

	South Dublin County Council Local Government (Planning & Development) Acts 1963 to 1999 and Planning & Development Act 2000 Planning Register (Part 1)	Plan Register No. S01A/0671	
1. Location	1 Fortfield Drive, Terenure, Dublin 6W.		
2. Development	Demolition of existing single storey garage to side and provision of a two storey extension to side and rear of existing semi-detached house with ground and first floor of the side extension to be used as a dental surgery limited to Orthodontics and the remainder of the extension to provide additional living accommodation including kitchen and master bedroom for the existing family home, widened entrance gate and ancillary site works.		
3. Date of Application	05/10/01	Date Further Particulars (a) Requested (b) Received	
3a. Type of Application	Permission	1. 2.	1. 2.
4. Submitted by	Name: Brazil Associates, Address: 29 Eaton Square, Monkstown,		
5. Applicant	Name: Dr. Katherine Condren, Address: 1 Fortfield Drive, Terenure, Dublin 6W.		
6. Decision	O.C.M. No. 3530 Date 03/12/2001	Effect AP GRANT PERMISSION	
7. Grant	O.C.M. No. 0246 Date 30/01/2002	Effect AP GRANT PERMISSION	
8. Appeal Lodged			
9. Appeal Decision			
10. Material Contravention			
11. Enforcement		Compensation	Purchase Notice
12. Revocation or Amendment			
13. E.I.S. Requested	E.I.S. Received	E.I.S. Appeal	

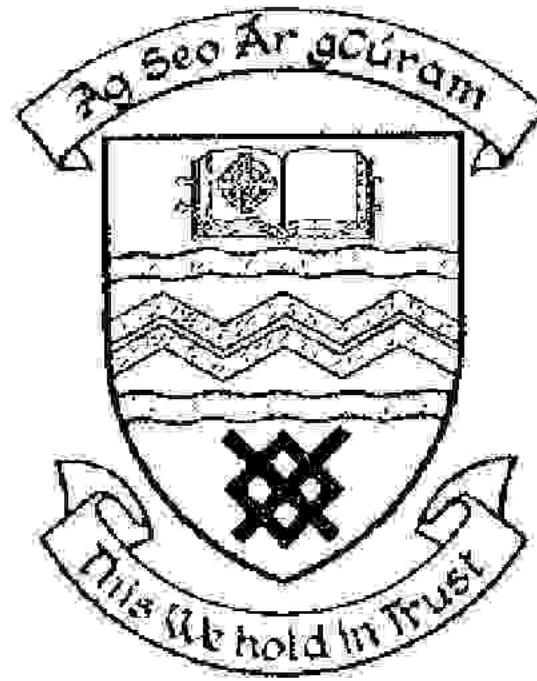
14.

Registrar

Date

Receipt No.

SOUTH DUBLIN COUNTY COUNCIL
COMHAIRLE CHONTAE ÁTHA CLIATH THEAS



Halla an Chontae, Lár an Bhaile,
Tamhlacht, Baile Átha Cliath 24.

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Brazil Associates,
29 Eaton Square,
Monkstown,
Co. Dublin.

NOTIFICATION OF GRANT OF Permission

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1999
AND PLANNING AND DEVELOPMENT ACT 2000

Final Grant Order Number 0246	Date of Final Grant 30/01/2002
Decision Order Number 3530	Date of Decision 03/12/2001
Register Reference S01A/0671	Date 05/10/01

Applicant Dr. Katherine Condren,

Development Demolition of existing single storey garage to side and provision of a two storey extension to side and rear of existing semi-detached house with ground and first floor of the side extension to be used as a dental surgery limited to Orthodontics and the remainder of the extension to provide additional living accommodation including kitchen and master bedroom for the existing family home, widened entrance gate and ancillary site works.

Location 1 Fortfield Drive, Terenure, Dublin 6W.

Floor Area 292.60 Sq Metres
Time extension(s) up to and including
Additional Information Requested/Received /

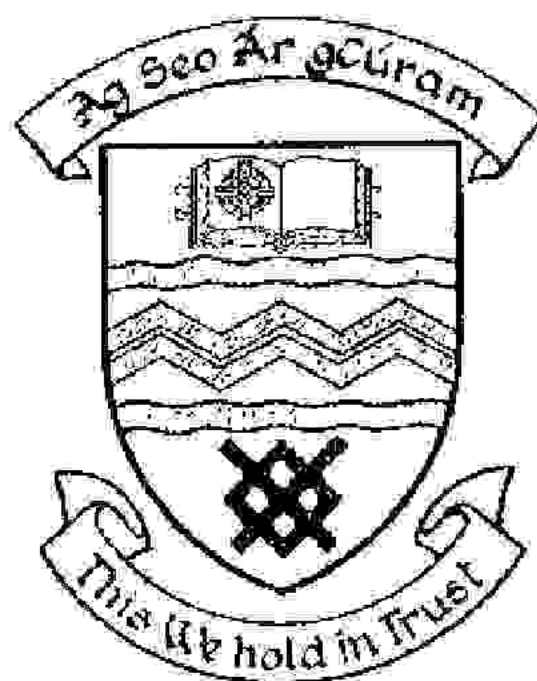
A Permission has been granted for the development described above,
subject to the following (8) Conditions.

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REG REF. S01470671 **COMHAIRLE CHONTAE ÁTHA CLIATH THEAS**

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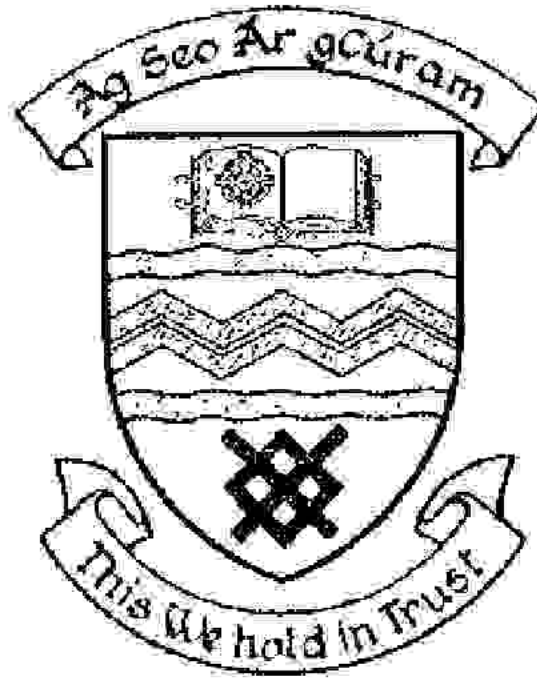
Conditions and Reasons

- 1 The development to be carried out in its entirety in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the other conditions attached hereto.
REASON:
To ensure that the development shall be in accordance with the permission and that effective control be maintained.
- 2 That all external finishes harmonise in colour and texture with the existing premises.
REASON:
In the interest of visual amenity.
- 3 That a minimum of one third of the area to the front of the dwelling house shall be retained as a garden/landscaped area. Before development commences, the applicant shall submit for agreement by the Planning Authority revised plans to conform with this requirement this may involve reducing the number of off street car parking spaces.
REASON:
To retain the residential character of the premises.
- 4 The extension at the front of the premises to be set back by one metre. Before development commences, the applicant shall submit for agreement by the Planning Authority revised plans to conform with this requirement.
REASON:
To respect the existing building line and to balance with the opposing element of the dwelling.
- 5 That no doors/windows shall be developed which are capable of allowing easy access onto the flat roof of the kitchen extension from the proposed new Master bedroom. A standard cill to be developed which shall be a minimum of 400mm above the floor level.
REASON:
In the interest of clarity and to protect residential amenity.
- 6 That the surgery be operated only by an ORTHODONTIST/DENTIST in residence in the dwelling of which it forms part and that it not be separated from the existing dwelling either by way of sale or letting or otherwise.
REASON:
In the interest of the proper planning and development of the area.

SOUTH DUBLIN COUNTY COUNCIL

REG. REF. S01A/0671

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- 7 That a financial contribution in the sum of £770 (seven hundred and seventy pounds) EUR 978 (nine hundred and seventy eight euros) be paid by the proposer to South Dublin County Council towards the cost of provision of public services in the area of the proposed development and which facilitate this development; this contribution to be paid before the commencement of development on the site.

REASON:

The provision of such services in the area by the Council will facilitate the proposed development. It is considered reasonable that the developer should contribute towards the cost of providing the services.

- 8 That a financial contribution in the sum of £2,003 (two thousand and three pounds) EUR 2,544 (two thousand five hundred and forty four euros) shall be paid by the proposer to South Dublin County Council towards the cost of roads improvements and traffic management in the area of the proposed development and which facilitates this development; this contribution to be paid before the commencement of development on the site.

REASON:

It is considered reasonable that the developer should contribute towards the expenditure that was incurred and/or that is proposed to be incurred by the Council on road improvement works and traffic management schemes facilitating the proposed development.

NOTE: The applicant is advised that in the event of encroachment or oversailing of the adjoining properties, or building over common boundary walls, the consent of the adjoining property owners is required.

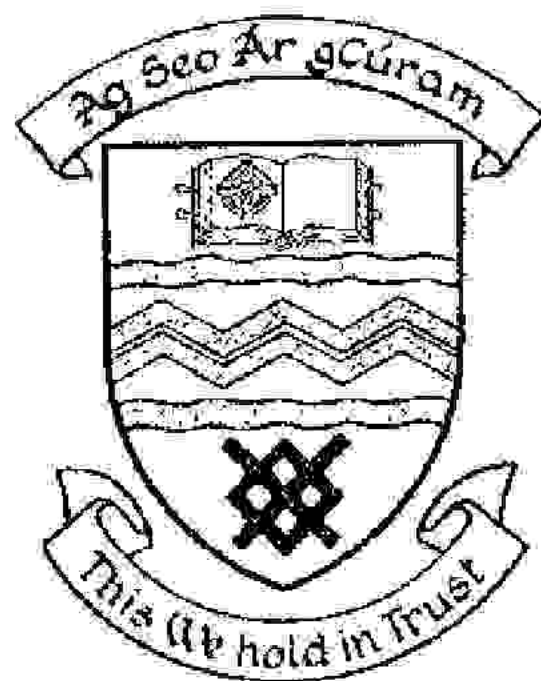
- (1) All buildings must be designed and constructed in accordance with the Building Regulations 1997.
- (2) Building Control Regulations require a Commencement Notice. A copy of the Commencement Notice is attached.
- (3) A Fire Safety Certificate must be obtained from the Building Control Authority, where applicable.
- (4) Free Standing Walls must be designed and constructed in accordance with IS 325: Code of Practice for use of Masonry Part 1 : Structural use of unreinforced Masonry. The Owner must also ensure that the construction of all walls is supervised by a competent person.

SOUTH DUBLIN COUNTY COUNCIL

REG REF. SOLA/COC/CHAIRLE CHONTAE ÁTHA CLIATH THEAS

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Signed on behalf of South Dublin County Council.

.....01/02/02

for SENIOR ADMINISTRATIVE OFFICER