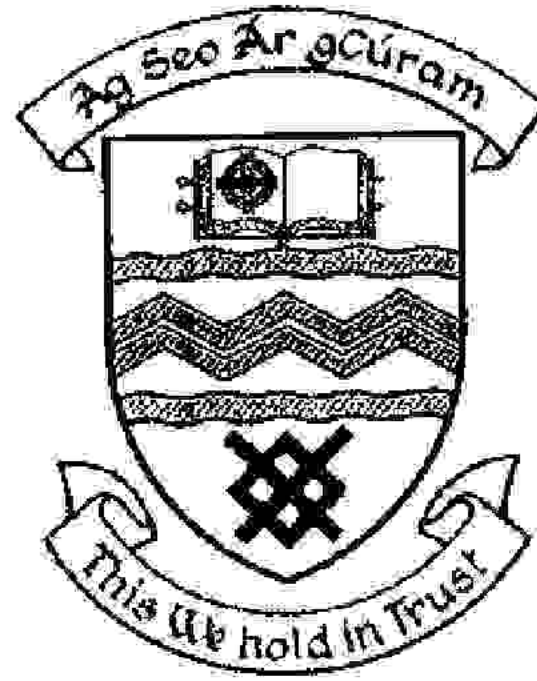


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No.  S01A/0546	
1. Location	Naas Road, Clondalkin, Dublin 22.		
2. Development	509 sq.m warehouse extension to existing premises		
3. Date of Application	17/08/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1.  2.	1.  2.
4. Submitted by	Name: CPM Architecture, Address: River House, East Wall Road,		
5. Applicant	Name: TDL Distributors Ltd., Address: Naas Road, Clondalkin, Dublin 22		
6. Decision	O.C.M. No. 3154  Date 15/10/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 3593  Date 05/12/2001	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested		E.I.S. Received	E.I.S. Appeal
14. .... Registrar	..... Date	..... Receipt No.	

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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CPM Architecture,  
River House,  
East Wall Road,  
Dublin 3.

**NOTIFICATION OF GRANT OF Permission**

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999  
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 3593	Date of Final Grant 05/12/2001
Decision Order Number 3154	Date of Decision 15/10/2001
Register Reference S01A/0546	Date 17/08/01

**Applicant** TDL Distributors Ltd.,

**Development** 509 sq.m warehouse extension to existing premises

**Location** Naas Road, Clondalkin, Dublin 22.

**Floor Area** 2197.00 Sq Metres

**Time extension(s) up to and including**

**Additional Information Requested/Received** /

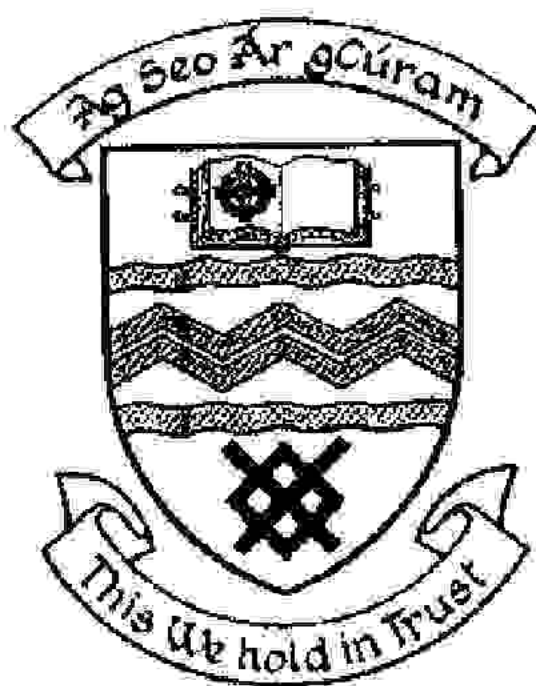
A Permission has been granted for the development described above,  
subject to the following (16) Conditions.

# SOUTH DUBLIN COUNTY COUNCIL

REG REF. S011701 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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## Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.  
REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.  
REASON:  
In the interest of amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 4 That no industrial effluent be permitted without prior approval from Planning Authority.  
REASON:  
In the interest of health.
- 5 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.  
REASON:  
In the interest of the proper planning and development of the area.
- 6 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.  
REASON:  
In the interest of the proper planning and development of the area.
- 7 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.  
REASON:



# SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S0117011 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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In the interest of the proper planning and development of the area.

- 8 That all external finishes harmonise in colour and texture with the existing premises.

REASON:

In the interest of visual amenity.

- 9 The proposed development shall be used for warehousing purposes only.

REASON:

In the interest of proper planning and development of the area.

- 10 That the developer shall facilitate the office of public works in safeguarding of any items of archaeological significance which the site may possess. In this regard the developer shall notify National Monuments Branch of the office of public works in writing in advance of commencement of works ie. four weeks before work commences to facilitate archaeological appraisal of the site during the digging of the foundations and laying of utility services on the site.

REASON:

In the interest of proper planning and development of the area.

- 11 The proposed warehouse shall be reduced in size by setting back the west gable end as shown on drawing T79-A-22/C by a minimum of 6 metres. This will reduce the parking requirement and allow for additional parking and circulation space for commercial and car traffic on site. The applicant shall submit revised layouts and elevations to show these changes for the written approval of the Planning Authority prior to the commencement of development.

REASON:

In the interest of proper planning and development of the area.

- 12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.

Prior to the commencement of development the applicant shall submit for the written approval of the Planning Authority:

(a) detailed estimates of the existing and expected daily and peak effluent discharge from the development.

(b) foul drainage plans showing the exact location of all existing and proposed drains, gullies, interceptors, manholes, AJs etc. up to the point of connection to the

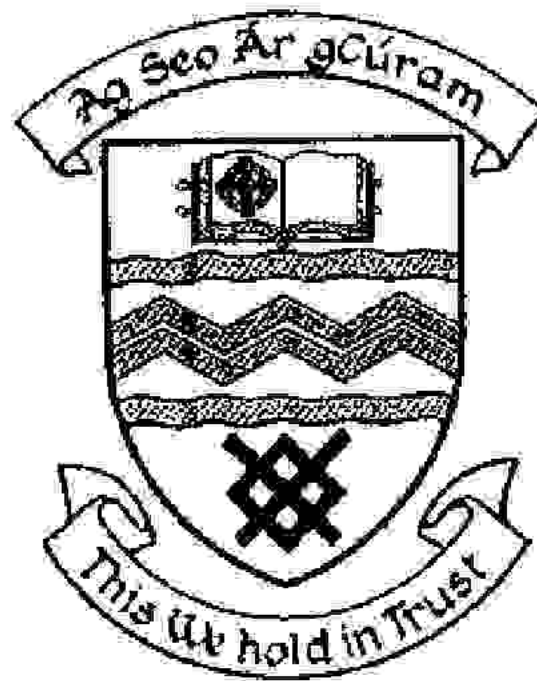
# SOUTH DUBLIN COUNTY COUNCIL

REG REF. S0147011

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sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

(c) surface water drainage plans showing the exact location of all existing and proposed drains, gullies, interceptors, manholes, AJs etc. up to the point of connection to the sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.

(d) All surface water runoff from vehicle parking/marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the surface water sewer.

(e) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick.

(f) If not already the case the water supply to the unit shall be commercially metered. Full 24hours water storage shall be provided.

(g) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

(h) No discharge of trade effluent to sewer shall be permitted

without the applicant first obtaining from the Environmental Services Department, a licence under Section 16 of the Water Pollution Acts 1977-1990.

### REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 13 That a financial contribution in the sum of €4,174 (four thousand one hundred and seventy four pounds) EUR 5,300 (five thousand three hundred euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

### REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

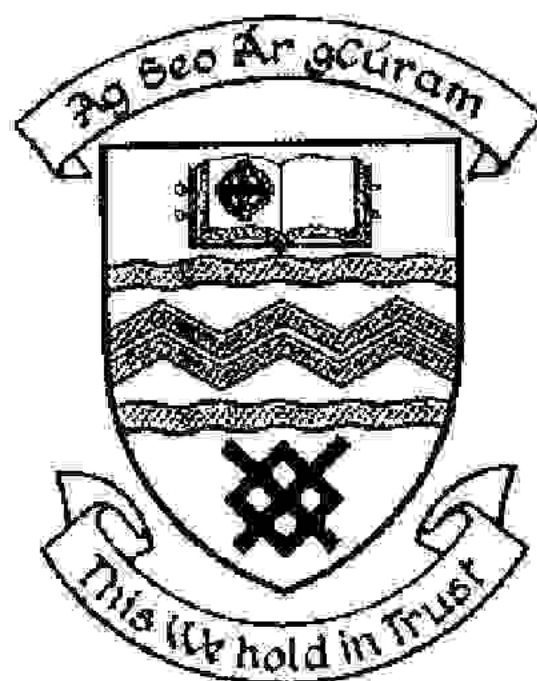


# SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S014/01/0001 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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- 14 That a financial contribution in the sum of £10,857 (ten thousand eight hundred and fifty seven pounds) EUR 13,786 (thirteen thousand seven hundred and eighty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

**REASON:**

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of £1,034 (one thousand and thirty four pounds) EUR 1,313 (one thousand three hundred and thirteen euros) be paid by the proposer to South Dublin County Council towards the cost of upgrading of Watery Lane Foul Sewer which will facilitate this development; this contribution to be paid before the commencement of development on site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of £2,844 (two thousand eight hundred and forty four pounds) EUR 3,611 (three thousand six hundred and eleven euros) be paid by the proposer to South Dublin County Council towards the cost of upgrading of Naas Road Surface Water Duplication which will facilitate this development; this contribution to be paid before the commencement of development on site.

**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.

# SOUTH DUBLIN COUNTY COUNCIL

REG REF. S017/01 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

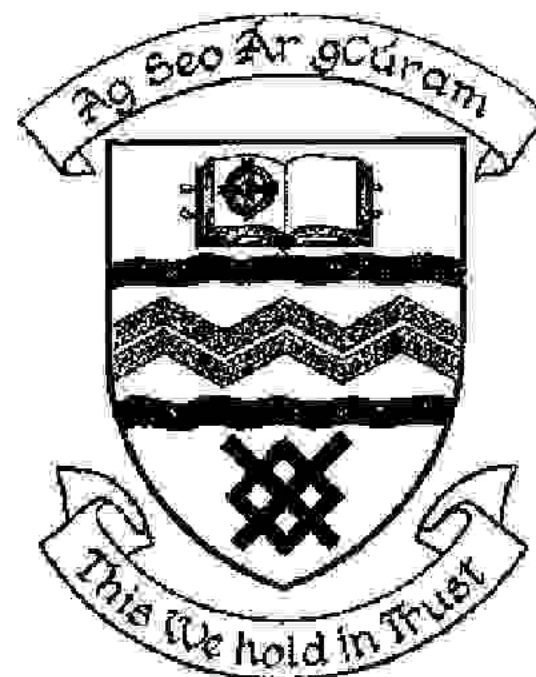
Signed on behalf of South Dublin County Council.

.....14/12/01  
for SENIOR ADMINISTRATIVE OFFICER



C

**SOUTH DUBLIN COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**



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**NOTIFICATION OF DECISION TO GRANT PERMISSION**  
**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999**  
**AND PLANNING AND DEVELOPMENT ACT 2000**

Decision Order Number 3154	Date of Decision 15/10/2001
Register Reference S01A/0546	Date: 17/08/01

Applicant TDL Distributors Ltd.,  
Development 509 sq.m warehouse extension to existing premises  
Location Naas Road, Clondalkin, Dublin 22.  
Floor Area Sq Metres  
Time extension(s) up to and including  
Additional Information Requested/Received /  
Clarification of Additional Information Requested/Received /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County Health District of Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal.

Subject to the conditions ( 16 ) on the attached Numbered Pages.  
Signed on behalf of the South Dublin County Council.

  
..... 15/10/01  
for SENIOR ADMINISTRATIVE OFFICER

CPM Architecture,  
River House,  
East Wall Road,  
Dublin 3.



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REG REF. S01A/0546

**Conditions and Reasons**

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REASON:  
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all public services to the proposed development, including electrical, telephone cables and equipment be located underground throughout the entire site.  
REASON:  
In the interest of amenity.
- 3 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.  
REASON:  
To protect the amenities of the area.
- 4 That no industrial effluent be permitted without prior approval from Planning Authority.  
REASON:  
In the interest of health.
- 5 That off-street car parking facilities and parking for trucks be provided in accordance with the Development Plan Standards.  
REASON:  
In the interest of the proper planning and development of the area.
- 6 That the area between the building and roads must not be used for truck parking or other storage or display purposes, but must be reserved for car parking and landscaping as shown on lodged plans.  
REASON:

**SOUTH DUBLIN COUNTY COUNCIL**  
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REG. REF. S01A/0546

In the interest of the proper planning and development of the area.

- 7 That no advertising sign or structure be erected except those which are exempted development, without prior approval of Planning Authority or An Bord Pleanála on appeal.

REASON:

In the interest of the proper planning and development of the area.

- 8 That all external finishes harmonise in colour and texture with the existing premises.

REASON:

In the interest of visual amenity.

- 9 The proposed development shall be used for warehousing purposes only.

REASON:

In the interest of proper planning and development of the area.

- 10 That the developer shall facilitate the office of public works in safeguarding of any items of archaeological significance which the site may possess. In this regard the developer shall notify National Monuments Branch of the office of public works in writing in advance of commencement of works ie. four weeks before work commences to facilitate archaeological appraisal of the site during the digging of the foundations and laying of utility services on the site.

REASON:

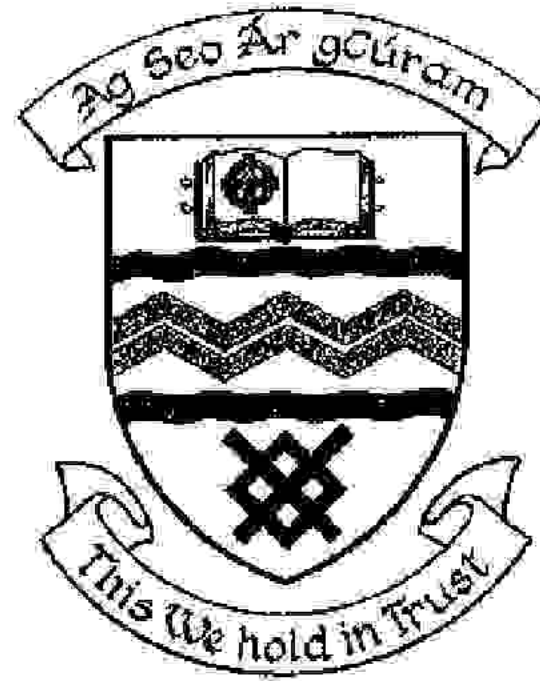
In the interest of proper planning and development of the area.

- 11 The proposed warehouse shall be reduced in size by setting back the west gable end as shown on drawing T79-A-22/C by a minimum of 6 metres. This will reduce the parking requirement and allow for additional parking and circulation space for commercial and car traffic on site. The applicant shall submit revised layouts and elevations to show these changes for the written approval of the Planning Authority prior to the commencement of development.

REASON:



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REG REF. S01A/0546

In the interest of proper planning and development of the area.

- 12 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council.
- Prior to the commencement of development the applicant shall submit for the written approval of the Planning Authority:
- (a) detailed estimates of the existing and expected daily and peak effluent discharge from the development.
  - (b) foul drainage plans showing the exact location of all existing and proposed drains, gullies, interceptors, manholes, AJs etc. up to the point of connection to the sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
  - (c) surface water drainage plans showing the exact location of all existing and proposed drains, gullies, interceptors, manholes, AJs etc. up to the point of connection to the sewer. This layout shall be in accordance with the Building Regulations and shall ensure full and complete separation of foul and surface water systems. Applicant shall note that no buildings shall be erected within 5 metres of a public sewer or any sewer with the potential to be taken in charge.
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  - (f) If not already the case the water supply to the unit shall be commercially metered. Full 24hours water storage shall be provided.
  - (g) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.
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REG. REF. S01A/0546

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REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 13 That a financial contribution in the sum of £4,174 (four thousand one hundred and seventy four pounds) EUR 5,300 (five thousand three hundred euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 14 That a financial contribution in the sum of £10,857 (ten thousand eight hundred and fifty seven pounds) EUR 13,786 (thirteen thousand seven hundred and eighty six euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

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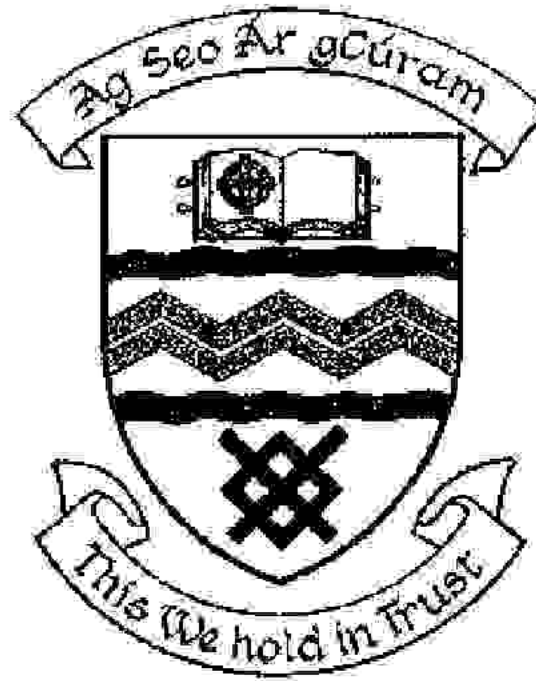
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REASON:



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**REASON:**

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.