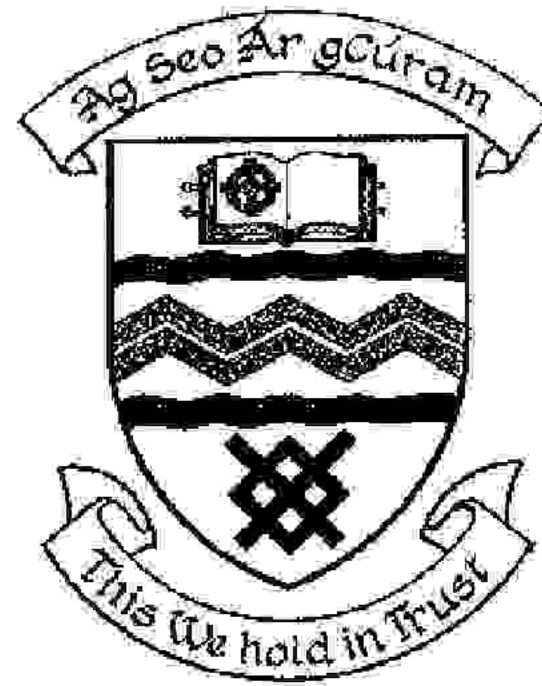


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SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Lár an Bhaile, Tamhlacht,
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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 0433	Date of Decision 19/02/2002
Register Reference S01A/0669	Date 05/10/01

Applicant Jane Dowling
App. Type Permission
Development 2 storey house, septic tank and percolation area.
Location Moneenalion Commons, Baldonnell, Kingswood, Co. Dublin.

Dear Sir / Madam,

In accordance with Section 26 (4a) of the Local Government (Planning and Development) Act 1963 as amended by Section 39 (f) of the Local Government (Planning and Development) Act 1976 the period for considering this application has been extended, up to and including 14/03/2002

Yours faithfully

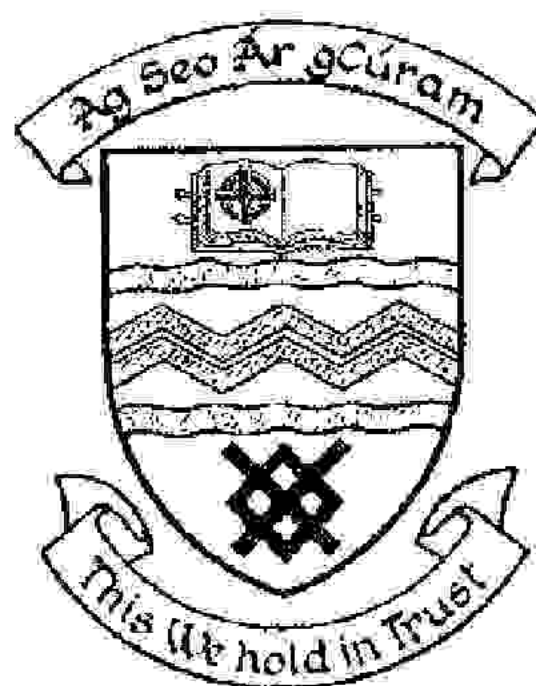

..... 22/02/02
for SENIOR ADMINISTRATIVE OFFICER

Jane Dowling,
Kingswood Farm,
Baldonnell,
Co. Dublin.

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Jane Dowling,
Kingswood Farm,
Baldonnell,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 2931	Date of Final Grant 22/08/2002
Decision Order Number 2450	Date of Decision 09/07/2002
Register Reference S01A/0669	Date 10/05/02

Applicant Jane Dowling

Development 2 storey house, septic tank and percolation area.

Location Moneenalion Commons, Baldonnell, Kingswood, Co. Dublin.

Floor Area 0.00 Sq Metres
Time extension(s) up to and including 28/03/2002
Additional Information Requested/Received /

A Permission has been granted for the development described above,
subject to the following (16) Conditions.

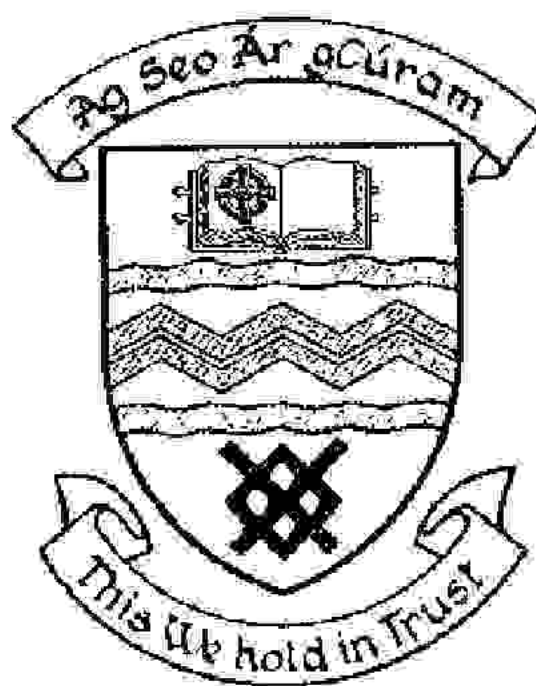
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Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application and Additional Information received on 21/12/01, Unsolicited Additional Information received on the 14/02/02 and 14/03/02 and Clarification of Additional Information received on the 10/05/02, save as may be required by the other conditions attached hereto.

REASON:

To ensure that the development shall be in accordance with the permission and that effective control be maintained.

- 2 That all necessary measures be taken by the contractor to prevent the spillage or deposit of clay, rubble or other debris on adjoining roads during the course of the works.

REASON:

To protect the amenities of the area.

- 3 That the water supply and drainage arrangements, including the disposal of surface water, be in accordance with the requirements of the County Council. In particular:

(a) The proposed development shall be serviced by the existing public watermain and existing public foul sewer.

(b) No buildings shall be erected within 5 metres of a river or watercourse or public sewer or any sewer with the potential to be taken in charge.

(c) That the applicant is to ensure full and complete separation of foul and surface water systems.

(d) A 2m section of C20 concrete 150mm thick to surround foul drainage pipe which passes under the existing watercourse.

(e) Full details of any surface water outfall to the stream shall be submitted prior to the commencement of development. The following points shall be noted:

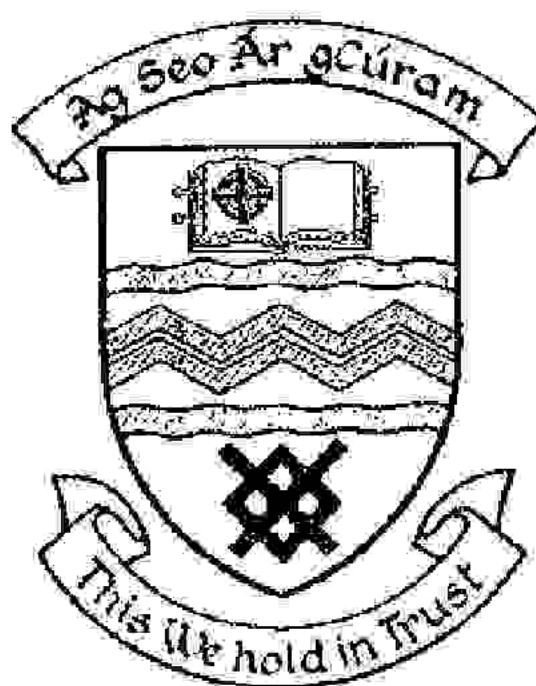
1. Only one outfall shall be permitted.
2. The invert level of the outfall should be 200mm above the normal water levels.
3. If backflooding is likely a non-return valve should be fitted.
4. The outfall should be so formed as to avoid, or provide against, local erosion and should be so angled as to discharge in the direction of flow of the watercourse.

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5. Outfall details must include headwall, wing walls and apron

(f) The property shall have its own individual service connection to the public watermain and 24hour storage.

(g) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

REASON:

In order to comply with the Sanitary Services Acts, 1878-1964.

- 4 The proposed dwelling when completed shall be first occupied as a place of permanent residence by the applicant, her heirs and/or members of the applicants' immediate family.

Reason:

To secure in the interests of orderly development that the proposed house is used to meet the applicants stated housing needs and to ensure that development in this rural area is appropriately restricted in the interest of proper planning and development.

- 5 The following requirement of the Roads Department are to be met in full:

a) The Stream shall be piped with pipes of adequate size/strength and to the satisfaction of the Environmental Services Department.

Reason:

In the interest of public safety.

- 6 Vision splays of 90 metres from a 3 metre setback shall be provided at the site entrance. The existing roadside hedge/ditch shall be removed only to a sufficient extent to provide these vision splays, but otherwise shall be retained. The new boundary shall be setback along the line of the vision splays.

Reason:

In the interest of public safety and rural amenity

- 7 Entrance gates to be recessed and provided with wing walls splayed at 45 degrees. These gates shall open inwards.

Reason:

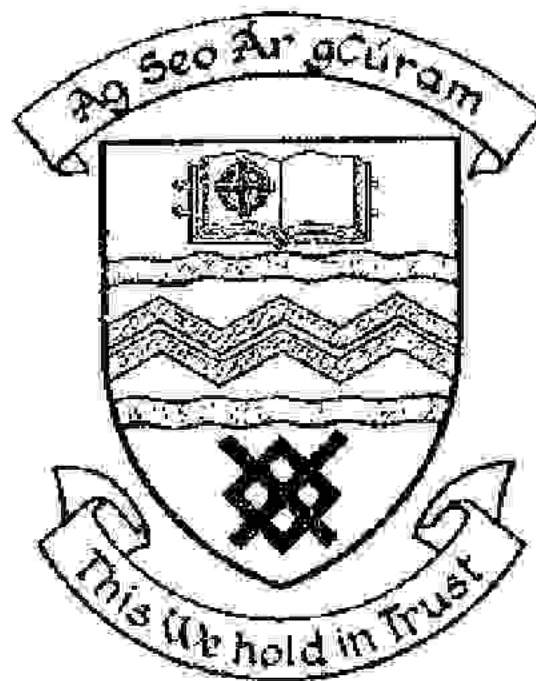
In the interest of the proper planning and development of the area

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- 8 a) The roof of the dwelling shall be tiled with natural slate or black colour roof tiles.
- b) The external wall finishes shall be of smooth plaster finish.
- Reason:
In the interest of visual amenity.
- 9 The proposed development shall not exceed 131.6m OD.
REASON:
In the interest of public safety and the proper planning and development of the area.
- 10 The proposed development shall be adequately sound insulated to prevent unnecessary intrusion from aircraft noise. Proposals for the method of insulation shall be submitted to the planning authority for written agreement prior to the commencement development.
REASON:
In the interest of proper planning and development of the area.
- 11 Surface water from the site shall not be permitted to drain onto the adjoining public road
Reason:
In the interest of traffic safety
- 12 That a financial contribution in the sum of EUR 476 (four hundred and seventy six euro) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.
REASON:
The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.
- 13 In the event of a connection to the public sewer, a further financial contribution in the sum of EUR 476 (four hundred and seventy six euro) to be paid by the proposer to South Dublin County Council towards the cost of provision of public foul sewerage in the area of the proposed development and which will facilitate the development.
REASON:
The provision of such service in the area by the Council will facilitate the proposed development. It is considered

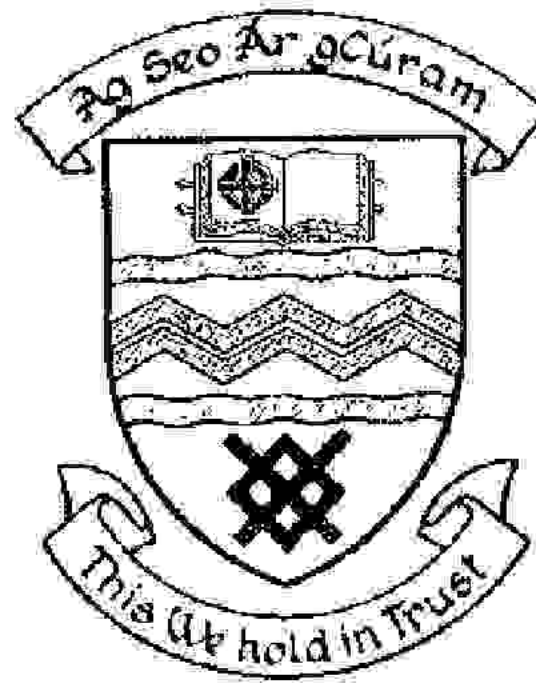
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REG. REF. S01A/00118

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reasonable that the developer should contribute towards the cost of providing the service.

- 14 That a financial contribution in the sum of EUR 2,666 (two thousand six hundred and sixty six euro) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

- 15 That a financial contribution in the sum of EUR 414 (four hundred and fourteen euro) be paid by the proposer to South Dublin County Council towards the cost of the Saggart/Rathcoole/Newcastle Drainage Scheme which will facilitate this development; this contribution to be paid before the commencement of development on site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- 16 That a financial contribution in the sum of EUR 857 (eight hundred and fifty seven euro) be paid by the proposer to South Dublin County Council towards the cost of the Boherboy Water Supply Scheme which serves this development.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of the works.

- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.

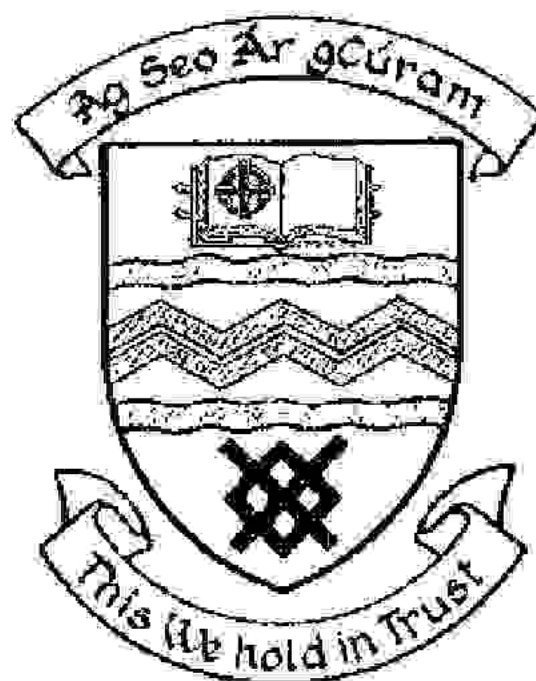
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- (4) Free Standing Walls must be designed and constructed in accordance with IS 325; Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

Signed on behalf of South Dublin County Council.

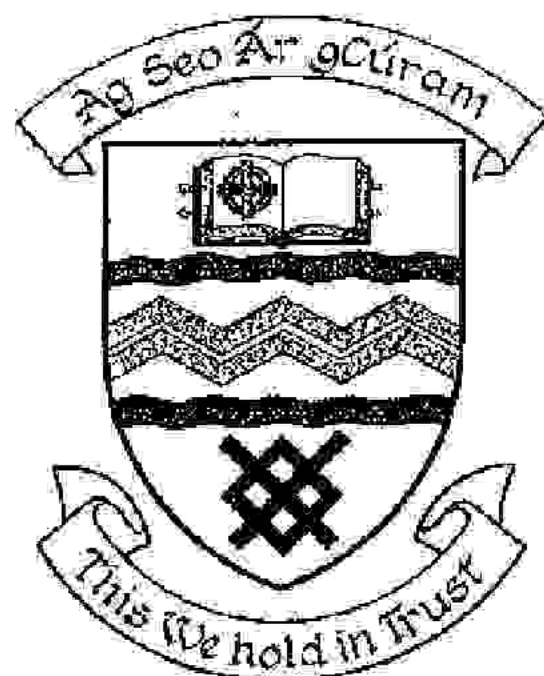
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22/08/02
for SENIOR ADMINISTRATIVE OFFICER

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LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Decision Order Number 3532	Date of Decision 03/12/2001
Register Reference S01A/0669	Date: 05/10/01

Applicant Jane Dowling,
Development 2 storey house, septic tank and percolation area.

Location Moneenalion Commons, Baldonnell, Kingswood, Co. Dublin.

App. Type Permission

Dear Sir/Madam,

With reference to your planning application, received on 05/10/01 in connection with the above, I wish to inform you that before the application can be considered under the Local Government (Planning & Development) Acts 1963-1999 and the Planning and Development Act 2000, the following **ADDITIONAL INFORMATION** must be submitted in quadruplicate:

- 1 The proposed development is located in an area designated with zoning objective 'B', ("to protect and improve rural amenity and to provide for the development of agriculture"). Dwellings will only be permitted on the subject sites where
 - Applicants can establish a genuine need to reside in proximity to their employment (such employment related to the rural community).
 - Or
 - Applicants have close family ties with the rural community.

Please submit documentary evidence to substantiate either of the above.

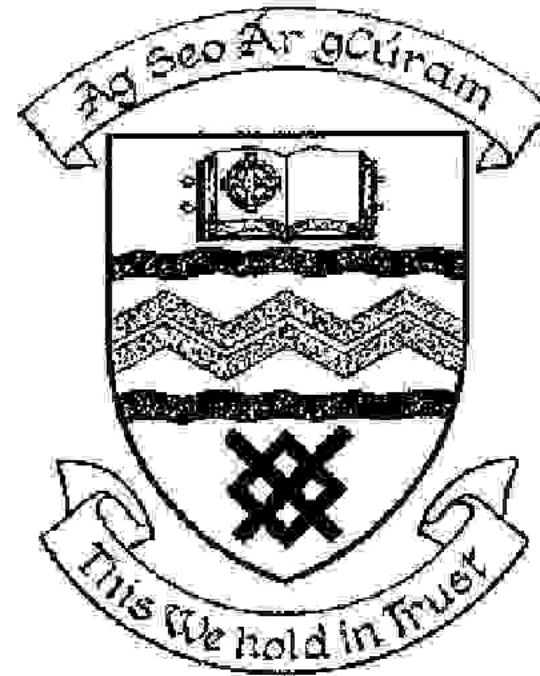
- 2 The applicant is requested to submit written conformation to substantiate that the Department of Defence have no opposition to the proposed development at this location.

Jane Dowling,
Kingswood Farm,
Baldonnell,
Co. Dublin.

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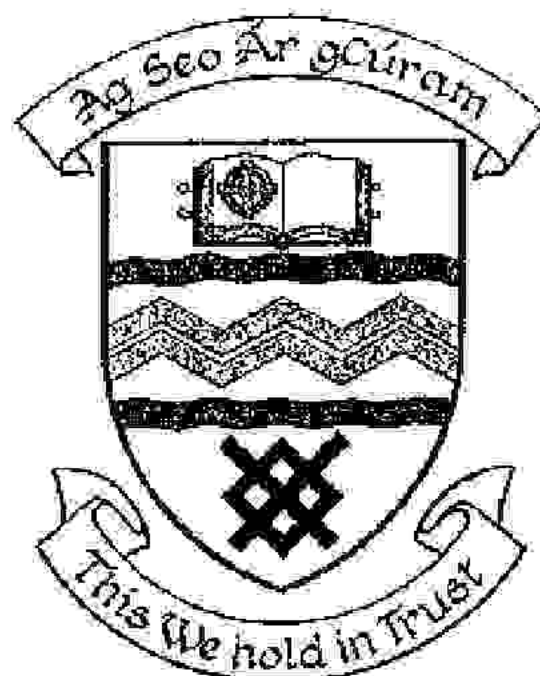
REG REF. S01A/0669

- 3 There is no indication on the file that the Environmental Health Officer (EHO) has given approval for the proposed development. The applicant shall submit written evidence that the Environmental Health Officer has no objections to the proposed development.
- 4 The applicant shall submit a revised site layout plan to scale of 1/500 to show vision splays of 3m x 90m in both directions of access point (the 3m setback is measured from the bitumen macadam edge of roadway). This will involve relocation of proposed entrance approx. 15m further west (just beyond E.S.B. pole) and the removal of existing hedging. A new hedge should be provided behind the new fence line.
- 5 The applicant shall submit plans, particulars and details to meet the requirements of the Environmental Services Department with regard to the following:
 - (a) The new 'Camac Valley' sewer from Saggart to Clondalkin runs close by the site. The applicant is request to explore the possibility of connecting to this sewer rather than using a septic tank.
 - (b) Notwithstanding this the proposed Septic Tank/ Effluent Treatment System and percolation/irrigation area are unacceptably close (i.e. within 10m) of the Camac River. The applicant is requested to revise the location of the septic tank to comply with the requirement of S.R.6: 1991 and the Environmental Protection Agency's (EPA) Wastewater Treatment Manuals.
 - (c) No public watermain are shown on South Dublin County Council records for this area. The applicant is therefore requested to clarify how water is to be supplied to the development. The application form states that water supply is to be received from mains supply.
 - (d) The property shall have its own individual service connection to the public watermain and 24hour storage.
 - (e) The connection to and tapping of public watermains shall be carried out by South Dublin County Council personnel at the applicant's prior expense.

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REG. REF. S01A/0669

Signed on behalf of South Dublin County Council

.....
for Senior Administrative Officer

03/12/01