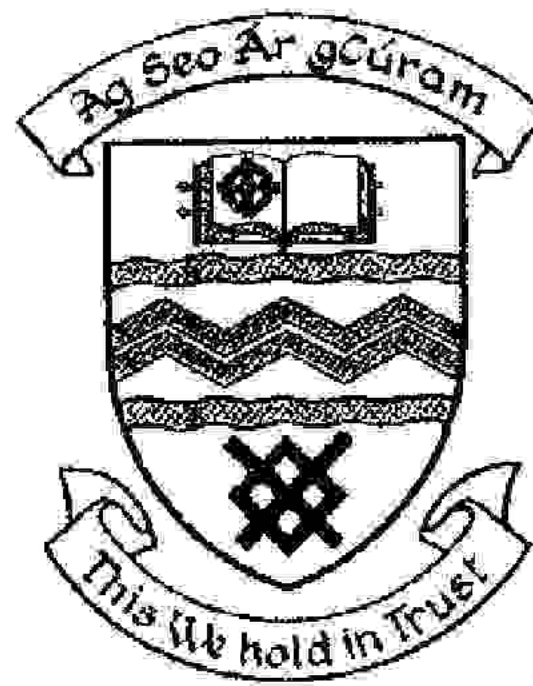


	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 & Planning Regs Thereunder Planning Register (Part 1)	Plan Register No. S01A/0548	
1. Location	Fonthill House, Old Lucan Road, Palmerstown, Dublin 20.		
2. Development	Renovation of the existing two storey coach house office building (a protected structure under the 1999 Planning and Development Act).		
3. Date of Application	20/08/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 17/10/2001 2. 05/03/20	1. 13/11/2001 2.
4. Submitted by	Name: Project Architects Address: The Priory, John St. West,		
5. Applicant	Name: Marese Ltd. Address: 35-38 St. Stephens Green, Dublin 2.		
6. Decision	O.C.M. No. 0554 Date 11/03/2002	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0877 Date 26/04/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	
14. Registrar Date Receipt No.	

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



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Project Architects
The Priory,
John St. West,
Dublin 8.

NOTIFICATION OF GRANT OF Permission

**LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000**

Final Grant Order Number 0877	Date of Final Grant 26/04/2002
Decision Order Number 0554	Date of Decision 11/03/2002
Register Reference S01A/0548	Date 13/11/01

Applicant Marese Ltd.

Development Renovation of the existing two storey coach house office building (a protected structure under the 1999 Planning and Development Act).

Location Fonthill House, Old Lucan Road, Palmerstown, Dublin 20.

Floor Area 167.50 Sq Metres

Time extension(s) up to and including 13/03/2002

Additional Information Requested/Received 17/10/2001 /13/11/2001

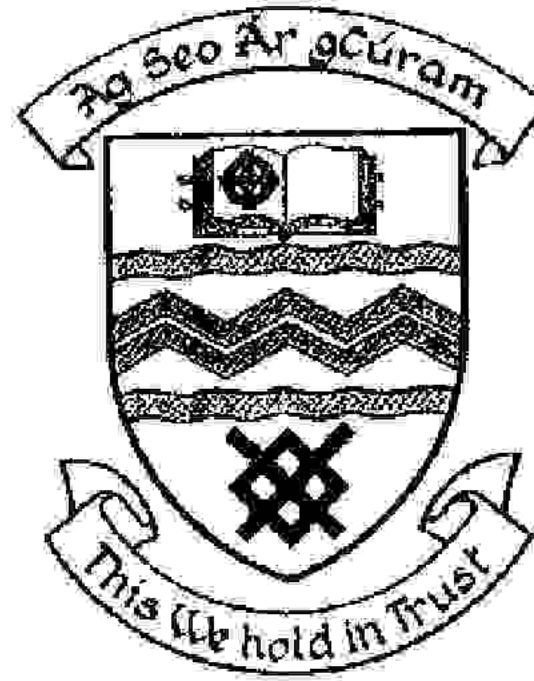
A Permission has been granted for the development described above,
subject to the following (9) Conditions.

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REG REF. S01A/01 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 13/11/01 and Unsolicited Additional Information received on 14/01/02, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The proposed development shall adhere to the following:-
 - (a) Wastewater package treatment plant and percolation/irrigation area are to meet the requirements of BS 6297:1983 and the relevant manufacturers Agrément Certificate. Certification of compliance by an Engineer to the above standard or the relevant manufacturers Agrément Certificate must be submitted to South Dublin County Council.
 - (b) Wastewater package treatment plant and percolation/irrigation area to meet the requirements of the Environmental Health Officer.
 - (c) Applicant to comply with the Waste Management Act 1996 in respect of the disposal of sludge arising from the proposed wastewater treatment plant.
 - (d) Applicant is subject to the provisions of the water pollution acts and, depending on volume and nature of discharge, may be required to apply to the Environmental Services Department for a licence under Section 4 of the Local Government (Water Pollution) Acts 1977 and 1990 to discharge sewage and/or trade effluent to waters.
 - (e) Applicant to ensure full and complete separation of foul and surface water systems.
 - (f) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick
 - (g) Prior to the commencement of development full details full details of how the "existing combined catchpit / percolation tank" is to be reconfigured to cater solely for the surface water run-off from the buildings. All existing foul residues / sledges shall be removed and satisfactorily disposed of,
 - (h) Surface water runoff from vehicle parking / marshalling

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S014011 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer No buildings shall be more than 46m from the nearest hydrant.

(i) The water supply to the development shall be commercially metered.

(j) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

(k) The property shall have its own connection to the public watermain and full 24hour water storage.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 3 The proposed development shall adhere to the requirements of the Conservation Officer, South Dublin County Council with regard to the following:

(a) It is considered that re-pointing on the south and east elevations should only be carried out where necessary and by using a specialist contractor. The existing mortar should be analysed in order to provide an exact match. The applicant is requested to submit details of the analysis to the Conservation Officer prior to the commencement of development.

(b) The applicant is requested to submit details on how the applicant intends to repair the stonework to the rear of the coach house (north elevation). Details should also include how the 20th century cementitious render will be removed from the west elevation. A detailed response should be submitted prior to the commencement of development.

(c) It is considered that the replacement lintel over the external door GD01 shall be of timber as this would be in keeping with the original. Also the existing width and height of this opening shall be retained as is. Window nos. GW01, GW04 and GW05 are to be replaced with timber sliding sash windows to match the existing, it is considered that these no.3 windows should be of treated softwood and should match the profile of the existing sliding sash windows. The paint colour for all of the proposed windows must match the existing.

(d) The existing rainwater goods are to be repaired and replaced where necessary, these should be of cast-iron and should match the profile of the existing. The chimney stacks are to be re-pointed with a lime based mortar where necessary and the original chimney pots are to be retained, all flashing at the base of the chimneys are to be checked and repaired if necessary..

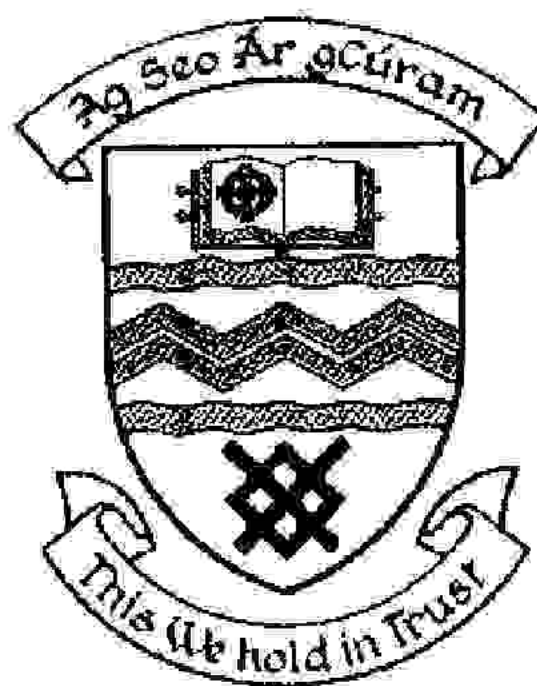
(e) The original ornate fireplace located in office 2 ground floor and office 4 first floor should be retained in-situ.

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REG REF. S014004 COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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REASON:

In the interest of the proper planning and development of the area and in the interest of the protection of a Protected Structure.

- 4 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

REASON:

In the interest of the proper planning and development of the area.

- 5 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 6 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

- 7 That off-street car parking facilities be provided in accordance with the Development Plan Standards.

REASON:

In the interest of the proper planning and development of the area.

- 8 That details of landscaping and boundary treatment be submitted to and approved by the Planning Authority and work thereon completed prior to occupation of offices.

REASON:

In the interest of amenity.

- 9 This permission is for the restoration of the existing two storey coach house (Protected Structure under the 1999 Planning and Development Act attached to Fonthill House). It does not relate to a change of use.

REASON:

In the interest of the effective control of development.

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S011701 CONHAIRLE CHONTAE ÁTHA CLIATH THEAS

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- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

.....26/04/02
for SENIOR ADMINISTRATIVE OFFICER

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0580	Date of Decision 12/03/2002
Register Reference S01A/0548	Date 20/08/01

Applicant Marese Ltd.
App. Type Permission
Development Renovation of the existing two storey coach house office
 building (a protected structure under the 1999 Planning and
 Development Act).

Location Fonthill House, Old Lucan Road, Palmerstown, Dublin 20.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 13/03/2002

Yours faithfully

 13/03/02
for SENIOR ADMINISTRATIVE OFFICER

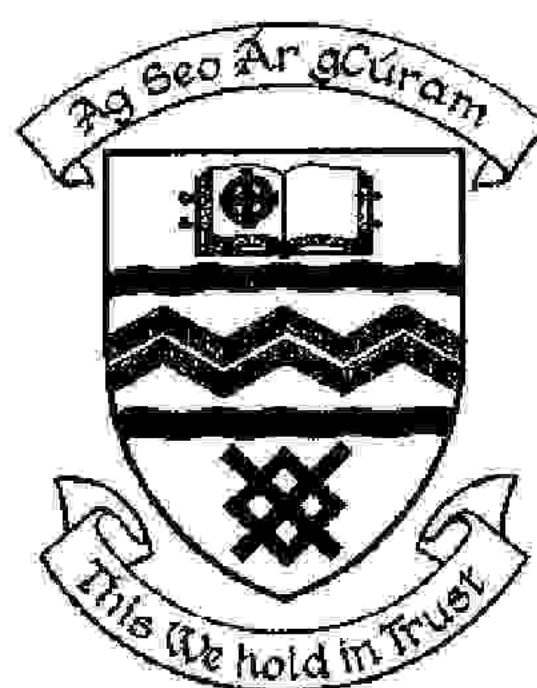
Project Architects
The Priory,
John St. West,
Dublin 8.

C

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0089	Date of Decision 10/01/2002
Register Reference S01A/0548	Date 20/08/01

Applicant Marese Ltd.
App. Type Permission
Development Renovation of the existing two storey coach house office building (a protected structure under the 1999 Planning and Development Act).

Location Fonthill House, Old Lucan Road, Palmerstown, Dublin 20.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 12/03/2002

Yours faithfully

..... 14/01/02
for SENIOR ADMINISTRATIVE OFFICER

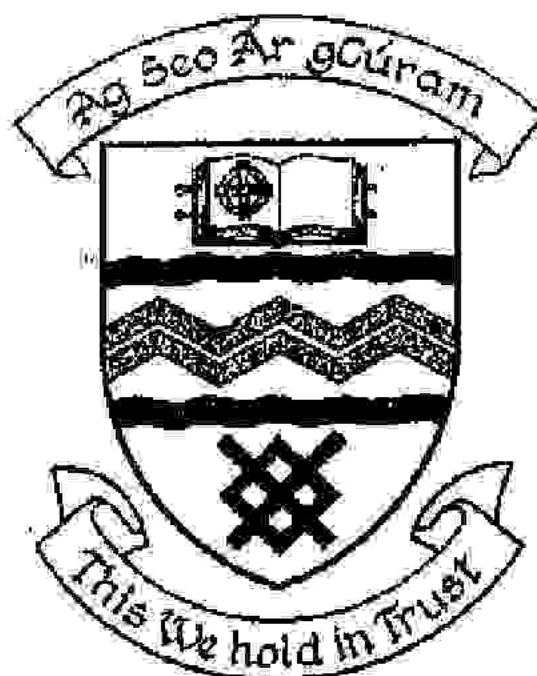
Project Architects
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C

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NOTIFICATION OF DECISION TO GRANT PERMISSION
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0554	Date of Decision 11/03/2002
Register Reference S01A/0548	Date: 20/08/01

Applicant Marese Ltd.

Development Renovation of the existing two storey coach house office building (a protected structure under the 1999 Planning and Development Act).

Location Fonthill House, Old Lucan Road, Palmerstown, Dublin 20.

Floor Area Sq Metres

Time extension(s) up to and including 12/03/2002

Additional Information Requested/Received 17/10/2001 /13/11/2001

Clarification of Additional Information Requested/Received 05/03/2002 /

In pursuance of its functions under the above mentioned Acts, the South Dublin County Council, being the Planning Authority for the County of South Dublin, did by Order dated as above make a DECISION TO GRANT PERMISSION in respect of the above proposal. Subject to the conditions (9) on the attached Numbered Pages.
Signed on behalf of the South Dublin County Council.

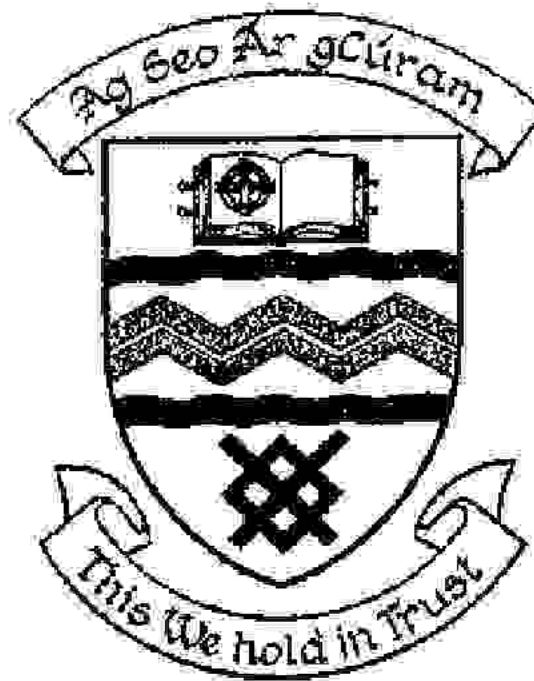
..... 12/03/02
for SENIOR ADMINISTRATIVE OFFICER

Project Architects
The Priory,
John St. West,
Dublin 8.

**SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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REG REF. S01A/0548

Conditions and Reasons

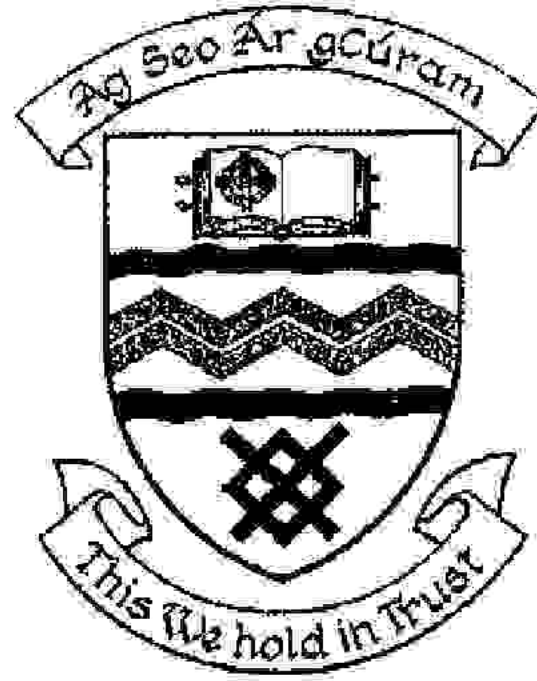
- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application as amended by Additional Information received by the Planning Authority on 13/11/01 and Unsolicited Additional Information received on 14/01/02, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. The proposed development shall adhere to the following:-
- (a) Wastewater package treatment plant and percolation/irrigation area are to meet the requirements of BS 6297:1983 and the relevant manufacturers Agrément Certificate. Certification of compliance by an Engineer to the above standard or the relevant manufacturers Agrément Certificate must be submitted to South Dublin County Council.
 - (b) Wastewater package treatment plant and percolation/irrigation area to meet the requirements of the Environmental Health Officer.
 - (c) Applicant to comply with the Waste Management Act 1996 in respect of the disposal of sludge arising from the proposed wastewater treatment plant.
 - (d) Applicant is subject to the provisions of the water pollution acts and, depending on volume and nature of discharge, may be required to apply to the Environmental Services Department for a licence under Section 4 of the Local Government (Water Pollution) Acts 1977 and 1990 to discharge sewage and/or trade effluent to waters.
 - (e) Applicant to ensure full and complete separation of foul and surface water systems.
 - (f) All pipes shall be laid with a minimum cover of 1.2m in roads, footpaths and driveways, and 0.9m in open space. Where it is not possible to achieve these minimum covers, pipes shall be bedded and surrounded in C20 concrete 150mm thick

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REG. REF. S01A/0548

(g) Prior to the commencement of development full details full details of how the "existing combined catchpit / percolation tank" is to be reconfigured to cater solely for the surface water run-off from the buildings. All existing foul residues / sledges shall be removed and satisfactorily disposed of,

(h) Surface water runoff from vehicle parking / marshalling areas shall be routed via a petrol/oil/diesel interceptor before discharging to the sewer No buildings shall be more than 46m from the nearest hydrant.

(i) The water supply to the development shall be commercially metered.

(j) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

(k) The property shall have its own connection to the public watermain and full 24hour water storage.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

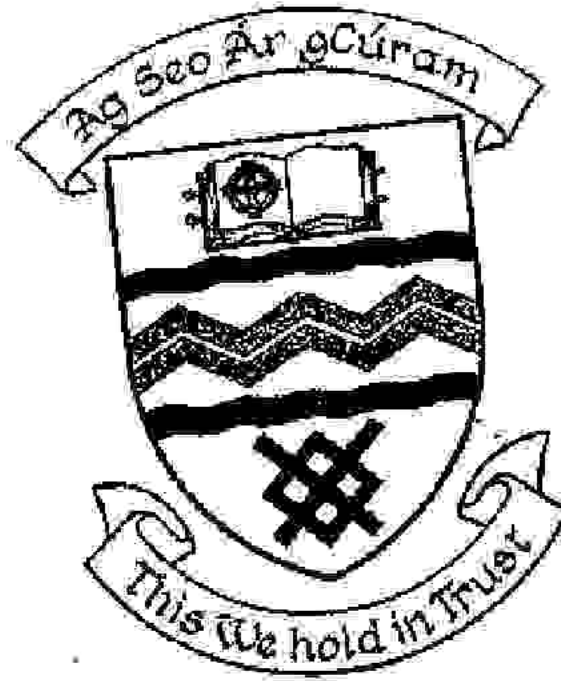
3 The proposed development shall adhere to the requirements of the Conservation Officer, South Dublin County Council with regard to the following:

(a) It is considered that re-pointing on the south and east elevations should only be carried out where necessary and by using a specialist contractor. The existing mortar should be analysed in order to provide an exact match. The applicant is requested to submit details of the analysis to the Conservation Officer prior to the commencement of development.

(b) The applicant is requested to submit details on how the applicant intends to repair the stonework to the rear of the coach house (north elevation). Details should also include how the 20th century cementitious render will be removed from the west elevation. A detailed response should be submitted prior to the commencement of development.

(c) It is considered that the replacement lintel over the external door GD01 shall be of timber as this would be in keeping with the original. Also the existing width and height of this opening shall be retained as is. Window nos. GW01, GW04 and GW05 are to be replaced with timber sliding sash windows to match the existing, it is considered that

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REG REF. S01A/0548

these no.3 windows should be of treated softwood and should match the profile of the existing sliding sash windows. The paint colour for all of the proposed windows must match the existing.

(d) The existing rainwater goods are to be repaired and replaced where necessary, these should be of cast-iron and should match the profile of the existing. The chimney stacks are to be re-pointed with a lime based mortar where necessary and the original chimney pots are to be retained, all flashing at the base of the chimneys are to be checked and repaired if necessary..

(e) The original ornate fireplace located in office 2 ground floor and office 4 first floor should be retained in-situ.

REASON:

In the interest of the proper planning and development of the area and in the interest of the protection of a Protected Structure.

- 4 That the developer shall construct and maintain to the Council's standard for taking in charge all the roads, including footpaths, verges, public lighting, open space, sewers, watermains or drains, forming part of the development, until taken in charge by the Council.

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- 5 That prior to commencement of development the requirements of the Chief Fire Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of safety and the avoidance of fire hazard.

- 6 That prior to commencement of development the requirements of the Principal Environmental Health Officer be ascertained and strictly adhered to in the development.

REASON:

In the interest of health.

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parking facilities be provided in
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