:1983, The EPA's Manual for Treatment Systems for Small Communities, Business, Leisure Centres and Hotels, as well as the relevant manufacturers Agrément Certificate. Certification of compliance by an Engineer to the above standard or the relevant manufacturers Agrément Certificate shall be submitted to South Dublin County Council. The applicant shall enter into a maintenance contract with Biocycle for the lifetime of the system.
- (ii) Effluent Treatment System and percolation/irrigation area shall meet the requirements of Environmental Health Officer.
  - (iii) All wastewater from canteen kitchen shall be routed via an appropriate grease trap or grease removal system before being discharged to foul sewerage system.
  - (iv) No discharge of effluent shall be permitted without the applicant first obtaining from the Environmental Services Department, a licence under the Water Pollution Acts 1977-1990.
  - (v) Applicant shall ensure full and complete separation of foul and surface water systems.
  - (vi) As per the applicant's proposal the surface water discharges from the site shall be attenuated by the provision of a 200m<sup>3</sup> attenuation tank fitted with a hydrobrake flow control or similar such that the maximum surface water discharge from the site shall not exceed 3.2 l/s/ha. The system shall be maintained and cleaned regularly to keep free from siltation.
  - (vii) No surface water outfall from the site shall be constructed until written agreement has been reached between the applicant and the South Dublin County Council Drainage Area Engineer (Deansrath Depot: Telephone: 4570784) in relation to his requirements. These may include inter alia cleaning, jetting, CCTV surveying, culverting or piping sections of the streams, ditches and culverts draining the site, to ensure adequate capacity exists for the surface water run-off for the development.
  - (viii) Surface water runoff from vehicle parking/ marshalling areas shall be routed via a petrol/oil/ diesel interceptor before discharging to the sewer.

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- (ix) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.
- (x) Prior to the commencement of development the applicant shall liaise with the South Dublin County Council Water Area Engineer (Deansrath Depot: Telephone: 457 0784) to establish the exact point of connection to the existing council watermain and to establish whether a PRV (pressure reducing valve) is required. The applicant shall note that as the existing council watermain is pumped it may be subject to pressure and flow fluctuations. It is therefore essential that full 24hour water storage shall be provided.
- (xi) Prior to the commencement of development, the applicant shall ascertain and comply with the requirements of the Chief Fire Officer.
- (xii) The water supply to the centre shall be commercially metered to the satisfaction of the Water Management Section of South Dublin County Council.
- (xiii) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

**REASON:**

In the interest of public health.

- 6 Prior to the commencement of development, the applicant shall ascertain and comply with the requirements of the Eastern Regional Fisheries Board.

**REASON:**

In the interest of the protection of fisheries.

- 7 The proposal shall meet the following requirements of the Environmental Health Officer:

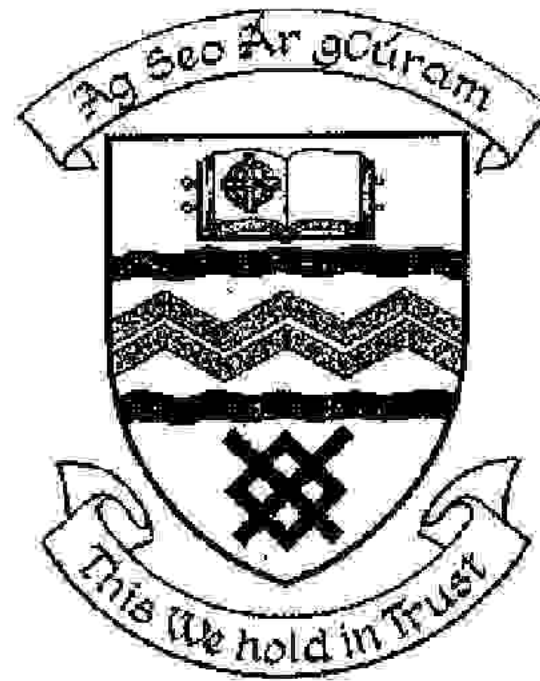
- (i) The applicant shall enter into a maintenance contract with Biocycle for the lifetime of the system.
- (ii) The treatment system shall be installed in accordance with the Irish Agreement Certificate 96/0033.



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**REASON:**

In the interest of public health

- 8 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

**REASON:**

To protect the amenities of the area.

- 9 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.

**REASON:**

In the interest of amenity.

- 10 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

**REASON:**

In the interest of the proper planning and development of the area.

- 11 That a financial contribution in the sum of £9,320 (Nine Thousand Three Hundred and Twenty Pounds) EUR 11,834 (Eleven Thousand Eight Hundred and Thirty Four Euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

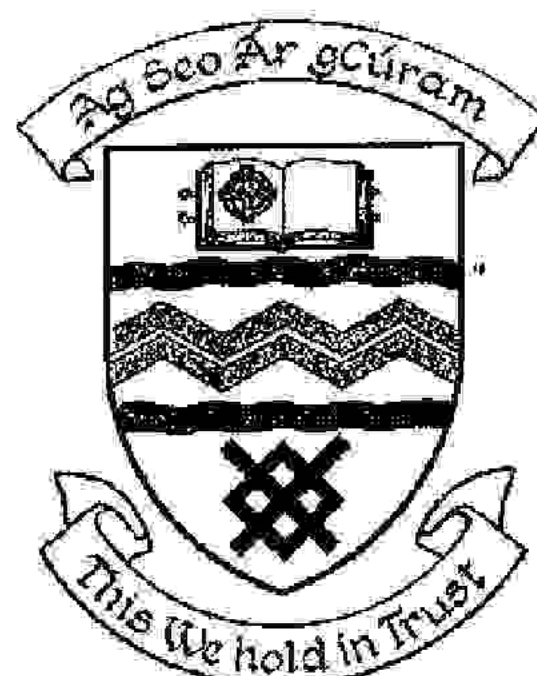
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 12 In the event of a connection to the public sewer, a further financial contribution in the sum of £9,320 (Nine Thousand Three Hundred and Twenty Pounds) EUR 11,834 (Eleven Thousand Eight Hundred and Thirty Four Euros) to be paid by the proposer to South Dublin County Council towards the cost

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of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.

**REASON:**

The provision of such service in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the service.

- 13 That a financial contribution in the sum of £48,636 (Forty Eight Thousand Six Hundred and Thirty Six Pounds) EUR 61,755 (Sixty One Thousand Seven Hundred and Fifty Five Euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 14 That a financial contribution in the sum of £1,000 (one thousand pounds) EUR 1,270 (one thousand two hundred and seventy euros) be paid by the proposer to South Dublin County Council towards the cost of the development and improvement of public open space in the area of the proposed development and which will facilitate the development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the development and improvement of amenity lands in the area which will facilitate the proposed development.

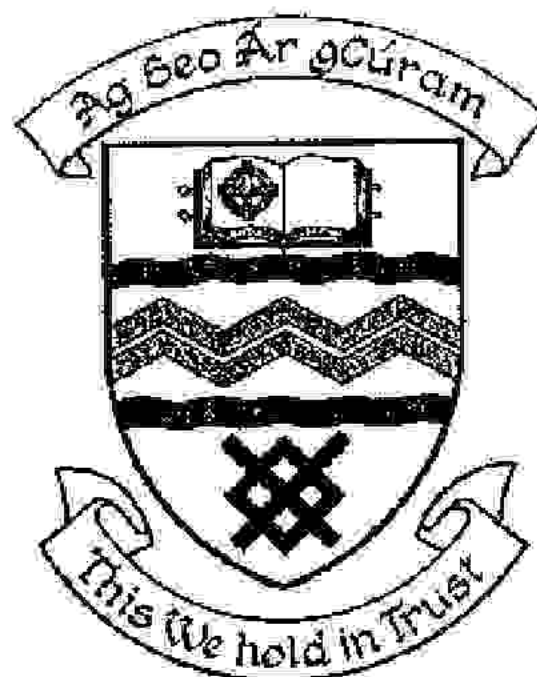
- 15 That a financial contribution of £8,975 (Eight Thousand Nine Hundred and Seventy Five Pounds) EUR 11,396 (Eleven Thousand Three Hundred and Ninety Six Euros) be paid by the applicant to South Dublin County Council towards the cost of provision



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and development of the Boherboy Water Supply Scheme in the area of the proposed development; this contribution to be paid before the commencement of development on site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on the provision of services in the area which will facilitate the proposed development.

- 16 That a Bond or Cash Lodgement of £10,000 (Ten Thousand Pounds) EUR 12,697 (Twelve Thousand Six Hundred and Ninety Seven Euros) shall be lodged with the Planning Authority before development commences to ensure the protection of trees on the site and to repair any damage caused during the construction period.

**REASON:**

In the interest of the proper planning and development of the area.